



Planning Commission Meeting AGENDA

DATE: Tuesday, October 7, 2025
TIME: 5:30 PM
PLACE: Council Chambers - City Hall, 1040 Harley-Davidson Way,
Sturgis SD

Page

1. CALL TO ORDER

2. APPROVAL OF THE MINUTES FROM THE SEPTEMBER 3, 2025 MEETING

- 3 - 5 2.1. Minutes
[Planning Commission - Sep 03 2025 - Minutes - Pdf](#)

3. ACTION ITEMS:

- 6 - 11 3.1. Consideration of Variance to the Side Setback requirement abutting a residential zoned area for Tim and Jill Edson at 1800 Main Street.
VAR25-00003
Staff's recommendation is that the variance request be denied.

Should the BOA reach different conclusions and find that the criteria are satisfied, it could grant the variance in whole or in part and impose reasonable conditions to mitigate the effect of the reduced setback.
[Agenda Item Report - Pdf](#)
- 12 - 19 3.2. Consideration of Final Plat of Lot 2A in Block 29 of Ashes Extension, formerly Lots 2, 3A, and 3B, Block 29 of Ashes Extension to the City of Sturgis. All in the NW1/4 of the SE1/4 of the SW1/4 of Section 4, T5N, R5E, B.H.M., City of Sturgis, Meade County, South Dakota.
The proposed plat consolidates Lots 2, 3A, and 3B of Block 29 into a single lot identified as Lot 2A. The replat is intended to create a single, buildable parcel consistent with zoning requirements.

The final plat meets the minimum lot area, width, and dimensional requirements of the MDR district and aligns with the City's Subdivision Ordinance requirements.

Staff Recommends Final Approval of the plat as submitted.

[Agenda Item Report - Pdf](#)

20 - 28

- 3.3. Consideration of Final Plat of Lots 7A, 7B and 7C in Block 1 of Lot 12 of the NE1/4SW1/4 of Section 4, T5N, R5E, BHM, City of Sturgis, Meade County, South Dakota. (formerly Lots 7 & 8 in Blcok 1 of Lot 12)

Staff recommends approval of the Final Plat for Lots 7A, 7B, and 7C in Block 1 of Lot 12 of the NE1/4SW1/4 of the City of Sturgis, as presented, it complies with the Medium Density Residential zoning standards for townhomes and the City's subdivision regulations.

[Agenda Item Report - Pdf](#)

4. PUBLIC COMMENT

(No action will be taken)

5. ADJOURN

6. ADA ACCOMMODATION

If you desire to attend this public meeting and are in need of special accommodations (including participation by telephone), please notify the Finance Office by 10am on the day of the meeting so that appropriate auxiliary aids and services may be coordinated. The Finance Office can be reached at (605) 347-4422, option 1.

MINUTES
 Planning Commission Meeting
 City of Sturgis, SD

Wednesday, September 3, 2025
5:30 PM
Council Chambers

PRESENT: Alex Moravec, Richelle Bruch, David Owen, Rose Byars, and Dusty Kirk
 None

ABSENT: Thomas Otto Magdanz Jr. and Tony Dargatz

CALL TO ORDER

Vice Chair Richelle Bruch calls meeting to order at 5:30 p.m.

Members present carried unanimously.

APPROVAL OF THE MINUTES FROM THE AUGUST 12, 2025 MEETING

Moved by Kirk, seconded by Owen, to approve the minutes
 Carried

Members present carried unanimously.

ACTION ITEMS:

CONSIDERATION FOR A USE ON REVIEW FOR A IN HOME BUSINESS LOCATED AT 2608 COTTONTAIL DRIVE FOR A SEASONAL LANDSCAPING COMPANY.

The commission reviewed an application submitted by Clear Sight Services LLC to operate an in-home seasonal landscaping and lawn care business at 2608 Cottontail Drive. Staff explained the residence would function as a business office and mailing address, with no equipment stored on site and only occasional parking of an unmarked vehicle or trailer. Anticipated impacts included minimal noise between 7 a.m. and 9 p.m., no significant increase in traffic, and no signage other than vehicle identification. Public hearing notices were mailed to neighbors within 200 feet. One resident commented about chemical odors in the neighborhood; the applicant clarified that no chemicals are stored at the residence and that he is not licensed to apply pesticides in South Dakota.

Moved by Owen, seconded by Moravec, Motion to approve
 Members present carried unanimously.

Members present carried unanimously.

CONSIDERATION FOR A USE ON REVIEW FOR A IN HOME BUSINESS LOCATED AT 1500 WHITETAIL DRIVE FOR A SEASONAL LANDSCAPING COMPANY.

The Commission considered a request by Orange Rock LLC (Justin Jutting) to operate a seasonal landscaping and lawn care business at 1500 Whitetail Drive. Staff observed that trailers, ATVs with spreaders, and a pickup with a spray tank were present at the property, indicating some on-site activity, though no odors were detected during visits. Commissioners discussed chemical storage and applicator licensing. Staff explained that small-scale storage of consumer-grade products is not specifically regulated by city ordinance, though state licensing applies when pesticides are commercially applied. The applicant was not present at the hearing. Both use-on-review applications will proceed to the City Council for final consideration on September 15, 2025.

Moved by Owen, seconded by Moravec, Motion to approve
Members present carried unanimously.

Members present carried unanimously.

SAFER STREETS AND ROADS FOR ALL- PROJECT UPDATE

Staff presented an informational update on the City's Safe Streets and Roads for All (SS4A) project. The initiative, conducted in partnership with JEO, will create a transportation safety action plan designed to eliminate fatal crashes and significantly reduce serious injuries across Sturgis' streets, sidewalks, and trails. The plan will analyze crash patterns, identify risk factors, and recommend countermeasures, with particular attention to pedestrian and bicycle safety and overall accessibility. Public engagement is underway with a downtown pop-up booth at Music On Main event, and online survey to gather input on risk areas, including locations with near misses. Concerns noted included crossing Lazelle near sports facilities, limited interstate access at Exits 30 and 32, and traffic congestion on Junction Avenue. The planning process will continue into early 2026, after which the City intends to apply for a federal implementation grant. Sturgis and Spearfish were among four South Dakota communities awarded SS4A planning grants, and an advisory committee of staff and community members will guide the project. No formal action was required.

Motion to approve

PUBLIC COMMENT

No public comment was offered. The commission welcomed newly appointed member Rose Byars and thanked her for her willingness to serve.

No public comment was provided.

ADJOURN

Moved by Kirk, seconded by Byars, to adjourn the meeting at 6:07 p.m.
Carried

Members present carried unanimously.

Planning Commission

STAFF REPORT



Meeting Date: Planning Commission - Oct 07 2025

Agenda Item: Consideration of Variance to the Side Setback requirement abutting a residential zoned area for Tim and Jill Edson at 1800 Main Street. VAR25-00003

Prepared By: Rick Bush, Director of Public Works

BACKGROUND INFORMATION:

LOCATION

The subject property is situated at 1800 Main Street in Sturgis, South Dakota and is legally described as Lot E and the West 33' of the Vacated 8th Street Right of Way of Block 7 of Ash's Extension to the City of Sturgis.

APPLICANTS

The applicants are Tim and Jill Edson.

ZONING

The subject property is zoned Highway Service and abuts a residential zoning district. Applicants desire to construct a welding shop on the subject property, which is a use allowed by right on properties zoned Highway Service, subject to the requirements and restrictions contained in Section 18.05.12 of the City of Sturgis Municipal Code and other applicable laws and ordinances.

AREA REGULATIONS

Section 18.05.12(D) of the City of Sturgis Municipal Code establishes the following setbacks on the subject property relevant to the requested variance:

- Side setbacks: 25' from property line abutting residential zoned area and 10' otherwise
- Front setback: 35' from property line
- Rear setback: 15' from property line

VARIANCE REQUEST

Applicants have requested a variance to the side setback requirement abutting the residential zoned area (vacated 8th Street) from 25' to 13', a variance of 12'.

DISCUSSION:

DISCUSSION, APPLICATION, AND RECOMMENDATION

Applicants have twice previously applied for a variance on the subject property. On April 4, 2022, the Sturgis Board of Adjustment denied a request to vary the side setback requirement from 25' to 7'. On

April 3, 2023, the Sturgis Board of Adjustment denied a request to vary the side setback requirement from 25' to 13'. The current request is not materially different from the 2023 request.

The subject property is a 16,000 sq. ft. vacant lot located on the corner of 8th Street and Main Street. The subject property's Highway Service zoning designation is due to the historical use of the property as a gas station in the 1950s and 1960s. The properties to the west of the subject property are also zoned Highway Service. The properties to the east of the subject property are zoned Medium Density Residential. Pursuant to Section 18.05.12(D) of the City of Sturgis Municipal Code, when, as here, a parcel zoned Highway Service abuts residential zoning, "the side yards shall not be less than 25 feet."

Applicants intend to construct a commercial welding shop, which is a use allowed by right on properties zoned Highway Service, subject to the requirements and restrictions contained in Section 18.05.12 of the City of Sturgis Municipal Code and other applicable laws and ordinances—including the 25' required side yard setback.

An 8" city sewer main line cuts across the northwest corner of the subject property, with an easement extending 12.5' on either side of the line. Applicants contend the existence of this sewer line is an exceptional physical condition justifying the requested variance to the 25' side yard setback required by ordinance.

In response to past applications, many neighbors voiced concerns with the construction of a commercial welding business adjacent to a residential area. These concerns are certainly understandable; however, the subject property is zoned Highway Service, and the proposed use is permitted by right in the Highway Service zoning district. The variance request pertains only to the distance of the side yard setback.

