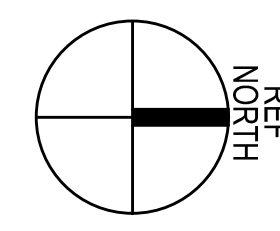
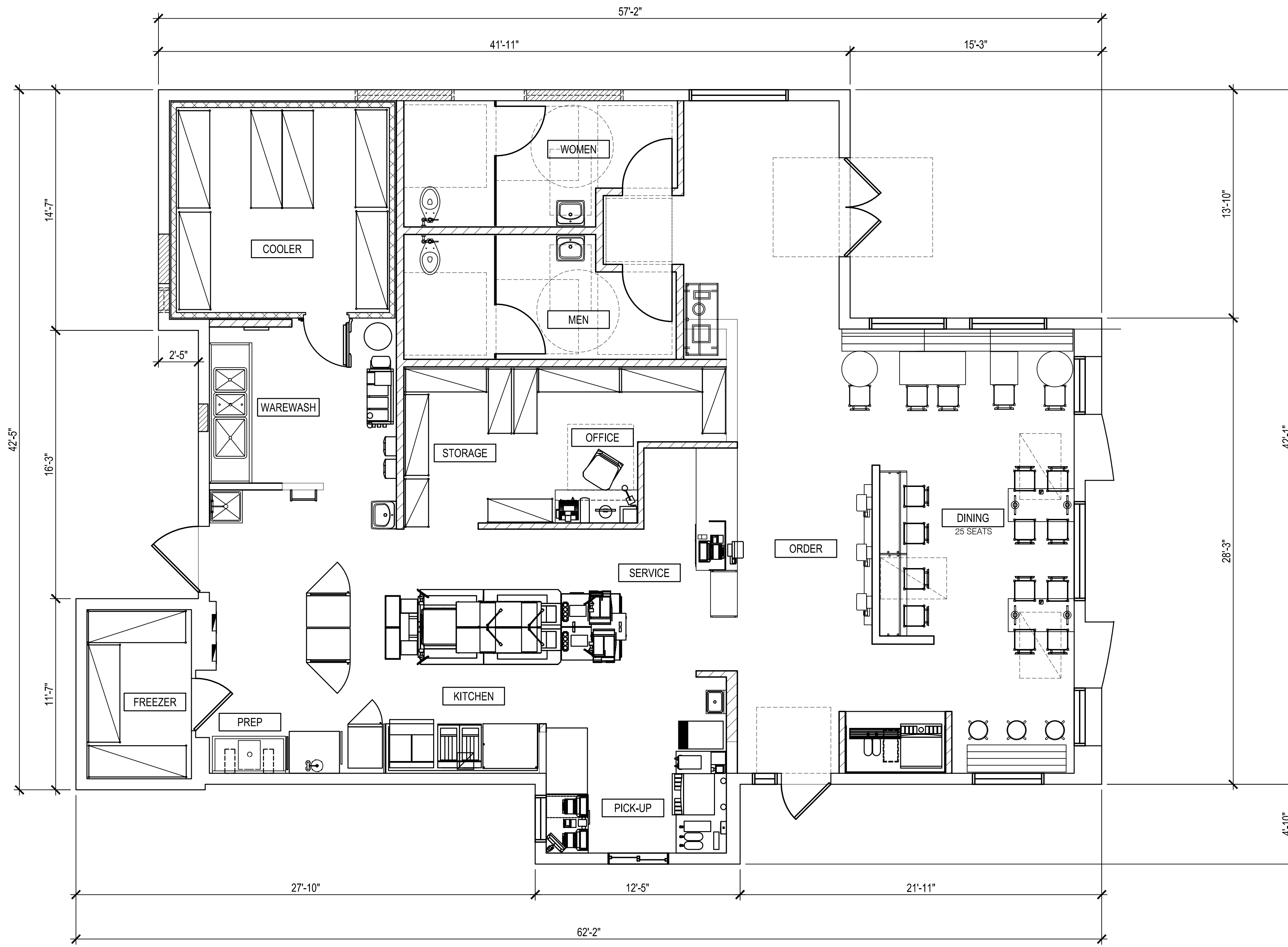


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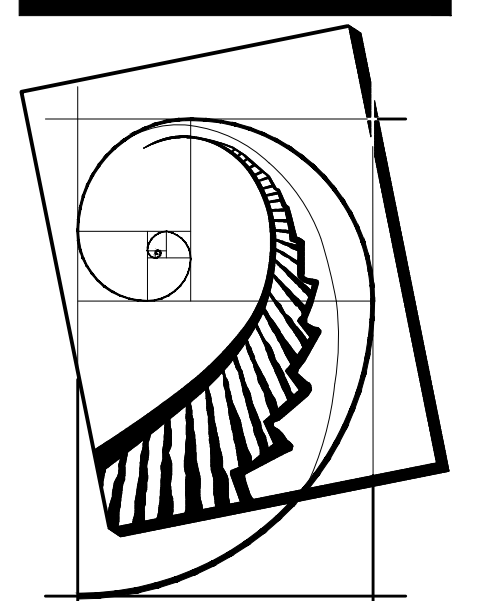


NEW EQUIPMENT/SEATING PLAN 1/4"=1'-0" **A**

	TYPICAL EXISTING EXTERIOR WALL: 2x6 WOOD STUDS @16" O.C. w/ 1/2" PLYWOOD (EXP 1) SHEATHING.	DEMOLITION LEGEND D
	TYPICAL EXISTING INTERIOR WALL TO REMAIN: 2x4 WOOD STUDS @16" O.C. (U.N.O.)	
	NEW WALL: WALL STUDS TO MATCH ADJACENT WALLS	

	<p>INSPECT INTERIOR AND EXTERIOR WALLS. REPLACE ANY DAMAGED SUBSTRATE WALLS ETC. INSPECT DINING ROOM WINDOWS & WALLS BELOW WINDOWS FOR EVIDENCE OF MOISTURE DAMAGE & IMPROPERLY INSTALLED FLASHING. VERIFY WITH OWNER.</p> <p>ROOF RECOMMENDATIONS: INSPECTION OF EXISTING ROOF BY QUALIFIED ROOFER IS RECOMMENDED. REPLACE ROOF IF WARRANTED. VERIFY ALL ACTIONS WITH OWNER.</p> <p>SEE SITE PLAN FOR ANY SITE DEMO WORK.</p> <p>DRINK SYSTEM FRUTISTA MACHINE SHALL BE TEMPORARILY RELOCATED PER STORE MANAGERS DIRECTION BY AUTHORIZED TECHNICIANS. OWNER SHALL COORDINATE.</p>	DEMOLITION NOTES C
--	--	----------------------------------