Staff concludes that the mandated 25' side yard setback is intended to act as a buffer to mitigate the potential effects of locating a business next to a residential area. Assuming that the existence of the sewer line is a "special circumstance or condition," staff concludes that reducing the required 25' side yard setback would tend to defeat the intended buffering effect of the requirement. Therefore, based on the record and applicable criteria, staff cannot conclude that the granting of the requested variance would be "in harmony with the general purposes and intent of this Ordinance." For the same reason, staff cannot conclude that the granting of the variance would not be "injurious to the neighborhood, detrimental to the public welfare or in conflict with the comprehensive plan for development." See Title 18, Article VII, Section 3(C)(5).

Further, based on the record and applicable criteria, staff cannot conclude that the strict application of the 25' side yard setback "would deprive the applicant of any reasonable use of his land." It appears Applicants could construct a smaller building or could redesign and reorient the building to maintain the proposed square footage but stay within the required setbacks. See Title 18, Article VII, Section 3(C)(3). For the same reason, staff cannot conclude that the requested variance is "the minimum adjustment necessary for the reasonable use of the land." See Title 18, Article VII, Section 3(C)(4).

CODE REFERENCES:

APPLICABLE LEGAL AUTHORITY

The granting of variances is governed by SDCL Ch. 11-4 and Title 18, Article VII, Section 3 of the City of Sturgis Municipal Code.

- Pursuant to SDCL § 11-4-13, the Board of Adjustment may, in appropriate cases and subject to appropriate conditions and safeguards, grant variances to the terms of an ordinance establishing zoning regulations and restrictions.
- Pursuant to SDCL § 11-4-17.2, the Board of Adjustment may “[a]uthorize upon appeal in specific cases such variance from terms of the ordinance not contrary to the public interest, if, owing to special conditions, a literal enforcement of the provisions of the ordinance will result in unnecessary hardship and so that the spirit of the ordinance is observed and substantial justice done[.]”
- Pursuant to SDCL § 11-4-24, the concurring vote of at least two-thirds of the members of the Board of Adjustment is necessary to effect any variation in such ordinance.
- Pursuant to Title 18, Article VII, Section 3 of the City of Sturgis Municipal Code, “The purpose of the variance is to modify the strict application of the specific requirements of this Ordinance in the case of exceptionally irregular, narrow, shallow or steep lots, or other exceptional physical conditions, whereby such strict application would result in practical difficulty or unnecessary hardship which would deprive an owner of the reasonable use of his land. The variance shall be used only where necessary to overcome some obstacle which is preventing an owner from using his lot as the Zoning Ordinance intended.”
- Title 18, Article VII, Section 3(C) sets forth the standards for granting variances and require the Board of Adjustment to ascertain that the following criteria are met:
 1. Variances shall be granted only where special circumstances or conditions (such as exceptional narrowness, topography, or when the relaxation of a restriction of the code, granted by the Board of Adjustment shall provide a quantifiable benefit to the City and the surrounding neighborhood of the parcel) are fully described in the finding of the Board.
 2. Variances shall not be granted to allow a use otherwise excluded from the particular district in which requested.
 3. For reasons fully set forth in the findings of the board, the aforesaid circumstances or conditions are such that the strict application of the provisions of the Ordinance would deprive the applicant of any reasonable use of his land. Mere loss in value shall not justify a variance, there must be a deprivation of beneficial use of land.
 4. Any variance granted under the provisions of this section shall be the minimum adjustment necessary for the reasonable use of the land.
 5. The granting of any variance is in harmony with the general purposes and intent of this Ordinance and will not be injurious to the neighborhood, detrimental to the public welfare or in conflict with the comprehensive plan for development.

RECOMMENDATION:

Staff’s recommendation is that the variance request be denied.

Should the BOA reach different conclusions and find that the criteria are satisfied, it could grant the variance in whole or in part and impose reasonable conditions to mitigate the effect of the reduced setback.

ATTACHMENTS:

[Zoning Map \(1\)](#)

Approved By:

Rick Bush, Director of Public Works

Status:

Approved - Sep 26 2025

Existing Zoning Ash's Extension



Planning Commission STAFF REPORT



Meeting Date: Planning Commission - Oct 07 2025

Agenda Item: Consideration of Final Plat of Lot 2A in Block 29 of Ashes Extension, formerly Lots 2, 3A, and 3B, Block 29 of Ashes Extension to the City of Sturgis. All in the NW1/4 of the SE1/4 of the SW1/4 of Section 4, T5N, R5E, B.H.M., City of Sturgis, Meade County, South Dakota.

Prepared By: Rick Bush, Director of Public Works

BACKGROUND INFORMATION:

The subject property is located within Block 29 of Ash's Extension to the City of Sturgis and is zoned as Medium Density Residential. The MDR zoning district provides for one and two-family residential uses, as well as certain compatible uses such as recreation, religious, and educational facilities upon review

Applicants are; Donald G Hannah and Barbra D. Hannah.

ZONING & AREA REGULATIONS

Pursuant to **Title 18.05.04**, the following regulations apply to MDR property:

- **Permitted Uses:** Detached and attached single-family dwellings (up to 8 units), manufactured homes on foundations, incidental construction buildings, small storage structures, accessory structures with setbacks, and small agricultural gardens
- **Uses Permitted on Review:** Churches, schools, public parks, libraries, utility substations, planned residential developments, home occupations, daycare/group homes, and townhomes

Area Regulations:

- Front Yard: Minimum 10 feet
- Side Yard: Minimum 5 feet (greater for taller structures)
- Corner Lot Side Yard: Minimum 18 feet
- Rear Yard: Minimum 10 feet
- Lot Width: Minimum 50 feet
- Lot Area: Minimum 6,000 sq. ft.
- Maximum Lot Coverage: 45% of total lot area
- Alley Garage Setback: 10 feet

Height Regulation: Maximum 2 ½ stories

Parking: Each dwelling must provide at least 400 sq. ft. of hard-surfaced parking configured for two vehicles

Floodplain Requirements: Finished floor elevation must be 1 foot above base flood elevation if within mapped FEMA floodplain

DISCUSSION:

The platting action simplifies multiple smaller parcels into a single lot, facilitating future development.

The new lot maintains compliance with MDR zoning standards, ensuring that permitted residential uses are feasible on the property.

No variances are requested as part of this plat.

Staff has reviewed the plat and finds it consistent with Title 18 zoning regulations and the City's subdivision requirements.

CODE REFERENCES:

City of Sturgis Municipal Code **Title 18.05.04 – Medium Density Residential**

City of Sturgis Subdivision Ordinance (Title 19)

RECOMMENDATION:

The proposed plat consolidates Lots 2, 3A, and 3B of Block 29 into a single lot identified as Lot 2A. The replat is intended to create a single, buildable parcel consistent with zoning requirements.

The final plat meets the minimum lot area, width, and dimensional requirements of the MDR district and aligns with the City's Subdivision Ordinance requirements.

Staff Recommends Final Approval of the plat as submitted.

ATTACHMENTS:

[25-147 PLAT LOTS 2_3a_b ASH EXT FINAL PLAT](#)

[25-147 PLAT LOTS 2_3a_b ASH EXT PRELIM \(2\)](#)

[Zoning Map](#)

[Medium-Density_Residential](#)

Approved By:

Rick Bush, Director of Public Works

Status:

Approved - Sep 30 2025

COUNTY TREASURER'S CERTIFICATE

I, Treasurer of Meade County, South Dakota, do hereby certify that all taxes which are liens upon the land described hereon, as shown by the records of my office, are fully paid.

Dated this ____ day of _____, 20____.

Meade County Treasurer

CERTIFICATE OF EQUALIZATION DIRECTOR

I, Director of Equalization of Meade County, South Dakota, do hereby certify that I have on record in my office a copy of the within described Plat.

Dated this ____ day of _____, 20____.

City of Sturgis
Director of Equalization

CITY OF STURGIS PLANNING COMMISSION

Approved by the City of Sturgis Planning Commission, Meade County, South Dakota.

Dated this ____ day of _____, 20____.

Signed: _____
Chairman

Attest: _____
Secretary

CERTIFICATE OF HIGHWAY OR STREET AUTHORITY

The location of the proposed access to the Highway or Street as shown hereon is hereby approved. Any change in the location of the proposed access shall require additional approval.

Dated this ____ day of _____, 20____.

Highway or Street Authority

SURVEYOR'S NOTES

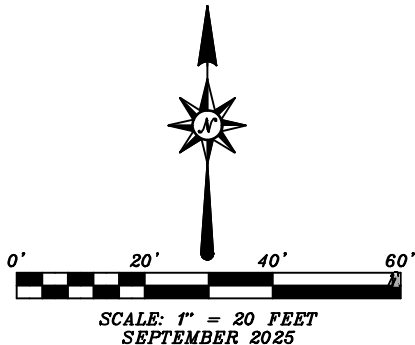
- Recorded Information:
Plat Book 4 at Page 9 as recorded with the Meade County Register of Deeds Office, Sturgis, South Dakota.
- Utility & Minor Drainage Easements:
8' Wide on the interior side of all lot lines.
- Building Setbacks: Per City of Sturgis Ordinance, Front lot lines 25' setback. Rear lot lines 15' setback unless serviced from the rear setback is then 30'. Sides are 10' unless adjacent to residential, setback is then 25' from sides.
- Basis of Bearings using Geodetic North Determined from Global Positioning System (GPS).

LEGEND

- Found or Set 5/8" Rebar with Cap Marked 'VASKNETZ RLS7719'.
- ⊙ Found Survey Monumnet as Noted.

Major Drainage Easement

All major drainage easements shown hereon shall be kept free of all obstructions including, but not limited to, buildings, walls, fences, hedges, trees, and shrubs. These easements grant to all public authorities the right to construct, operate, maintain, inspect, and repair such improvements and structures as it deems necessary to facilitate drainage from any source.