	<p># - KEYNOTE SYMBOL ON PLAN</p>	KEY NOTES B
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VMI JOB NUMBER
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RECORD DATES	
DD SUBMITTAL	07/30/24
BLDG. SUBMITTAL	
BID SET	
CONTRACT SET	

REVISIONS	

CLIENT
 JAS PROPERTIES
 1199 N. STATE STREET
 UKIAH, CA 95482
 ANDREW HENNAN
 (530) 529-0038

PROJECT
 TACO BELL REMODEL
 1240 Broadway
 Placerville, CA 95667
 APN#: 004-261-022



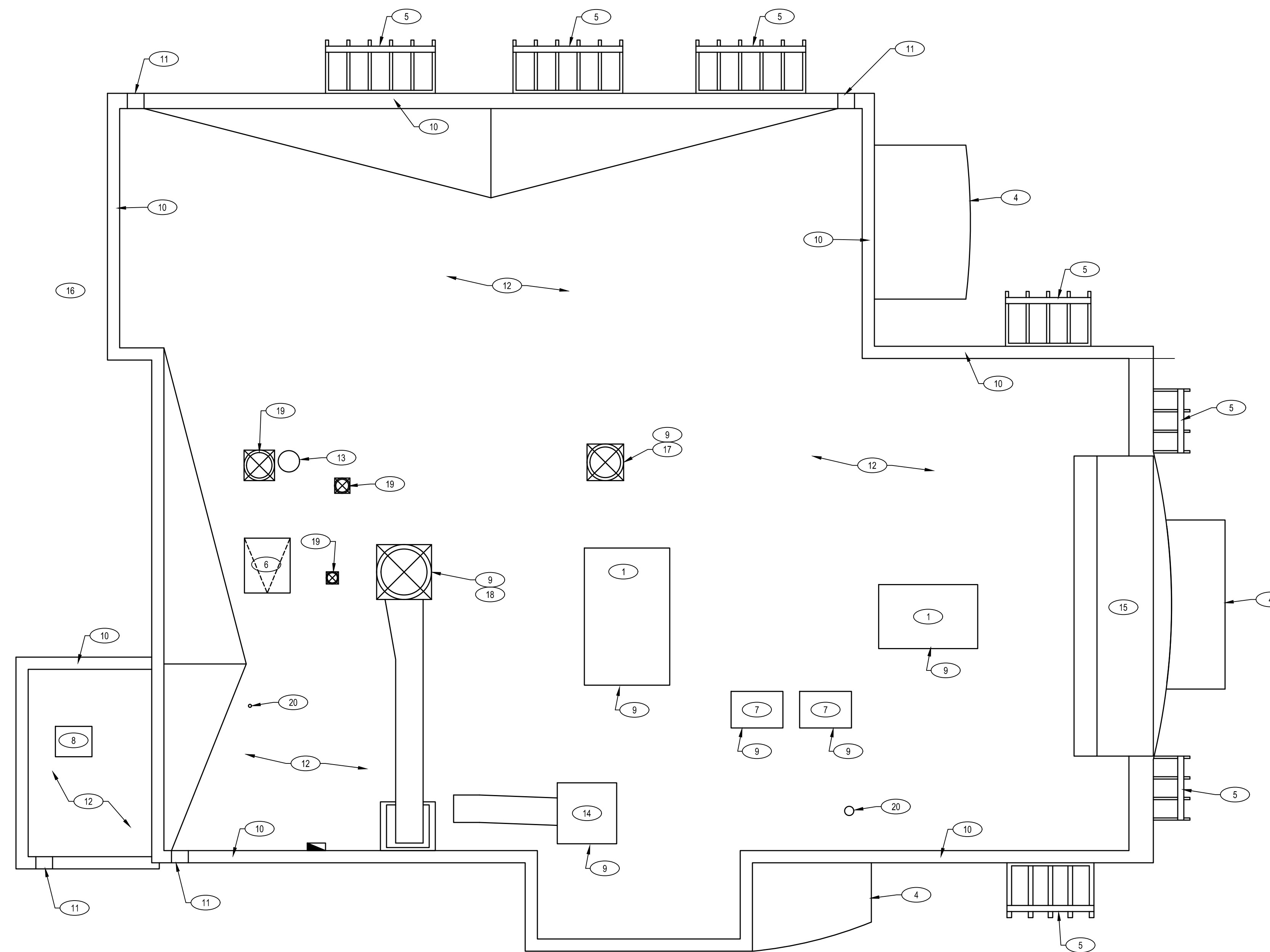
EQUIPMENT AND SEATING PLAN

DD1.0

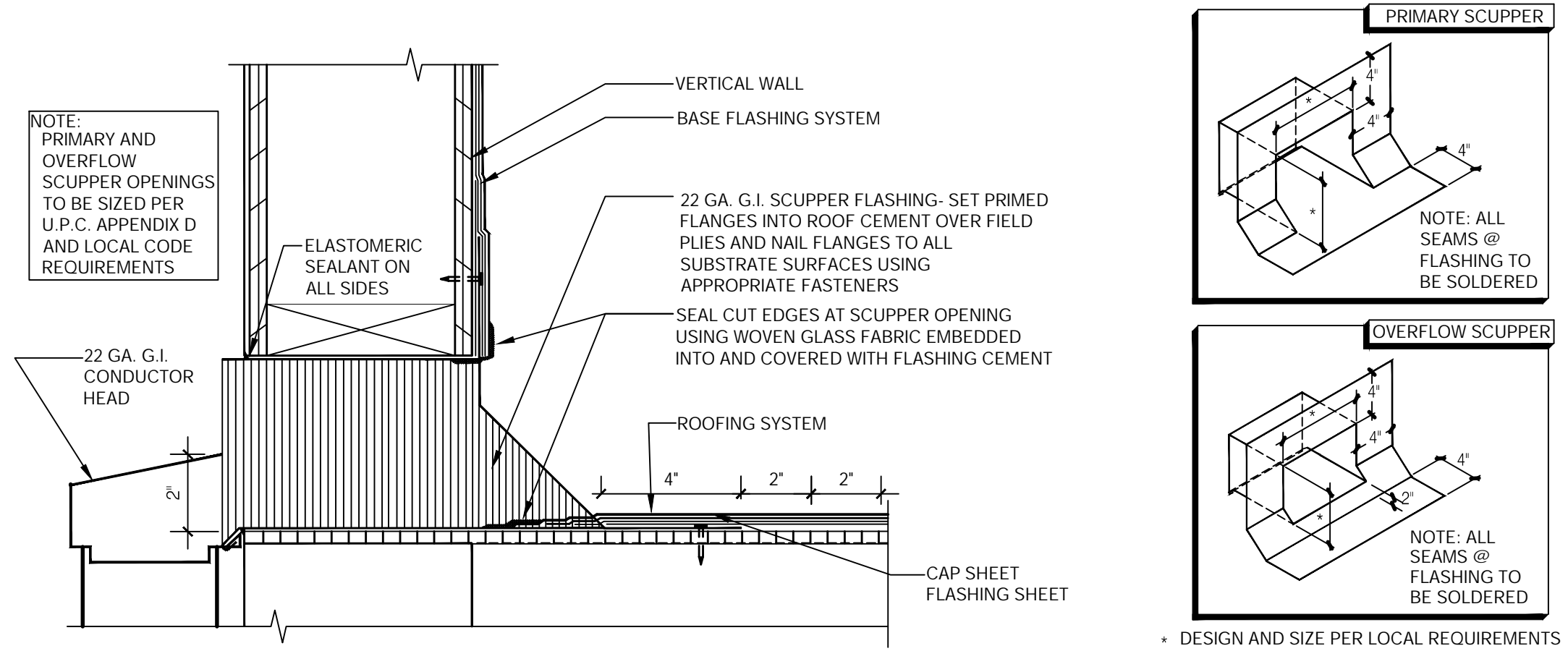
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ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, THE ARCHITECT AND DEVELOPER. FOR USE ON, AND IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF PROJECT ARCHITECT.