STURGIS COMMON COUNCIL

We, the undersigned, as authorized representatives of the Sturgis City Common Council, do hereby certify that at an official meeting held on

this ____ day of _____, 20____, that

We did Approve this Plat.

Attest: _____
City Auditor: _____ Mayor: _____

SURVEYOR'S CERTIFICATE

I, Shanon E. Vasknetz, 2305 Junction Ave., being a Registered Land Surveyor in the State of South Dakota, do hereby state that at the request of the Owner listed hereon, I have surveyed and platted the property shown and described hereon. I have marked upon the ground the boundaries in the manner shown, and that the plat is correct to the best of my knowledge, information and belief.

IN WITNESS WHEREOF
I hereunto set my hand and seal

this ____ day of _____, 20____.

Shanon E. Vasknetz
Registered Land Surveyor No. 7719

OWNER'S CERTIFICATE

We, Donald G. Hannah and Barbara D. Hannah, do hereby certify that we are the Owners of the land shown and described hereon and that we did authorize and do join in and approve the survey and plat. We further certify that the development of this land shall conform to all existing applicable zoning, subdivision and erosion and sediment control regulations. Dedicated right-of-way as shown hereon is dedicated to public use.

IN WITNESS WHEREOF
We hereunto set our hands

this ____ day of _____, 20____.

Donald G. Hannah, Owner

Barbara D. Hannah, Owner

ACKNOWLEDGEMENT OF OWNERS

STATE OF _____ } SS
COUNTY OF _____

On this ____ day of _____, 20____, before me, the undersigned officer, personally appeared Donald G. Hannah and Barbara D. Hannah, known to me to be the persons who executed the foregoing Owner's Certificate and acknowledged to me that they executed the same for purposes therein contained.

IN WITNESS WHEREOF, I hereby set my hand and official seal.

Notary Public My commission expires: _____

OFFICE OF REGISTER OF DEEDS

Meade County Register of Deeds

COUNTY TREASURER'S CERTIFICATE

I, Treasurer of Meade County, South Dakota, do hereby certify that all taxes which are liens upon the land described hereon, as shown by the records of my office, are fully paid.

Dated this _____ day of _____, 20____.

Meade County Treasurer

CERTIFICATE OF EQUALIZATION DIRECTOR

I, Director of Equalization of Meade County, South Dakota, do hereby certify that I have on record in my office a copy of the within described Plat.

Dated this _____ day of _____, 20____.

City of Sturgis
Director of Equalization

CITY OF STURGIS PLANNING COMMISSION

Approved by the City of Sturgis Planning Commission, Meade County, South Dakota.

Dated this _____ day of _____, 20____.

Signed: _____
Chairman

Attest: _____
Secretary

CERTIFICATE OF HIGHWAY OR STREET AUTHORITY

The location of the proposed access to the Highway or Street as shown hereon is hereby approved. Any change in the location of the proposed access shall require additional approval.

Dated this _____ day of _____, 20____.

Highway or Street Authority

SURVEYOR'S NOTES

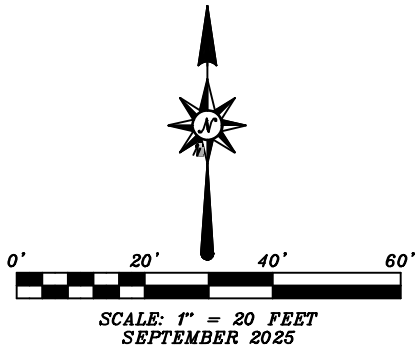
- 1) Recorded Information:
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- 2) Utility & Minor Drainage Easements:
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- 4) Basis of Bearings using Geodetic North Determined from Global Positioning System (GPS).

LEGEND

- Found or Set 5/8" Rebar with Cap Marked 'VASKNETZ RLS7719'.
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Major Drainage Easement

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STURGIS COMMON COUNCIL

We, the undersigned, as authorized representatives of the Sturgis City Common Council, do hereby certify that at an official meeting held on

this _____ day of _____, 20____, that

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City Auditor: _____ Mayor: _____

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IN WITNESS WHEREOF
I hereunto set my hand and seal

this _____ day of _____, 20____.

Shanon E. Vasknetz
Registered Land Surveyor No. 7719

OWNER'S CERTIFICATE

We, Donald G. Hannah and Barbara D. Hannah, do hereby certify that we are the Owners of the land shown and described hereon and that we did authorize and do join in and approve the survey and plat. We further certify that the development of this land shall conform to all existing applicable zoning, subdivision and erosion and sediment control regulations. Dedicated right-of-way as shown hereon is dedicated to public use.

IN WITNESS WHEREOF
We hereunto set our hands

this _____ day of _____, 20____.

Donald G. Hannah, Owner

Barbara D. Hannah, Owner

ACKNOWLEDGEMENT OF OWNERS

STATE OF _____ }
COUNTY OF _____ } SS

On this _____ day of _____, 20____, before me, the undersigned officer, personally appeared Donald G. Hannah and Barbara D. Hannah, known to me to be the persons who executed the foregoing Owner's Certificate and acknowledged to me that they executed the same for purposes therein contained.

IN WITNESS WHEREOF, I hereby set my hand and official seal.

Notary Public _____ My commission expires: _____

OFFICE OF REGISTER OF DEEDS

Meade County Register of Deeds

Lot 2A of Ashes Extension



September 29, 2025

Sturgis_Zoning - Zoning (Parcels)

MEDIUM-DENSITY RESIDENTIAL HOUSING

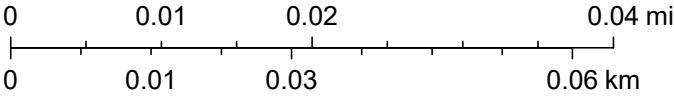
MULTI-FAMILY RESIDENTIAL

PARK LAND

PUBLIC LAND

Sturgis City Limits

1:1,128



Maxar, Microsoft

(18.05.04 & 18.05.05 revised by Ordinance 2015-01, effective 02/04/2015)
(18.05.04 A & C revised by Ordinance 2016-13, effective 01/25/2017)

TITLE 18.05.04
MEDIUM DENSITY RESIDENTIAL HOUSING

(A) DEFINITIONS:

This is a residential district to provide for medium population density the principal uses of land is for one and two-family residential uses. Certain uses which are more compatible with intensive residential uses than with commercial uses permitted. The city planning commission and city council may permit recreation, religious, education and other related uses in keeping with the residential character of the district on review. (Section A revised with Ordinance 2016-13, effective 01/25/2017)

(B) PERMITTED USES:

- A. Detached single-family homes which are of conventional construction and are constructed as per the adopted building code on site.
- B. Attached single family dwellings, which are intended for sale or lease to more than one but less than eight individual families. Said structures shall not be more than two stories in height (for the purpose of this section these homes shall have a separation wall of not less than one—hour construction which goes from foundation to the underside of the roof line which clearly divides the dwellings into individual single family dwelling units.
- C. Detached single-family manufactured homes which shall be placed on a foundation, (excluding manufactured homes which are mobile in nature) and are built in compliance with the codes adopted by the City of Sturgis and the State of South Dakota.
- D. Temporary buildings for uses incidental to construction work, which buildings shall be immediately adjacent to said construction work and which buildings shall be removed upon completion or abandonment of construction work.
- E. Transportation and utility easements, alleys, and rights-of-ways.
- F. A maximum of two structures for storage which is a single story and less than 144 square feet in area may be permitted without a building permit and/or being placed on a foundation.
- G. All accessory storage structures must have a minimum of 3 foot set back from side and/or rear property lines. No structures are allowed within the front setback of any property in this district.
- H. Small agricultural gardens.
- I. Signs, as regulated in Title 18, Article 5, Section 8.

(C) USES PERMITTED ON REVIEW:

The governing body in accordance with provisions contained in Title 18, Article VII, Section 4 may permit the following uses on review:

- 1. Churches or similar places of worship, with accessory structures but not including missions, revivals, tents or similar structures. (For the purpose of this section, missions, revivals or similar uses shall be known as any activity which takes place outside the permanent structure which causes more traffic, noise etc. than the primary use.) This section is not intended to prohibit activities such as preschool, Sunday school, or similar activities which may take place outside the structure.
- 2. Schools public or private.
- 3. Public parks, playgrounds and play fields, and neighborhood and municipal buildings and uses in keeping with the character and requirements of the district.
- 4. Libraries, museums, and historical monuments or structures.

5. Utility substations.
6. Golf courses, or country clubs, with adjoining grounds of not less than sixty (60) acres.
7. Cemeteries.
8. A planned residential development as regulated in Title 18, Article, Section 1-a.
9. Home occupations which are clearly incidental in nature and which no display except for regulated signage will be permitted on the exterior of the building being utilized in part for any purpose other described above or as described in Title 18, Article V, Section 10.
10. Day care homes or group homes either for children or adults.
11. Townhomes subject to the regulations set forth in subsection (h) below.
12. At Home Businesses subject to the use on review process outlined in Article VII Section 2.

(D) AREA REGULATIONS:

1. FRONT YARD: All lots shall have a minimum of not less than ten (10) feet from property lines.
2. SIDE YARD: All interior lots with single story structures shall have a minimum side yard of not less than five (5) feet from property line to the wall of the structure. In addition, any structure with two (2) or more stories or having an eave height of more than eighteen (18) feet above finished grade shall have one (1) foot of side yard for each two (2) feet of eave height above finished grade.
3. CORNER LOT SIDE YARD: All lots which have side yard abutting a street shall have a minimum setback of not less than eighteen (18) feet from the property line.
4. REAR YARD: All lots shall have a minimum rear yard of not less than ten (10) feet from property lines.
5. LOT WIDTH: All lots used in this zoning designation shall have a minimum lot width of not less than fifty (50) feet
6. LOT AREA: Shall have a minimum area of not less than 6000 sq. ft.
7. MAXIMUM LOT COVERAGE: All lots shall not have more than 45% of its total area covered by permanent structures.
8. ALLEY GARAGE SET BACK: Minimum of a ten (10) foot setback when accessed from public alley with no parking allowed within said setback.