THE ARCHITECT SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE DRAWING. THIS SET OF DRAWINGS SHALL BE USED FOR PERMITS AND CONSTRUCTION. THE ARCHITECT SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE DRAWING. THIS SET OF DRAWINGS SHALL BE USED FOR PERMITS AND CONSTRUCTION. THE ARCHITECT SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE DRAWING. THIS SET OF DRAWINGS SHALL BE USED FOR PERMITS AND CONSTRUCTION.



ROOF PLAN 1/4" = 1'-0" A



SCUPPER FLASHING F

WATERPROOFING:
 A. PAINT UNDERSIDE OF PARAPET CAP FLASHING WITH FACTORY BONDED PAINT GRIP OR PRIMER.
 B. TOP NAILING AT PARAPET CAP FLASHING WILL NOT BE ACCEPTED.
 C. PENETRATIONS IN ROOFING MEMBRANE AND FLASHING SHALL ONLY BE MADE AS INDICATED ON THE DRAWINGS OR SPECS.
 D. SEE SPECIFICATIONS FOR SEALANT SPECS.
 E. ALL SHEET METAL FLASHING SHALL BE 22 GA MIN.

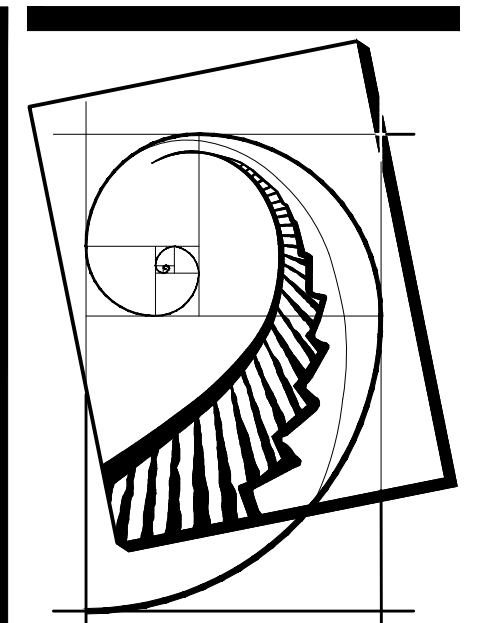
MISCELLANEOUS:
 A. ROOF PENETRATIONS CLOSER THAN 12" FROM ANOTHER WILL NOT BE ALLOWED.
 B. EXHAUST FANS MIN. 10'-0" AWAY FROM ALL AIR INTAKE / SUPPLY.
 C. LOCATE WALK-IN CONDENSERS ON ROOF ONLY IF REQUIRED BY CODE.

NOTE: ALL SEAMS @ FLASHING TO BE SOLDERED

ROOF PLAN NOTES E

- 1 (E) ROOFTOP UNIT TO REMAIN.
- 2 REPLACE (E) KITCHEN HOOD EXHAUST FAN.
- 3 REPLACE (E) RESTROOM EXHAUST FAN.
- 4 (E) CANOPY TO REMAIN.
- 5 (E) TRELLIS TO REMAIN.
- 6 (E) ROOF HATCH TO REMAIN.
- 7 (E) ICE MACHINE AND FRUITESTAN CONDENSERS TO REMAIN.
- 8 (E) WALK-IN COOLER CONDENSER TO REMAIN.
- 9 (E) EQUIPMENT PLATFORM TO REMAIN.
- 10 PRIME (E) PAINTED METAL PARAPET CAP.
- 11 (E) SCUPPER AND DOWNSPOUT TO REMAIN.
- 12 (E) ROOF TO REMAIN.
- 13 (E) WATER HEATER VENT TO BE REMOVED AND ROOF PATCHED.
- 14 (E) MAKEUP AIR UNIT TO REMAIN.
- 15 (E) FLYING ARCH TO REMAIN TO REMAIN.
- 16 REMOVE (E) CANOPY.
- 17 (E) RESTROOM EXHAUST FAN TO REMAIN.
- 18 (E) TYPE 1 EXHAUST FAN TO REMAIN.
- 19 (E) EXHAUST FAN OR FLUE TO BE REMOVED, ROOF TO BE PATCHED.
- 20 (E) PLUMBING ROOF VENT.

KEY NOTES B



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BLDG. SUBMITTAL	-
BID SET	-
CONTRACT SET	-

REVISIONS

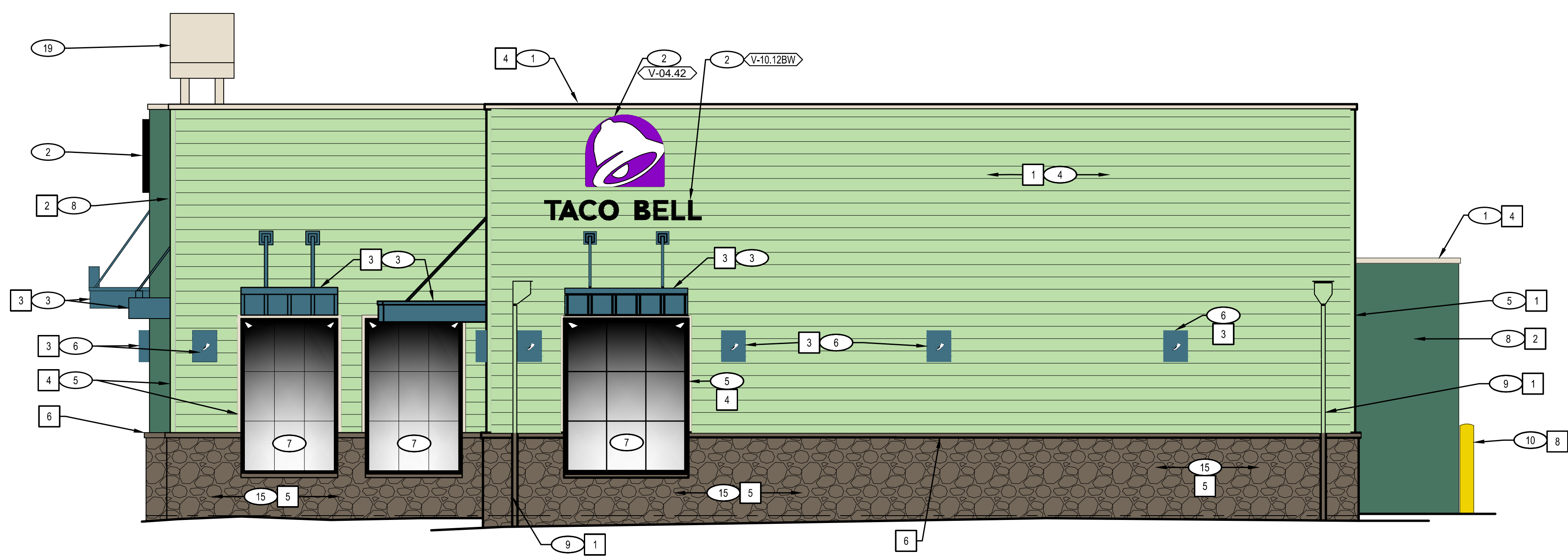
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 APN#: 004-261-022



ROOF PLAN
DD3.0

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SIGNAGE UNDER SEPARATE PERMIT

ENTRANCES SHALL BE IDENTIFIED WITH

WEST ELEVATION 1/4"=1'-0" **A**

NOT USED	N.T.S.	I
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QTY	ITEM DESCRIPTION	ELEC
2	TACO BELL 'BELL' SIGN 3'-10 3/8"W x 3'-6 1/4"H	X
1	TACO BELL LETTERS 12" HIGH, WHITE / BLACK, FLAT FACED	X
2	TACO BELL LETTERS 12" HIGH, WHITE / BLACK, FLAT FACED	X

SIGN SCHEDULE N.T.S. **D**

NOT USED	N.T.S.	D1
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NOT USED	N.T.S.	B1
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EXTERIOR FINISH SCHEDULE			
SYMBOL	AREA	MANUFACTURER	COLOR
1	EXTERIOR WALLS / EDGE TRIM	BENJAMIN MOORE	HANGTOWN VILLAGE SQUARE IVY GREEN
2	EXTERIOR WALLS	BENJAMIN MOORE	HANGTOWN VILLAGE SQUARE DARK GREEN
3	METAL CANOPIES / SCNCES	BENJAMIN MOORE	HANGTOWN VILLAGE SQUARE TEAL GREEN
4	PARAPET CAP / WINDOW & DOOR TRIM	BENJAMIN MOORE	314-2 PITTSBURG HEAVY CREAM
5	STONE	EXISTING	POWER WASH
6	WAINSCOT CAP	EXISTING	POWER WASH
7	ELEC. METER ENCLOSURES	SHERWIN WILLIAMS	HANGTOWN VILLAGE SQUARE IVY GREEN
8	BOLLARDS	-	SAFETY YELLOW SLEEVE

MISCELLANEOUS
 A. SEE SCOPE OF WORK FOR RESPONSIBILITIES.
 B. PROVIDE BLOCKING FOR SIGNAGE, TRELLIS AND CANOPY.
 C. DURO-LAST TERMINATION BAR SHALL BE DARK BRONZE.

SEALERS (REFER TO SPECS):
 A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
 B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD, SILL AND JAMB.

DENOTES EXTERIOR FINISH.

2. OWNER REPRESENTATIVE WILL IDENTIFY WHICH PAINT SPECIFICATION WILL BE PRIMARY

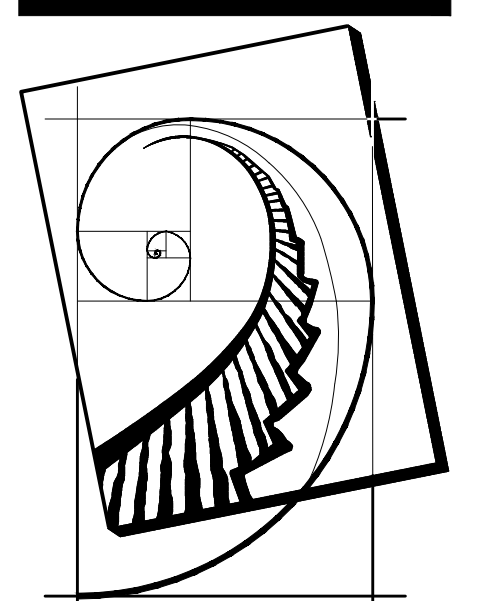
- 1 (E) METAL PARAPET CAP, PRIME AND PAINT.
- 2 (N) BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL.
- 3 (E) METAL CANOPIES TO REMAIN. POWER WASH AND REPAIR ANY DAMAGE.
- 4 (E) WOOD SIDING PRIME AND PAINT.
- 5 (E) WOOD TRIM, PRIME AND PAINT.
- 6 (N) EXTERIOR LIGHT FIXTURE. REUSE (E) BOX AND CIRCUIT.
- 7 (E) WINDOWS AND STOREFRONT TO REMAIN.
- 8 (E) CEMENT PLASTER, PRIME AND PAINT.
- 9 (E) SCUPPER, COLLECTOR, AND VERTICAL RAIN WATER LEADER, PAINT TO MATCH ADJACENT WALL.
- 10 (E) BOLLARD. ADD (N) SAFETY SLEEVE.
- 11 (E) ELECTRICAL SWITCHGEAR, PAINT TO MATCH ADJACENT WALL.
- 12 (E) GAS METER. DO NOT PAINT.
- 13 SYMBOL OF ACCESSIBILITY. SEE DETAIL 7/ADA-1.
- 14
- 15 (E) STONE WAINSCOT AND CAP TO REMAIN. POWER WASH.
- 16 (N) STONE WAINSCOT AND CAP INFILL WHERE DOOR AND SIDE WINDOW WAS REMOVED.