(E) HEIGHT REGULATIONS:

No structure shall exceed two and one-half (2 ½) stories in height.

(F) OFF STREET PARKING:

A minimum of one 400 sq. ft. of hard surface parking with an eight (8) foot minimum width, which must be configured in a manner to hold at least two automobiles, must be provided for each single family home. All drives and parking pads must be hard surfaced, including those drives that connect a driveway or parking pad to a right of way. Hard surfaces include asphalt or concrete, other materials such as brick or pavers may be used subject to review by the Building Inspector.

(G) FLOOD PLAIN REQUIREMENTS:

Any structure constructed within this district must have its first floor elevation one foot above the base flood elevation stated on the FEMA FIRM map. All property improvements and uses are subject to current FEMA requirements.

(H) TOWNHOME REGULATIONS

The following regulations shall apply to any lot containing townhomes.

1. AREA REGULATIONS:

FRONT YARD: All lots shall have a minimum of not less than ten (10) feet from the front property line to the front of the structure.

SIDE YARDS: All interior lots shall have a minimum of not less five (5) feet from the side property line to the structure wall. Structures which are two (2) or more stories in height or have an eave height of more than eighteen (18) feet above finished grade shall have an additional one (1) foot of side yard for each two (2) feet of eave height above finished grade.

SIDE YARDS ON CORNER LOTS: All lots which have a side yard abutting a street shall have a minimum side yard setback of not less than eighteen (18) feet from the property line to the structure.

REAR YARD: All lots shall have a minimum rear yard of not less than ten (10) feet from the property line to the primary residential structure.

LOT WIDTH: All lots shall have a minimum lot width of not less than thirty five (35) feet.

LOT AREA: All lots shall have a minimum lot area of not less than 3500 sq. ft.

MAXIMUM LOT COVERAGE: All lots shall not have more than 50% of its total lot area covered by permanent structures.

2. HEIGHT REGULATIONS:

No structure shall exceed two and one-half (2 ½) stories in height.

3. OFF STREET PARKING:

A minimum of one 400 sq. ft. of hard surface parking (8' minimum width, which must be configured in a manner to hold at least two automobiles) must be provided for each single family home. All drives and parking pads must be hard surfaced, including those drives that connect a driveway or parking pad to a right of way. Hard surfaces include asphalt or concrete, other materials such as brick or pavers may be used subject to review by the Building Inspector.

4. FLOOD PLAIN REQUIREMENTS:

Any structure constructed within this district must have its first floor elevation one foot above the base flood elevation stated on the FEMA FIRM map. All property improvements and uses are subject to current FEMA requirements.

Planning Commission

STAFF REPORT



Meeting Date: Planning Commission - Oct 07 2025

Agenda Item: Consideration of Final Plat of Lots 7A, 7B and 7C in Block 1 of Lot 12 of the NE1/4SW1/4 of Section 4, T5N, R5E, BHM, City of Sturgis, Meade County, South Dakota. (formerly Lots 7 & 8 in Block 1 of Lot 12)

Prepared By: Rick Bush, Director of Public Works

BACKGROUND INFORMATION:

The subject property is located in Block 1 of Lot 12 of the NE1/4SW1/4 of Section 4, T5N, R5E, BHM, City of Sturgis, Meade County, South Dakota and is zoned as Medium Density Residential. The MDR district allows for detached and attached single-family homes, manufactured homes on foundations, and townhomes, among other uses. Townhomes are specifically addressed within the MDR zoning and require that each unit be platted on a separate lot, with common walls to be the property lines.

Each lot is required to have individual water and sewer services.

Applicants are: Larry Harris and Beth Harris.

ZONING & AREA REGULATIONS

Pursuant to **Title 18.05.04 (MDR Zoning)** and the **Townhome Regulations**, the following standards apply:

- **Lot Area & Width (Townhomes):**
 - Minimum Lot Area: 3,500 sq. ft. per townhome lot
 - Minimum Lot Width: 35 feet
- **Setbacks:**
 - Front Yard: Minimum 10 feet
 - Side Yard (interior): 5 feet, unless abutting a common wall where property line is shared
 - Side Yard (corner lots): Minimum 18 feet
 - Rear Yard: Minimum 10 feet
- **Maximum Lot Coverage:** 50% of total lot area
- **Height:** No structure shall exceed 2 ½ stories
- **Parking:** Each unit must provide at least 400 sq. ft. of hard-surfaced parking (minimum two vehicles)
- **Floodplain:** First floor elevation must be at least 1 foot above base flood elevation if within FEMA mapped floodplain.

DISCUSSION:

The proposed plat converts two existing lots (Lots 7 and 8) into three new lots (Lots 7A, 7B, and 7C) to accommodate a multi-family townhouse development.

The design places common walls along the property lines, consistent with MDR townhouse zoning requirements. Each new lot provides adequate lot width and lot area to conform with Title 18 standards, and the plat aligns with the City's Subdivision Ordinance (Title 19).

- This replat allows for the construction of a townhouse project that increases residential density while remaining consistent with the MDR zoning district.
- The creation of three lots from two facilitates individually platted townhome units, as required by ordinance for ownership and financing purposes.
- The proposed plat satisfies MDR zoning and townhome requirements for lot area, width, coverage, and parking.
- No variances are requested as part of this action.
- Staff has reviewed the plat and finds it in conformance with **Title 18 (Zoning)** and **Title 19 (Subdivision Ordinance)**.

CODE REFERENCES:

- City of Sturgis Municipal Code **Title 18.05.04 – Medium Density Residential**
- City of Sturgis Municipal Code **Townhome Regulations – Title 18.05.04(H)**
- City of Sturgis Subdivision Ordinance (Title 19)

RECOMMENDATION:

Staff recommends approval of the Final Plat for Lots 7A, 7B, and 7C in Block 1 of Lot 12 of the NE $\frac{1}{4}$ SW $\frac{1}{4}$ of the City of Sturgis, as presented, it complies with the Medium Density Residential zoning standards for townhomes and the City's subdivision regulations.

ATTACHMENTS:

[25-038 MCKEE REPLAT L7R INTO 3 LOTS Prelim \(5\)](#)
[Lot 7A, 7B & 7C](#)
[FINAL DRAFT LARRY HARRIS \(2\)](#)

Approved By:

Rick Bush, Director of Public Works

Status:

Approved - Sep 30 2025

COUNTY TREASURER'S CERTIFICATE

I, Treasurer of Meade County, South Dakota, do hereby certify that all taxes which are liens upon the land described hereon, as shown by the records of my office, are fully paid.

Dated this _____ day of _____, 20____.

Meade County Treasurer

CERTIFICATE OF EQUALIZATION DIRECTOR

I, Director of Equalization of Meade County, South Dakota, do hereby certify that I have on record in my office a copy of the within described Plat.

Dated this _____ day of _____, 20____.

City of Sturgis
Director of Equalization

CITY OF STURGIS PLANNING COMMISSION

Approved by the City of Sturgis Planning Commission, Meade County, South Dakota.

Dated this _____ day of _____, 20____.

Signed: _____
Chairman

Attest: _____
Secretary

CERTIFICATE OF HIGHWAY OR STREET AUTHORITY

The location of the proposed access to the Highway or Street as shown hereon is hereby approved. Any change in the location of the proposed access shall require additional approval.

Dated this _____ day of _____, 20____.

Highway or Street Authority

STURGIS COMMON COUNCIL

We, the undersigned, as authorized representatives of the Sturgis City Common Council, do hereby certify that at an official meeting held