- 17 (N) SIDING TO MATCH (E) SIDING IN THE AREA WHERE THE DOOR AND SIDE WINDOW WAS REMOVED.
- 18 (N) DRIVE-UP WINDOWS.
- 19 (E) FLYING ARCH TO REMAIN. PRESSURE WASH.
- 20 (E) TRELLIS TO BE POWER WASHED AND PRIMED AND PAINTED.
- 21 (E) ADDRESS NUMBERS TO REMAIN.
- 22 (N) METAL GUARDRAIL DARK GREEN.

EXTERIOR FINISH SCHEDULE **H**

GENERAL NOTES **F**

KEY NOTES **C**



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BLDG. SUBMITTAL	-
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CONTRACT SET	-

REVISIONS

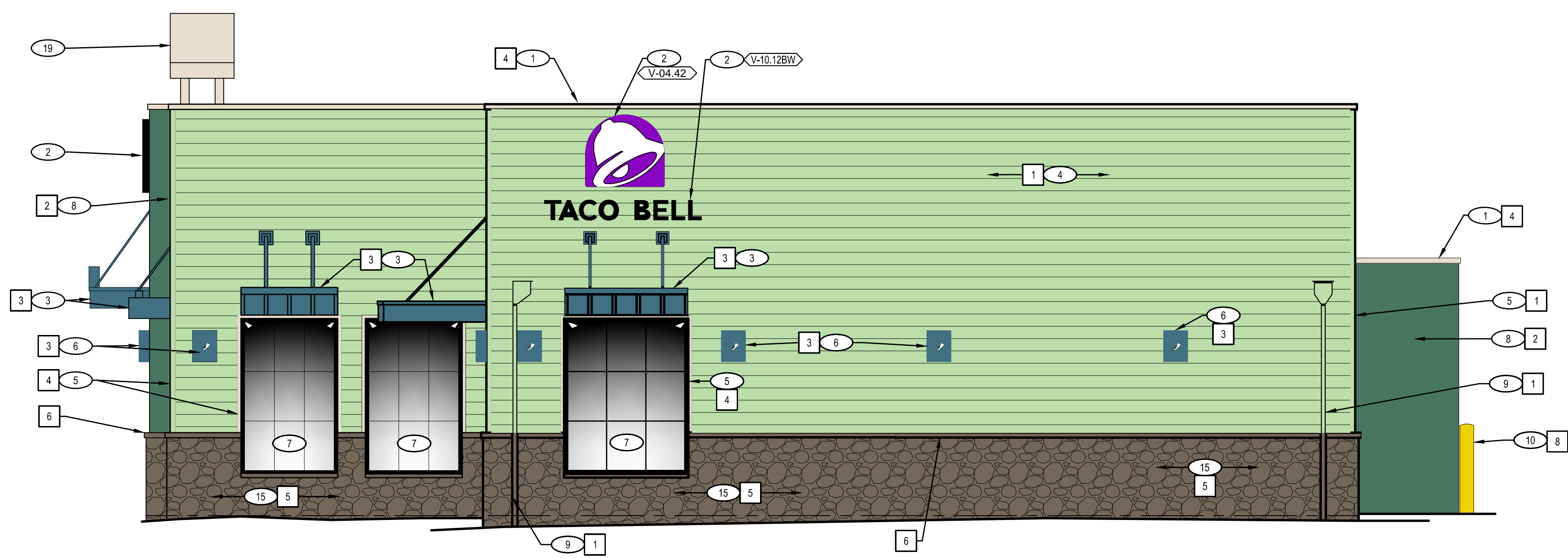
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 APN#: 004-261-022



EXTERIOR ELEVATION
A4.0

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SIGNAGE UNDER SEPARATE PERMIT

ENTRANCES SHALL BE IDENTIFIED WITH

WEST ELEVATION 1/4"=1'-0" **A**

NOT USED	N.T.S.	I
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NOT USED	N.T.S.	G
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NOT USED	N.T.S.	E
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QTY	ITEM DESCRIPTION	ELEC
2	TACO BELL 'BELL' SIGN 3'-10 3/8"W x 3'-6 1/4"H	X
1	TACO BELL LETTERS 12" HIGH, WHITE / BLACK, FLAT FACED	X
2	TACO BELL LETTERS 12" HIGH, WHITE / BLACK, FLAT FACED	X

SIGN SCHEDULE N.T.S. **D**

NOT USED	N.T.S.	D1
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NOT USED	N.T.S.	B
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EXTERIOR FINISH SCHEDULE			
SYMBOL	AREA	MANUFACTURER	COLOR
1	EXTERIOR WALLS / EDGE TRIM	BENJAMIN MOORE	HANGTOWN VILLAGE SQUARE IVY GREEN
2	EXTERIOR WALLS	BENJAMIN MOORE	HANGTOWN VILLAGE SQUARE DARK GREEN
3	METAL CANOPIES / SCUNCES	BENJAMIN MOORE	HANGTOWN VILLAGE SQUARE TEAL GREEN
4	PARAPET CAP / WINDOW & DOOR TRIM	BENJAMIN MOORE	314-2 PITTSBURG HEAVY CREAM
5	STONE	EXISTING	POWER WASH
6	WAINSCOT CAP	EXISTING	POWER WASH
7	ELEC. METER ENCLOSURES	SHERWIN WILLIAMS	HANGTOWN VILLAGE SQUARE IVY GREEN
8	BOLLARDS	-	SAFETY YELLOW SLEEVE

MISCELLANEOUS
 A. SEE SCOPE OF WORK FOR RESPONSIBILITIES.
 B. PROVIDE BLOCKING FOR SIGNAGE, TRELLIS AND CANOPY.
 C. DURO-LAST TERMINATION BAR SHALL BE DARK BRONZE.

SEALERS (REFER TO SPECS):
 A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
 B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD, SILL AND JAMB.

DENOTES EXTERIOR FINISH.