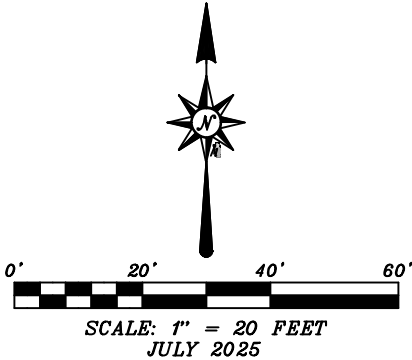
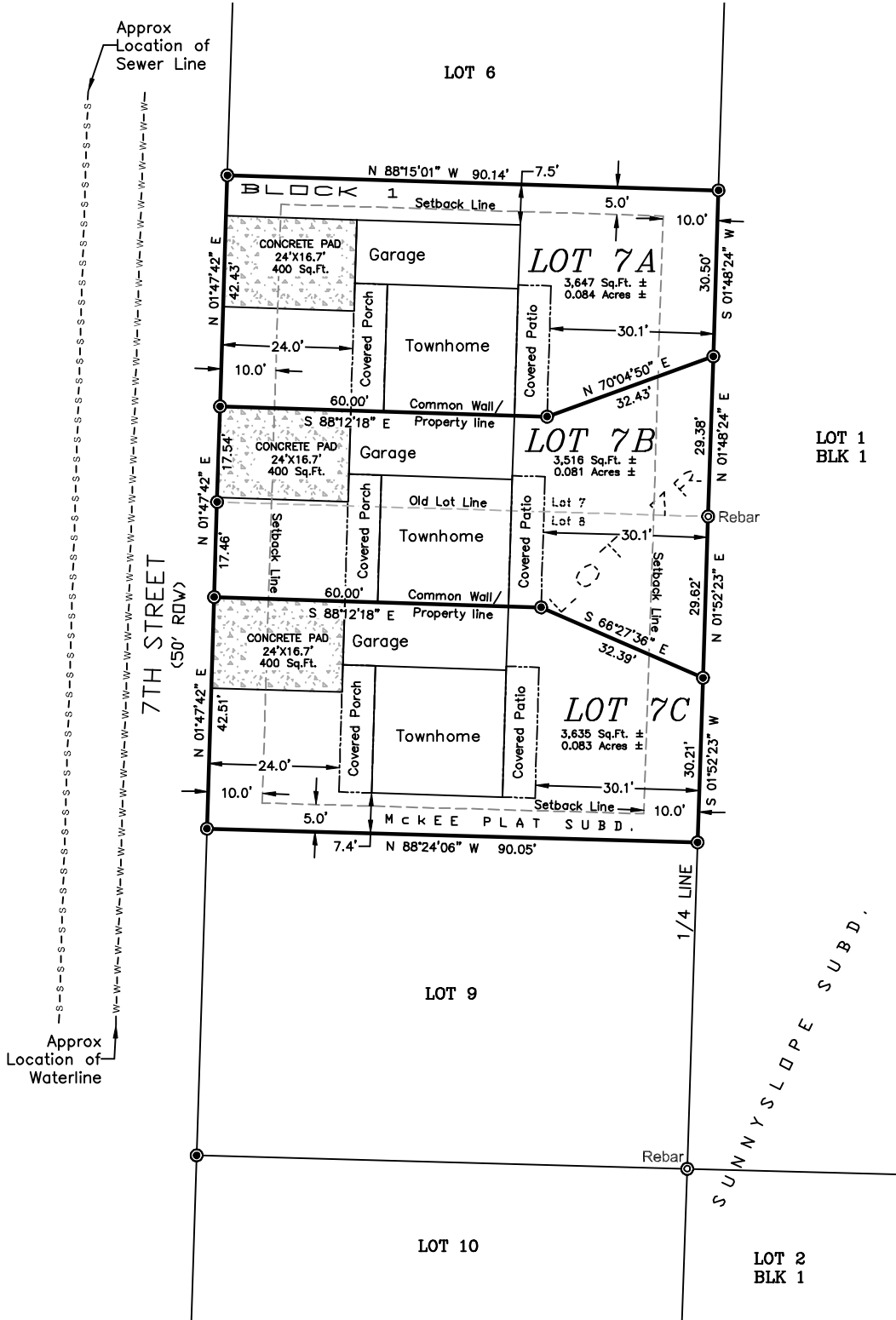
on this _____ day of _____, 20____, that
We did Approve this Plat.

Attest: _____ City Auditor: _____ Mayor: _____

OFFICE OF REGISTER OF DEEDS

Meade County Register of Deeds

Preliminary Plat of
Lots 7A, 7B, and 7C in Block 1 of McKEE Plat Subdivision.
(Formerly Lot 7R in Block 1 of McKEE Plat Subdivision)
All Located in the NE1/4 of the SW1/4 of Section 4, Township 5 North, Range 5 East,
Black Hills Meridian, City of Sturgis, Meade County, South Dakota.



Platted Acreage

LOT 7A: 0.084 ACRES±
LOT 7B: 0.081 ACRES±
LOT 7C: 0.083 ACRES±

Reference Documents as shown on:
1. Plat Book 5 at Page 74
as recorded at the Meade County Register
of Deeds Office.

Major Drainage Easement

All major drainage easements shown hereon shall be kept free of all obstructions including, but not limited to, buildings, walls, fences, hedges, trees, and shrubs. These easements grant to all public authorities the right to construct, operate, maintain, inspect, and repair such improvements and structures as it deems necessary to facilitate drainage from any source.

SURVEYOR'S NOTES

- 1) Utility & Minor Drainage Easements: 8' Wide on the interior side of all lot lines.
- 2) Building Setbacks: Current Zoning as Medium Density Residential Housing. Per the City of Sturgis Title 18.05.04 Zoning Code for Townhome Regulations. 10' on Front, 10' Rear and 5' on All Side Lot Lines including an 18' Corner Lot Frontage.
- 3) Basis of Bearings using Geodetic North Determined from Global Positioning System (GPS).

LEGEND

- Found or Set 5/8" Rebar with Cap Marked 'VASKNETZ RLS7719'.
- Found Survey Monument as Noted.

SURVEYOR'S CERTIFICATE

I, Shanon E. Vasknetz, 2305 Junction Ave., being a Registered Land Surveyor in the State of South Dakota, do hereby state that at the request of the Owner listed hereon, I have surveyed and platted the property shown and described hereon. I have marked upon the ground the boundaries in the manner shown, and that the plat is correct to the best of my knowledge, information and belief.

IN WITNESS WHEREOF
I hereunto set my hand and seal

Dated this _____ day of _____, 20____.

Shanon E. Vasknetz
Registered Land Surveyor No. 7719

OWNER'S CERTIFICATE

We, Larry Harris and Beth Lee-Harris, do hereby certify that we are the Owners of the land shown and described hereon and that we did authorize and do join in and approve the survey and plat. We further certify that the development of this land shall conform to all existing applicable zoning, subdivision and erosion and sediment control regulations. Dedicated right-of-way as shown hereon is dedicated to public use.

IN WITNESS WHEREOF
We hereunto set our hands

Dated this _____ day of _____, 20____.

Larry Harris, Owner Beth Lee-Harris, Owner

ACKNOWLEDGEMENT OF OWNERS

STATE OF SOUTH DAKOTA

COUNTY OF _____

Dated this _____ day of _____, 20____,
undersigned officer, personally appeared Larry Harris and Beth Lee-Harris, known to me to be the persons who executed the foregoing Owner's Certificate and acknowledged to me that they executed the same for purposes therein contained.

IN WITNESS WHEREOF, I hereby set my hand and official seal.

Notary Public My commission expires: _____

PREPARED BY: BASELINE SURVEYING, INC.,
2305 JUNCTION AVENUE, STURGIS, S.D. 57785
EMAIL: baseline@sturgissurveying.com
PHONE: 605 490-1401 JOB NO. 25-038

Lot 7A, 7B and 7C of Block 1 Lot 12



September 29, 2025

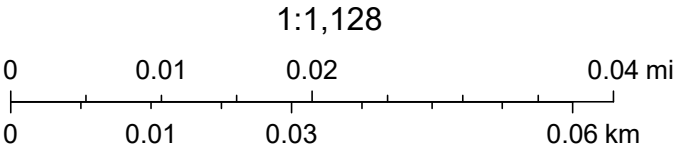
Sturgis_Zoning - Zoning (Parcels)

MEDIUM-DENSITY RESIDENTIAL HOUSING

MOBILE HOME 1

MOBILE HOME 2

Sturgis City Limits



Maxar, Microsoft

GENERAL CONTRACTOR NOTES:

- BEFORE STARTING PROJECT CONTRACTOR TO VERIFY ALL UNDER GROUND UTILITIES ON ALL PUBLIC OR PRIVATE PROPERTY
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS AT THE JOB SITE AND SHALL NOTIFY DESIGNER OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE JOB.
- CONTRACTOR MUST COMPLY WITH RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION, SAFETY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES. ALL FEES, TAXES, PERMITS, APPLICATIONS AND CERTIFICATES OF INSPECTION, AND THE FILING OF ALL WORK WITH GOVERNMENTAL AGENCIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTORS SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS JURISDICTION. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT.
- DO NOT SCALE DRAWINGS, DIMENSIONS GOVERN. LARGER SCALE DRAWINGS SHALL GOVERN SMALLER SCALE.
- UNLESS OTHERWISE INDICATED, PLAN DIMENSIONS ARE TO COLUMN GRID ON CENTERLINES, NOMINAL SURFACE OF MASONRY, FACE OF STUDS, AND FACE OF CONCRETE WALLS.
- LINE OF GRADES, AS SHOWN ON THE BUILDING ELEVATIONS AND SECTIONS ARE APPROXIMATE.
- VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT PROVIDED IN THIS CONTRACT, OR BY OTHERS.
- WALL TYPES WITH UL DESIGN NO.S SHALL BE CONSTRUCTED TO UL STANDARDS. PRODUCTS USED SHALL BEAR UL CLASSIFICATION WHERE REQUIRED BY THE UL DESIGN.
- TO INSURE PROPER AND ADEQUATE BLOCKING, ALL BLOCKING FOR CABINET WORK WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

GENERAL PROJECT NOTES:

- SLOPE GRADE AWAY FROM HOUSE & GARAGE. PROVIDE DRAINAGE FOR ALL GROUND WATER & RUNOFF WATER AWAY FROM BUILDING. TYPICAL OF ALL SIDES.
- GUTTERS & DOWN SPOUTS NOT SHOWN.
- GUTTERS & DOWNSPOUTS NOT SHOWN. STYLE & COLOR BY OWNER.
- WINDOW/DOOR STYLES BY OWNER.
- EXTERIOR FINISH, STYLE & COLOR BY OWNER.