2. OWNER REPRESENTATIVE WILL IDENTIFY WHICH PAINT SPECIFICATION WILL BE PRIMARY

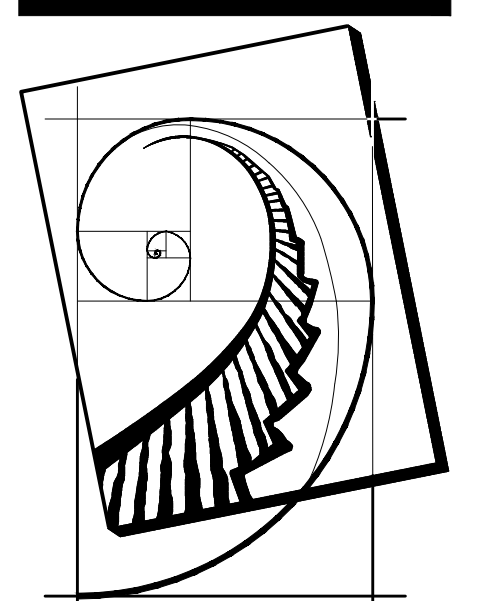
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- 3 (E) METAL CANOPIES TO REMAIN. POWER WASH AND REPAIR ANY DAMAGE.
- 4 (E) WOOD SIDING PRIME AND PAINT.
- 5 (E) WOOD TRIM, PRIME AND PAINT.
- 6 (N) EXTERIOR LIGHT FIXTURE. REUSE (E) BOX AND CIRCUIT.
- 7 (E) WINDOWS AND STOREFRONT TO REMAIN.
- 8 (E) CEMENT PLASTER, PRIME AND PAINT.
- 9 (E) SCUPPER, COLLECTOR, AND VERTICAL RAIN WATER LEADER, PAINT TO MATCH ADJACENT WALL.
- 10 (E) BOLLARD. ADD (N) SAFETY SLEEVE.
- 11 (E) ELECTRICAL SWITCHGEAR, PAINT TO MATCH ADJACENT WALL.
- 12 (E) GAS METER. DO NOT PAINT.
- 13 SYMBOL OF ACCESSIBILITY. SEE DETAIL 7/ADA-1.
- 14 -
- 15 (E) STONE WAINSCOT AND CAP TO REMAIN. POWER WASH.
- 16 (N) STONE WAINSCOT AND CAP INFILL WHERE DOOR AND SIDE WINDOW WAS REMOVED.

- 17 (N) SIDING TO MATCH (E) SIDING IN THE AREA WHERE THE DOOR AND SIDE WINDOW WAS REMOVED.
- 18 (N) DRIVE-UP WINDOWS.
- 19 (E) FLYING ARCH TO REMAIN. PRESSURE WASH.
- 20 (E) TRELLIS TO BE POWER WASHED AND PRIMED AND PAINTED.
- 21 (E) ADDRESS NUMBERS TO REMAIN.
- 22 (N) METAL GUARDRAIL DARK GREEN.

EXTERIOR FINISH SCHEDULE **H**

GENERAL NOTES **F**

KEY NOTES **C**



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BID SET	-
CONTRACT SET	-

REVISIONS

CLIENT
 JAS PROPERTIES
 1199 N. STATE STREET
 UKIAH, CA 95482
 ANDREW HENNAN
 (530) 529-0038

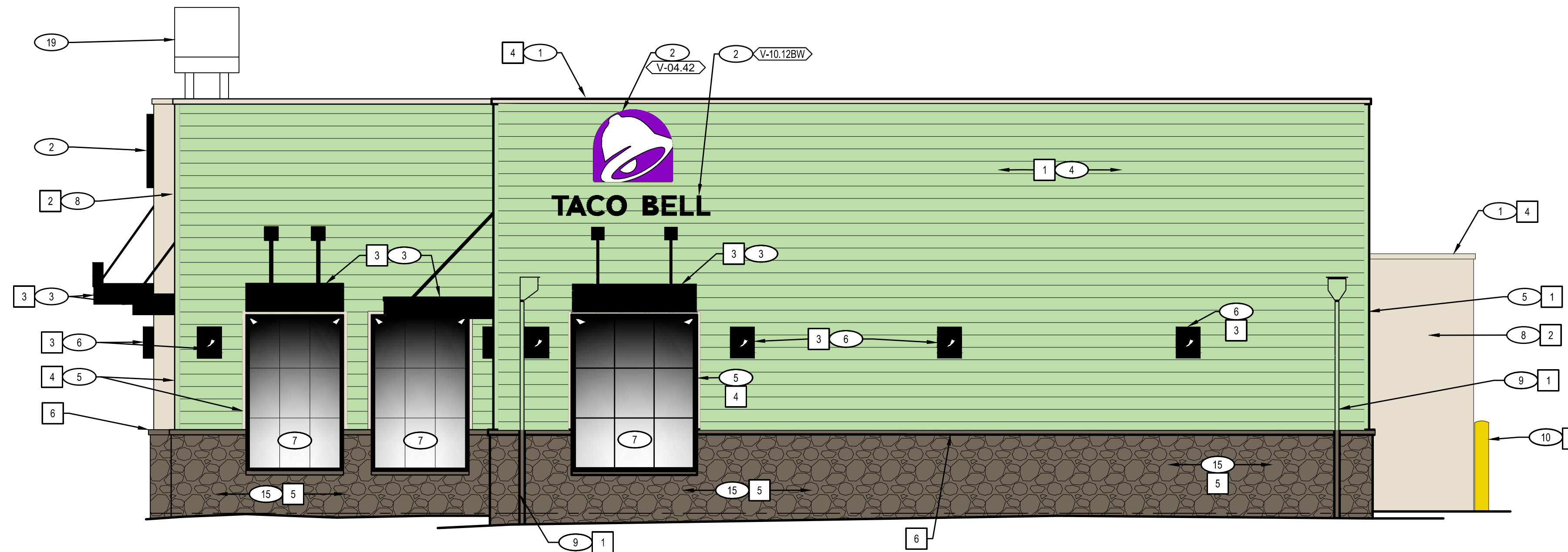
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 Placerville, CA 95667
 APN#: 004-261-022



EXTERIOR ELEVATION
A4.0

REGARDING SLATS:
 G.C. TO VERIFY DIMENSIONS FOR SLATS &
 PROVIDE CONFIRMATION TO SIGN VENDOR
 PRIOR TO FABRICATION.

**SIGNAGE UNDER
 SEPARATE PERMIT**



REPLACE DAMAGED ROOF TILE, FLASHING, ETC.
 PRESSURE WASH TILES AFTERWARD.