GENERAL CODE NOTES:

- EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENABLE HEIGHT SHALL BE 24" THE MINIMUM NET CLEAR OPENABLE WIDTH SHALL BE 20". THE SILL HEIGHT SHALL BE NO MORE THAN 44" ABOVE FINISHED FLOOR. EGRESS WINDOWS SHALL BE IN ALL ROOMS LABELED AS BEDROOMS.
- PROVIDE ATTIC VENTILATION PER IRC 806
- GUARDRAIL HEIGHT 36" MINIMUM FOR R-3/U OCCUPANCIES 4" MAX. OPENING (IRC SECTION 311)
- EGRESS AREA WELL AS REQUIRED BY IRC. SECTION R310.2
- ICE BARRIER-IRC SEC R905.2.7.1
- SEAL PENETRATIONS THRU PLATES OF FLOORS, CEILINGS, ETC. IBC SEC 717 IRC SEC. 602.8
- FIRE & DRAFT STOPS REQUIRED AT FLOORS, CEILING, CHIMNEYS, SOFFIT, ETC. IBC SEC. 717 IRC SEC. 602.8
- ALL WOOD FRAME CONSTRUCTION PER IBV & IRC

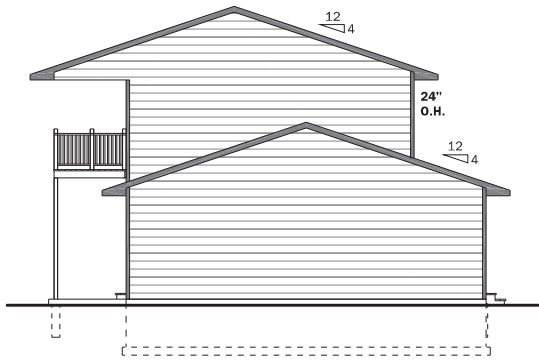
CUSTOMER AND BUILDERS FIRSTSOURCE AGREE THAT ALL RIGHTS, TITLE, AND INTEREST IN AND TO THE PLAN PRODUCED BY BUILDERS FIRSTSOURCE FOR CUSTOMER, INCLUDING WITHOUT LIMITATION ALL COPYRIGHTS, WILL BELONG TO BUILDERS FIRSTSOURCE AND THAT SHALL HAVE A NON-EXCLUSIVE LICENSE TO COPY, MODIFY, AND USE THE PLAN AS NECESSARY FOR THE CONSTRUCTION OF ONE HOME, PROVIDED THAT CUSTOMER SHALL NOT CLAIM COPYRIGHT IN ANY SUCH MODIFICATIONS, SUCH COPYRIGHT BELONGING TO BUILDERS FIRSTSOURCE. ALL OTHER RIGHTS IN AND TO THE PLAN ARE RESERVED BY BUILDERS FIRSTSOURCE AND THE PLAN MAY NOT OTHERWISE BE ALTERED, COPIED OR REPRODUCED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF BUILDERS FIRSTSOURCE.

4/15/2025

1/8" = 1'-0"

IF THIS PLAN IS LESS THAN 18"x24"
OR 24"x36" IT IS A REDUCED PRINT.
SCALE ACCORDINGLY

STURGIS TOWNHOMES
ALLPRO ELECTRIC
SPB25117



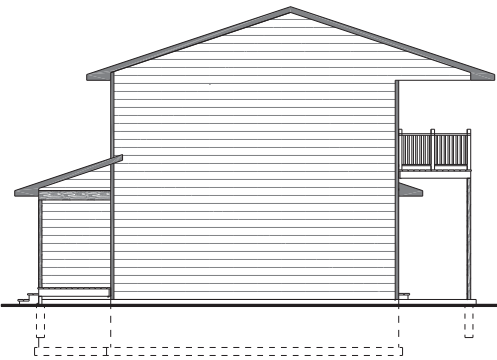
STEP FTG'ING WITH GRADE
RETAINING, WALKOUT &
KNEEWALLS AS REQ.

LEFT ELEVATION
SCALE : 1/8" = 1'-0"



STEP FTG'ING WITH GRADE
RETAINING, WALKOUT &
KNEEWALLS AS REQ.

REAR ELEVATION
SCALE : 1/8" = 1'-0"



STEP FTG'ING WITH GRADE
RETAINING, WALKOUT &
KNEEWALLS AS REQ.

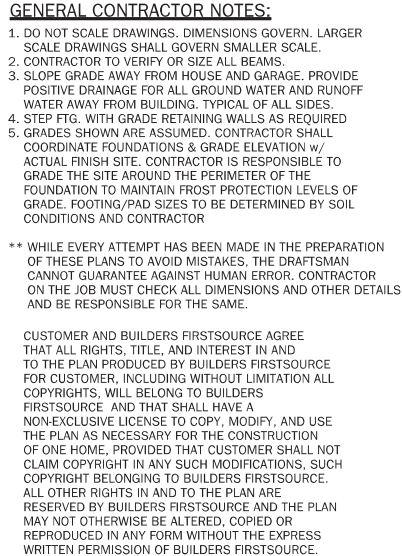
RIGHT ELEVATION
SCALE : 1/8" = 1'-0"



O'HEAD DOOR & ENTRY DOOR
STYLES BY OWNER
ALL EXTERIOR FINISHES TO BE
COORDINATED W/ BFS REPRESENTATIVE,
GENERAL CONTRACTOR, & OWNER

FRONT ELEVATION

SCALE : 1/4" = 1'-0"



SCALE : 1/4" = 1'-0" CRAWLSPACE 576 SQ. FT. PER. UNIT

GENERAL CONTRACTOR NOTES:

1. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. LARGER SCALEDRAWINGS SHALL GOVERN SMALLER SCALE.
2. ALL EXTERIOR WALLS ARE 2x6 @ 16" o.c. UNLESS OTHERWISE NOTED.
3. ALL INTERIOR WALLS ARE 2x4 @ 16" o.c. UNLESS OTHERWISE NOTED.
4. ALL EXTERIOR HEADER'S SIZED PER PLAN.

5. ALL DIMENSIONS ARE FROM SURFACE OF STUD TO SURFACE OF STUD.

6. CONTRACTOR TO VERIFY ALL R.O. PER WINDOW/ DOOR BID SHEET.

7. CONTRACTOR TO VERIFY OR SIZE ALL BEAMS.

8. WINDOW STYLES BY OWNER.

9. EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPERABLE AREA OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPERABLE HEIGHT SHALL BE 24" THE MINIMUM NET CLEAR OPERABLE WIDTH SHALL BE 20". THE SILL HEIGHT SHALL BE NO MORE THAN 44" ABOVE FINISHED FLOOR. EGRESS WINDOWS SHALL BE IN ALL ROOMS LABELED AS BEDROOMS.

10. PROVIDE ROOF AND SOFFIT VENTS TO ADEQUATELY VENTILATE ROOF SPACE. COORDINATE SIZE OF VENT AND LOCATIONS WITH VENT MANUFACTURER (IRC SECTION 806)

11. FURNACE & WATER HEATER APLIANCES SHALL BE DIRECT VET. 36" CLEAR SPACE INFRONT OF FURNACE. APPLIANCES TO BE FASTENED IN PLACE PER CODE. WATER HEATER TO BE INSTALLED 18" A.F.F.

12. CABINET DESIGN BY OTHERS TO BE VERIFIED W/ ACTUAL FRAMED (AS BUILT) DIMENSIONS ON SITE.

** WHILE EVERY ATTEMPT HAS BEEN MADE AVOID MISTAKES, THE DRAFTSMAN CANNOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR ON THE JOB MUST CHECK ALL DIMENSIONS AND OTHER DETAILS AND BE RESPONSIBLE FOR THE SAME.

GENERAL CODE NOTES:

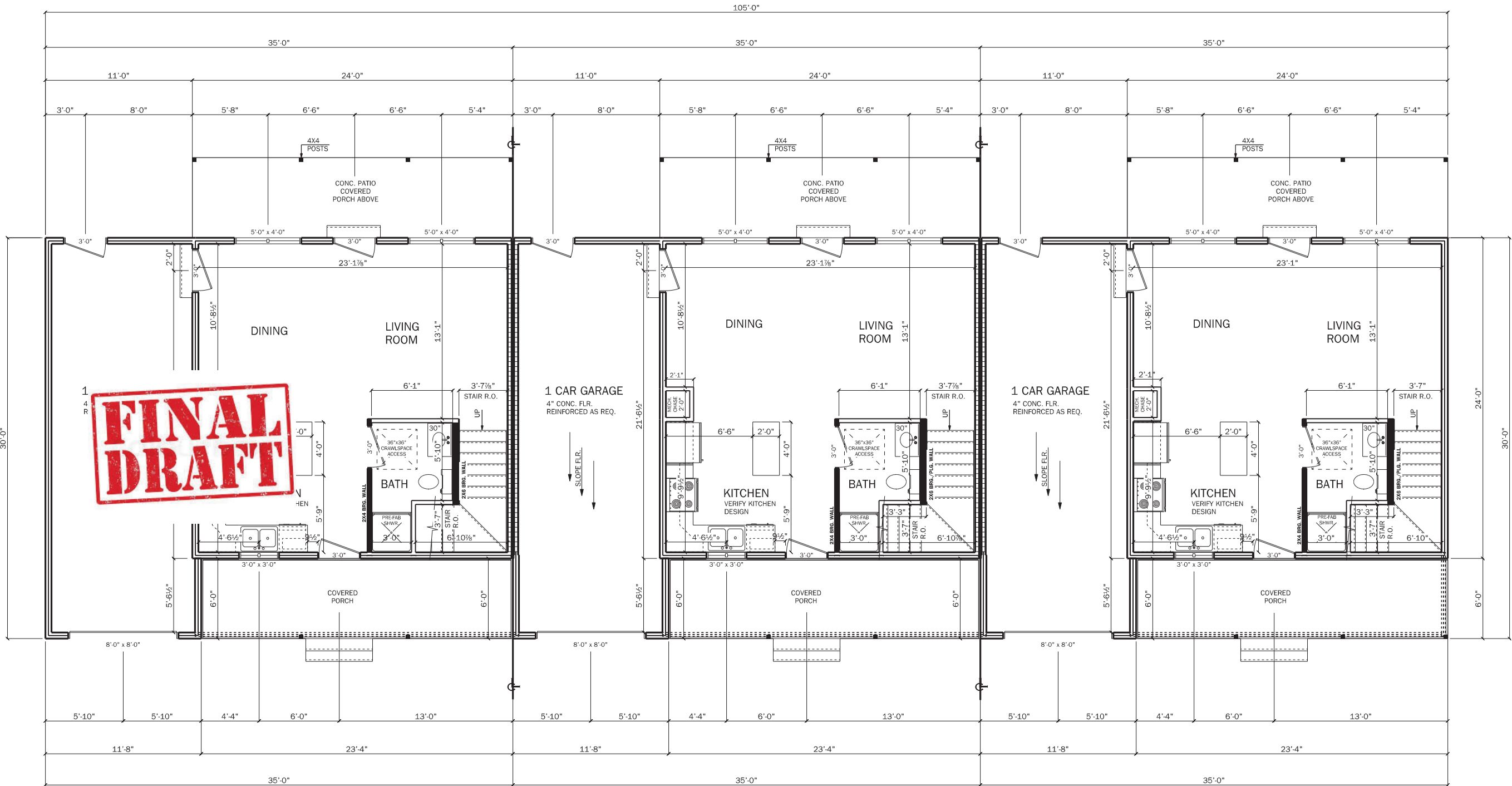
1. SEPARATION BETWEEN GARAGE & HOUSE AS PER SECTION R302.6
2. SAFETY GLAZING REQUIRED WHERE NEEDED IBC SECTION 2406 IRC SECTION 308
3. 20 MINUTE DOOR OR 1 3/8" SOLID WOOD DOOR OR HONEY COMB CORE STEEL DOOR IRC SECTION R302.5.1
4. FIRE ESCAPE & RESCUE WINDOWS REQ'D PER IBC SEC. 1029 IRC SECTION 310
5. A CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA. IRC SECTION 315
6. PROVIDE SMOKE DETECTORS AS REQ'D