ENTRANCES SHALL BE IDENTIFIED WITH

WEST ELEVATION 1/4"=1'-0" **A**

NOT USED	N.T.S.	I
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NOT USED	N.T.S.	G
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NOT USED	N.T.S.	E
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SIGN SCHEDULE N.T.S. **D**

NOT USED	N.T.S.	D1
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NOT USED	N.T.S.	B
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EXTERIOR FINISH SCHEDULE			
SYMBOL	AREA	MANUFACTURER	COLOR
1	EXTERIOR WALLS / EDGE TRIM TRASH ENCLOSURE WALLS	BENJAMIN MOORE	HANGTOWN VILLAGE SQUARE IVY GREEN
2	EXTERIOR WALLS TRASH ENCLOSURE DOORS	BENJAMIN MOORE	314-2 PITTSBURG HEAVY CREAM
3	METAL CANOPIES / SCONCES/TRELLIS METAL RAILING	BENJAMIN MOORE	2132-10 BLACK
4	PARAPET CAP / WINDOW & DOOR TRIM	BENJAMIN MOORE	314-2 PITTSBURG HEAVY CREAM
5	STONE	EXISTING	POWER WASH
6	WAINSCOT CAP	EXISTING	POWER WASH
7	ELEC. METER ENCLOSURES	SHERWIN WILLIAMS	HANGTOWN VILLAGE SQUARE IVY GREEN
8	BOLLARDS	-	SAFETY YELLOW SLEEVE

EXTERIOR FINISH SCHEDULE **H**

MISCELLANEOUS
 A. SEE SCOPE OF WORK FOR RESPONSIBILITIES.
 B. PROVIDE BLOCKING FOR SIGNAGE, TRELLIS AND CANOPY.
 C. DURO-LAST TERMINATION BAR SHALL BE DARK BRONZE.

SEALERS (REFER TO SPECS):
 A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
 B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD, SILL AND JAMB.

□ DENOTES EXTERIOR FINISH.

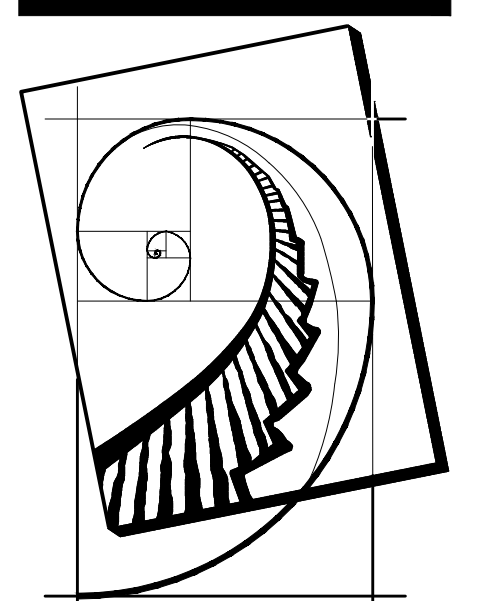
2. OWNER REPRESENTATIVE WILL IDENTIFY WHICH PAINT SPECIFICATION WILL BE PRIMARY

GENERAL NOTES **F**

- 1 (E) METAL PARAPET CAP, PRIME AND PAINT.
- 2 (N) BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL.
- 3 (E) METAL CANOPIES TO REMAIN. POWER WASH AND REPAIR ANY DAMAGE.
- 4 (E) WOOD SIDING PRIME AND PAINT.
- 5 (E) WOOD TRIM, PRIME AND PAINT.
- 6 (N) EXTERIOR LIGHT FIXTURE. REUSE (E) BOX AND CIRCUIT.
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- 21 (E) ADDRESS NUMBERS TO REMAIN.
- 22 (N) METAL GUARDRAIL DARK GREEN.
- 23 (N) DRIVE THRU CANOPY.

KEY NOTES **C**



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 09/24/2025

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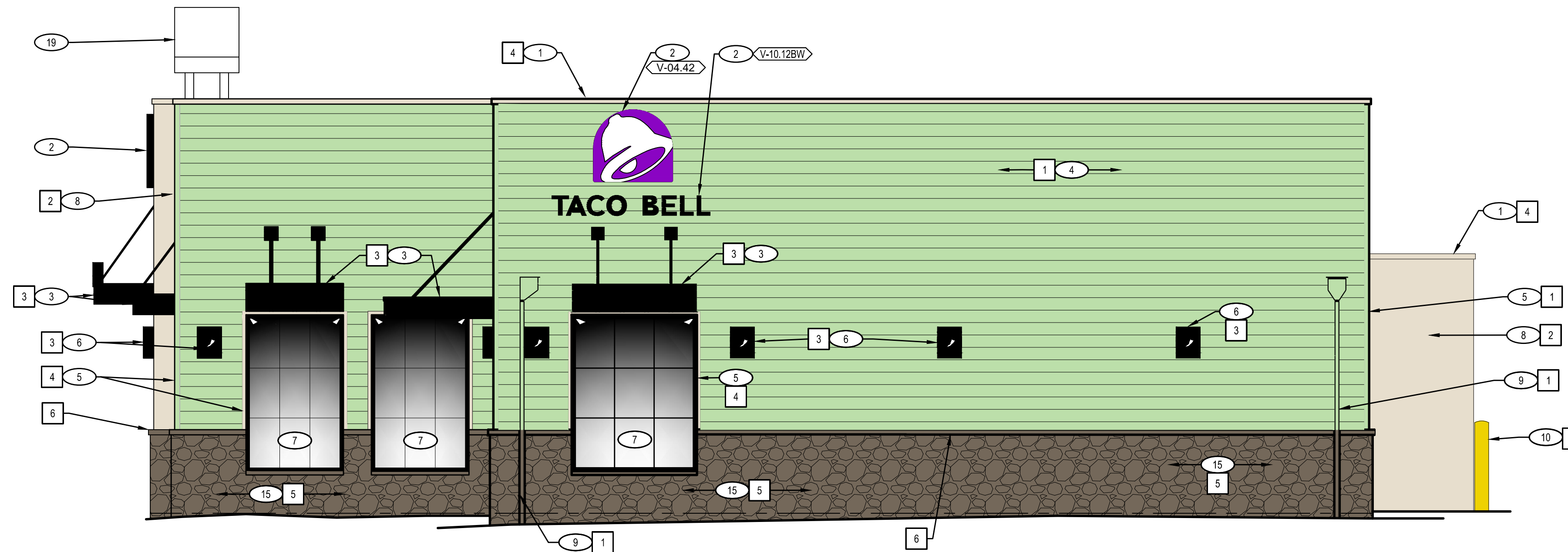


EXTERIOR
 ELEVATION
A4.0

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REGARDING SLATS:
 G.C. TO VERIFY DIMENSIONS FOR SLATS &
 PROVIDE CONFIRMATION TO SIGN VENDOR
 PRIOR TO FABRICATION.