4/15/2025

1/8" = 1'-0"

IF THIS PLAN IS LESS THAN 18"x24" OR 24"x36" IT IS A REDUCED PRINT. SCALE ACCORDINGLY

CUSTOMER AND BUILDERS FIRSTSOURCE AGREE THAT ALL RIGHTS, TITLE, AND INTEREST IN AND TO THE PLAN PRODUCED BY BUILDERS FIRSTSOURCE FOR CUSTOMER, INCLUDING WITHOUT LIMITATION ALL COPYRIGHTS, WILL BELONG TO BUILDERS FIRSTSOURCE. AND THAT SHALL HAVE A NON-EXCLUSIVE LICENSE TO COPY, MODIFY, AND USE THE PLAN AS NECESSARY FOR THE CONSTRUCTION OF ONE HOME, PROVIDED THAT CUSTOMER SHALL NOT CLAIM COPYRIGHT IN ANY SUCH MODIFICATIONS, SUCH COPYRIGHT BELONGING TO BUILDERS FIRSTSOURCE. ALL OTHER RIGHTS IN AND TO THE PLAN ARE RESERVED BY BUILDERS FIRSTSOURCE AND THE PLAN MAY NOT OTHERWISE BE ALTERED, COPIED OR REPRODUCED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF BUILDERS FIRSTSOURCE.



UNIT #1- 3 MAIN FLOOR PLAN

SCALE : 1/4" = 1'-0"

MAIN FLOOR 576 SQ. FT. PER. UNIT
GARAGE 334 SQ. FT. PER. UNIT

* IMPORTANT *

These drawings may not meet applicable building codes



Drawn For: LARRY HARRIS

Contractor: ALLPRO ELECTRIC

Drawn By: BRIANA WILLIAMSON

Date: 03/26/25

MAIN FLOOR PLAN

Date: 03/26/25	Revision Date: 00/00/00
Revision Date: 04/03/25	Revision Date: 00/00/00
Revision Date: 00/00/00	Revision Date: 00/00/00
Revision Date: 00/00/00	Revision Date: 00/00/00
Revision Date: 00/00/00	Revision Date: 00/00/00
Revision Date: 00/00/00	Revision Date: 00/00/00

SHEET NO.

3

GENERAL CONTRACTOR NOTES:

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3. ALL INTERIOR WALLS ARE 2x4 @ 16" o.c. UNLESS OTHERWISE NOTED.

4. ALL EXTERIOR HEADER'S SIZED PER PLAN.

5. ALL DIMENSIONS ARE FROM SURFACE OF STUD TO SURFACE OF STUD.

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7. CONTRACTOR TO VERIFY OR SIZE ALL BEAMS.

8. WINDOW STYLES BY OWNER.
9. EGRESS WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPERABLE AREA OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPERABLE HEIGHT SHALL BE 24" THE MINIMUM NET CLEAR OPERABLE WIDTH SHALL BE 20". THE SILL HEIGHT SHALL BE NO MORE THAN 44" ABOVE FINISHED FLOOR. EGRESS WINDOWS SHALL BE IN ALL ROOMS LABELED AS BEDROOMS.

10. PROVIDE ROOF AND SOFFIT VENTS TO ADEQUATELY VENTILATE ROOF SPACE. COORDINATE SIZE OF VENT AND LOCATIONS WITH VENT MANUFACTURER (IRC SECTION 806)

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2. SAFETY GLAZING REQUIRED WHERE NEEDED IBC SECTION 2406 IRC SECTION 308

3. 20 MINUTE DOOR OR 1 3/8" SOLID WOOD DOOR OR HONEY COMB CORE STEEL DOOR IRC SECTION R302.5.1

4. FIRE ESCAPE & RESCUE WINDOWS REQ'D PER IBC SEC. 1029 IRC SECTION 310

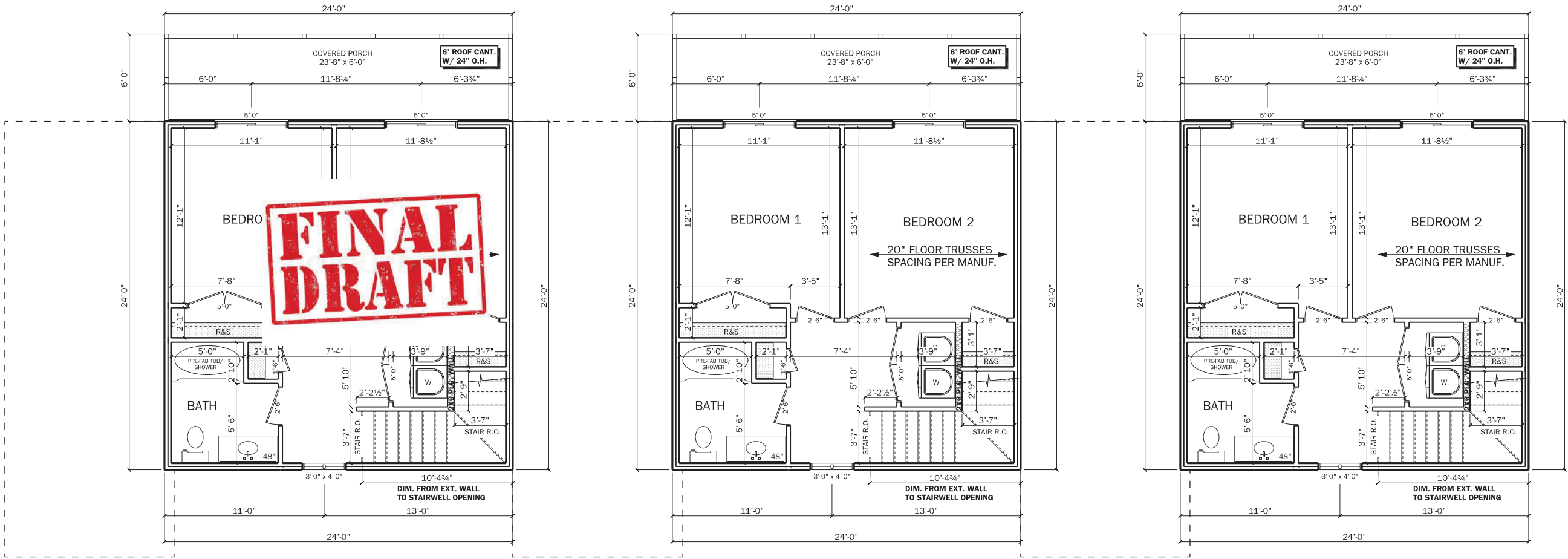
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6. PROVIDE SMOKE DETECTORS AS REQ'D

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4/15/2025
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SCALE ACCORDINGLY



UNIT #1 - 3 SECOND FLOOR PLAN

SCALE : 1/4" = 1'-0"

SECOND FLOOR 576 SQ. FT. PER. UNIT

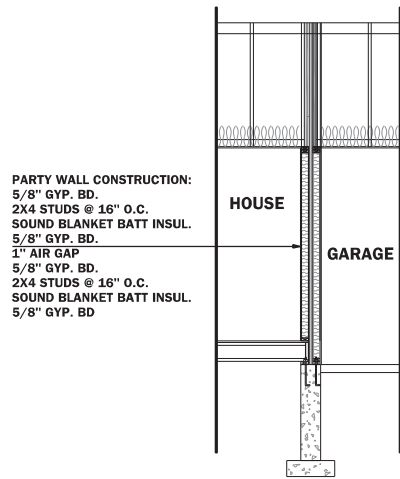
* IMPORTANT *

These drawings may not meet applicable building codes



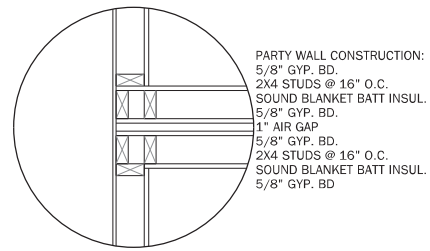
Drawn For: LARRY HARRIS
Contractor: ALLPRO ELECTRIC
Drawn By: BRIANA WILLIAMSON
Date: 03/26/25

SECOND FLOOR PLAN			
Date:	03/26/25	Revision Date:	00/00/00
Revision Date:	04/03/25	Revision Date:	00/00/00
Revision Date:	00/00/00	Revision Date:	00/00/00
Revision Date:	00/00/00	Revision Date:	00/00/00
Revision Date:	00/00/00	Revision Date:	00/00/00



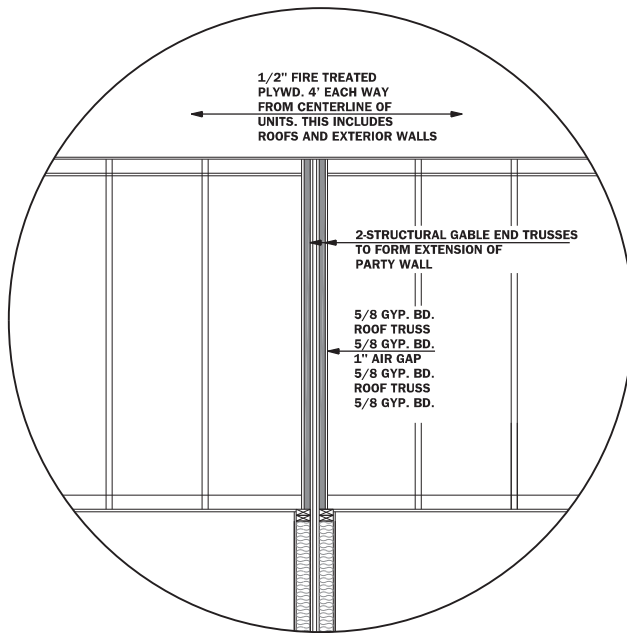
FIRE WALL DETAIL

SCALE : 1/4" = 1'-0"



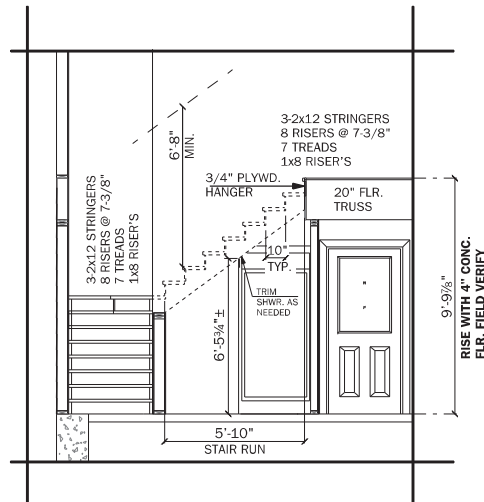
INTERSECTING EXTERIOR PARTY WALL DETAIL

SCALE : 1/4" = 1'-0"



ENLARGED TRUSS DETAIL

SCALE : 1/2" = 1'-0"



STAIR DETAIL

SCALE : 1/4" = 1'-0"

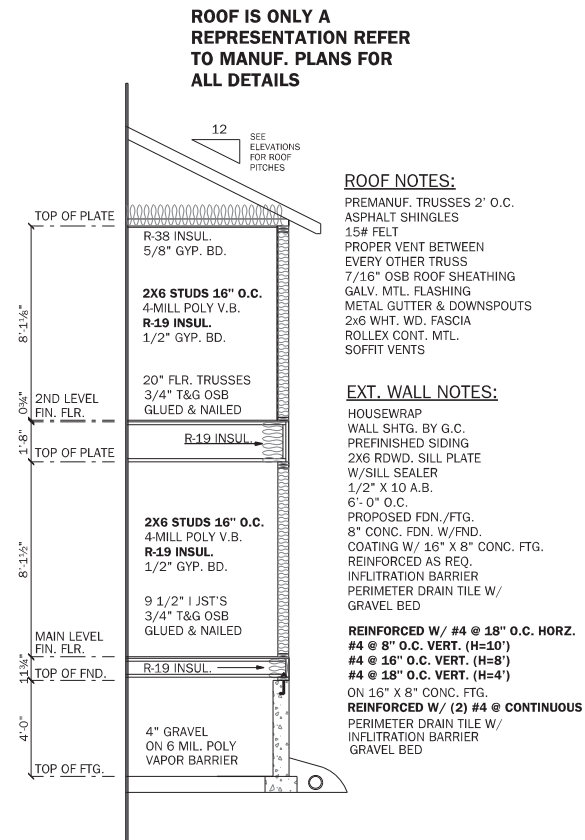
NOTE:

WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THESE STAIR DETAILS TO AVOID MISTAKES, THE DRAFTSMAN CAN NOT ACCOUNT FOR ANY FIELD ADJUSTMENTS THAT ARE REQUIRED DUE TO PROBLEMS THAT MIGHT OCCUR ON THE JOB SITE. THE CONTRACTOR ON THE JOB MUST CHECK ALL DIMENSIONS AND OTHER DETAILS AND BE RESPONSIBLE FOR THE SAME.

STAIRS TO HAVE:

HANDRAIL @ ONE SIDE, TOP OF HANDRAIL TO BE 34" MIN. ABOVE STAIR NOSING, HANDRAIL TO EXTEND 6" PAST TOP & BOTTOM RISERS & RETURN TO WALL

FLOOR SYSTEM IS ONLY A REPRESENTATION REFER TO MANUF. PLANS FOR ALL DETAILS



WALL DETAIL

SCALE : 1/4" = 1'-0"

TYPICAL

CUSTOMER AND BUILDERS FIRSTSOURCE AGREE THAT ALL RIGHTS, TITLE, AND INTEREST IN AND TO THE PLAN PRODUCED BY BUILDERS FIRSTSOURCE FOR CUSTOMER, INCLUDING WITHOUT LIMITATION ALL COPYRIGHTS, WILL BELONG TO BUILDERS FIRSTSOURCE. CUSTOMER SHALL HAVE A NON-EXCLUSIVE LICENSE TO COPY, MODIFY, AND USE THE PLAN AS NECESSARY FOR THE CONSTRUCTION OF ONE HOME, PROVIDED THAT CUSTOMER SHALL NOT CLAIM COPYRIGHT IN ANY SUCH MODIFICATIONS, SUCH COPYRIGHT BELONGING TO BUILDERS FIRSTSOURCE. ALL OTHER RIGHTS IN AND TO THE PLAN SHALL REMAIN TO BUILDERS FIRSTSOURCE AND THE PLAN MAY NOT OTHERWISE BE ALTERED, COPIED OR REPRODUCED IN ANY FORM WITHOUT THE EXPRESS WRITTEN PERMISSION OF BUILDERS FIRSTSOURCE.

ROOF NOTES:

PREMANUF. TRUSSES 2' O.C.
ASPHALT SHINGLES
15# FELT
PROPER VENT BETWEEN
EVERY OTHER TRUSS
7/16" OSB ROOF SHEATHING
GALV. MTL. FLASHING
METAL GUTTER & DOWNSPOUT
2x6 WHT. WD. FASCIA
ROLLEX CONT. MTL.
SOFFIT VENTS

EXT. WALL NOTES:

HOUSEWRAP
WALL SHTG. BY G.C.
PREFINISHED SIDING
2X6 RDWD. SILL PLATE
W/SILL SEALER
1/2" X 10 A.B.
6'-0" O.C.
PROPOSED FDN. /FTG.
8" CONC. FDN. W/FND.
COATING W/ 16" X 8" CONC. FTG.
REINFORCED AS REQ.
INFILTRATION BARRIER
PERIMETER DRAIN TILE W/
GRAVEL BED

REINFORCED W/ #4 @ 18" O.C. HORZ.
#4 @ 8" O.C. VERT. (H=10')
#4 @ 16" O.C. VERT. (H=8')
#4 @ 18" O.C. VERT. (H=4')
 ON 16" X 8" CONC. FTG.
REINFORCED W/ (2) #4 @ CONTINUOUS
 PERIMETER DRAIN TILE W/
 INFILTRATION BARRIER
 GRAVEL BED

STATE OF SOUTH DAKOTA DOES NOT REQUIRE RESIDENTIAL HOME PLANS TO BE DESIGNED AND DRAFTED BY A LICENSED ARCHITECT, THEREFORE, THIS HOME PLAN HAS NOT BEEN DESIGNED OR APPROVED BY A LICENSED ARCHITECT AND DOES NOT INCLUDE A REGISTERED ARCHITECT'S "STAMP." DEPENDING UPON WHERE THIS HOME IS TO BE BUILT AND THE LAWS GOVERNING THAT PARTICULAR AREA, A PLAN FOR A RESIDENTIAL STRUCTURE MAY REQUIRE TO HAVE A LICENSED ARCHITECT'S

These general drawings have been prepared using information provided by the customer who is solely responsible for the accuracy of the information provided. The drawings are not a substitute for permit drawings prepared by a contractor or architect and may not meet applicable state and local building codes which can vary widely. Before starting construction, the customer should consult a contractor or architect to determine if the drawings need to be changed to satisfy :

- 1) state or local building codes and regulations;
- 2) the projects structural requirements; or
- 3) existing

*** IMPORTANT ***

These drawings may not meet applicable building codes



Drawn For: **LARRY HARRIS**

Contractor: ALLPRO ELECTRIC

Drawn By: BRIANA WILLIAMSON

Date: 03/26/25

DETAILS SHEET

Date: 04/15/25 Revision Date: 00/00/00
Revision Date: 00/00/25 Revision Date: 00/00/00
Revision Date: 00/00/00 Revision Date: 00/00/00
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Revision Date: 00/00/00 Revision Date: 00/00/00

SHEET NO.

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