**SIGNAGE UNDER
 SEPARATE PERMIT**



REPLACE DAMAGED ROOF TILE, FLASHING, ETC.
 PRESSURE WASH TILES AFTERWARD.

ENTRANCES SHALL BE IDENTIFIED WITH

WEST ELEVATION 1/4"=1'-0" **A**

NOT USED	N.T.S.	I
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NOT USED	N.T.S.	G
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NOT USED	N.T.S.	E
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QTY	ITEM DESCRIPTION	ELEC
2	TACO BELL 'BELL' SIGN 3'-10 3/8"W x 3'-6 1/4"H	X
1	TACO BELL LETTERS 12" HIGH, WHITE / BLACK, FLAT FACED	X
2	TACO BELL LETTERS 12" HIGH, WHITE / BLACK, FLAT FACED	X

SIGN SCHEDULE N.T.S. **D**

NOT USED	N.T.S.	D1
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NOT USED	N.T.S.	B
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EXTERIOR FINISH SCHEDULE			
SYMBOL	AREA	MANUFACTURER	COLOR
1	EXTERIOR WALLS / EDGE TRIM TRASH ENCLOSURE WALLS	BENJAMIN MOORE	HANGTOWN VILLAGE SQUARE IVY GREEN
2	EXTERIOR WALLS TRASH ENCLOSURE DOORS	BENJAMIN MOORE	314-2 PITTSBURG HEAVY CREAM
3	METAL CANOPIES / SCONCES/TRELLIS METAL RAILING	BENJAMIN MOORE	2132-10 BLACK
4	PARAPET CAP / WINDOW & DOOR TRIM	BENJAMIN MOORE	314-2 PITTSBURG HEAVY CREAM
5	STONE	EXISTING	POWER WASH
6	WAINSCOT CAP	EXISTING	POWER WASH
7	ELEC. METER ENCLOSURES	SHERWIN WILLIAMS	HANGTOWN VILLAGE SQUARE IVY GREEN
8	BOLLARDS	-	SAFETY YELLOW SLEEVE

EXTERIOR FINISH SCHEDULE **H**

MISCELLANEOUS
 A. SEE SCOPE OF WORK FOR RESPONSIBILITIES.
 B. PROVIDE BLOCKING FOR SIGNAGE, TRELLIS AND CANOPY.
 C. DURO-LAST TERMINATION BAR SHALL BE DARK BRONZE.

SEALERS (REFER TO SPECS):
 A. SEALANT AT ALL WALL AND ROOF PENETRATIONS.
 B. SEALANT AT ALL WINDOW AND DOOR FRAMES AT HEAD, SILL AND JAMB.

□ DENOTES EXTERIOR FINISH.

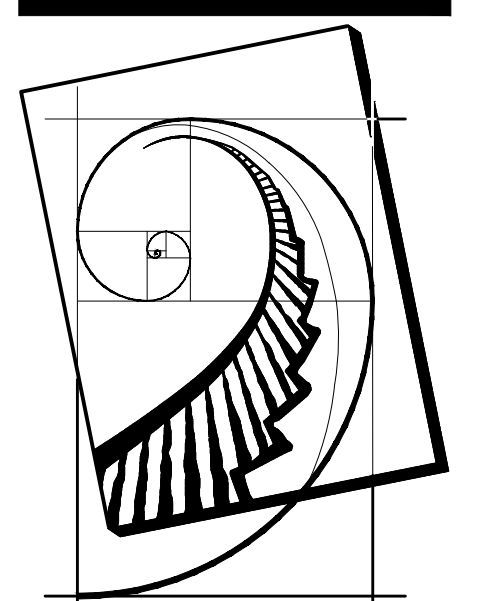
2. OWNER REPRESENTATIVE WILL IDENTIFY WHICH PAINT SPECIFICATION WILL BE PRIMARY

GENERAL NOTES **F**

- 1 (E) METAL PARAPET CAP, PRIME AND PAINT.
- 2 (N) BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL.
- 3 (E) METAL CANOPIES TO REMAIN. POWER WASH AND REPAIR ANY DAMAGE.
- 4 (E) WOOD SIDING PRIME AND PAINT.
- 5 (E) WOOD TRIM, PRIME AND PAINT.
- 6 (N) EXTERIOR LIGHT FIXTURE. REUSE (E) BOX AND CIRCUIT.
- 7 (E) WINDOWS AND STOREFRONT TO REMAIN.
- 8 (E) CEMENT PLASTER, PRIME AND PAINT.
- 9 (E) SCUPPER, COLLECTOR, AND VERTICAL RAIN WATER LEADER, PAINT TO MATCH ADJACENT WALL.
- 10 (E) BOLLARD. ADD (N) SAFETY SLEEVE.
- 11 (E) ELECTRICAL SWITCHGEAR, PAINT TO MATCH ADJACENT WALL.
- 12 (E) GAS METER, DO NOT PAINT.
- 13 SYMBOL OF ACCESSIBILITY, SEE DETAIL 7/ADA-1.
- 14
- 15 (E) STONE WAINSCOT AND CAP TO REMAIN. POWER WASH.
- 16 (N) STONE WAINSCOT AND CAP INFILL WHERE DOOR AND SIDE WINDOW WAS REMOVED.

- 17 (N) SIDING TO MATCH (E) SIDING IN THE AREA WHERE THE DOOR AND SIDE WINDOW WAS REMOVED.
- 18 (N) DRIVE-UP WINDOWS.
- 19 (E) FLYING ARCH TO REMAIN. PRESSURE WASH.
- 20 (E) TRELLIS TO BE POWER WASHED AND PRIMED AND PAINTED.
- 21 (E) ADDRESS NUMBERS TO REMAIN.
- 22 (N) METAL GUARDRAIL DARK GREEN.
- 23 (N) DRIVE THRU CANOPY.

KEY NOTES **C**



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 www.vmarch.com

VMI JOB NUMBER
23014



PROGRESS SET
 09/24/2025

RECORD DATES
 DD SUBMITTAL 07/30/24
 BLDG. SUBMITTAL -
 BID SET 9/24/25
 CONTRACT SET -

REVISIONS	

CLIENT
 JAS PROPERTIES
 1199 N. STATE STREET
 UTAH, CA 95482
 ANDREW HENNAN
 (530) 529-0038

PROJECT
 TACO BELL REMODEL
 1240 Broadway
 Placerville, CA 95667
 APN#: 004-261-022

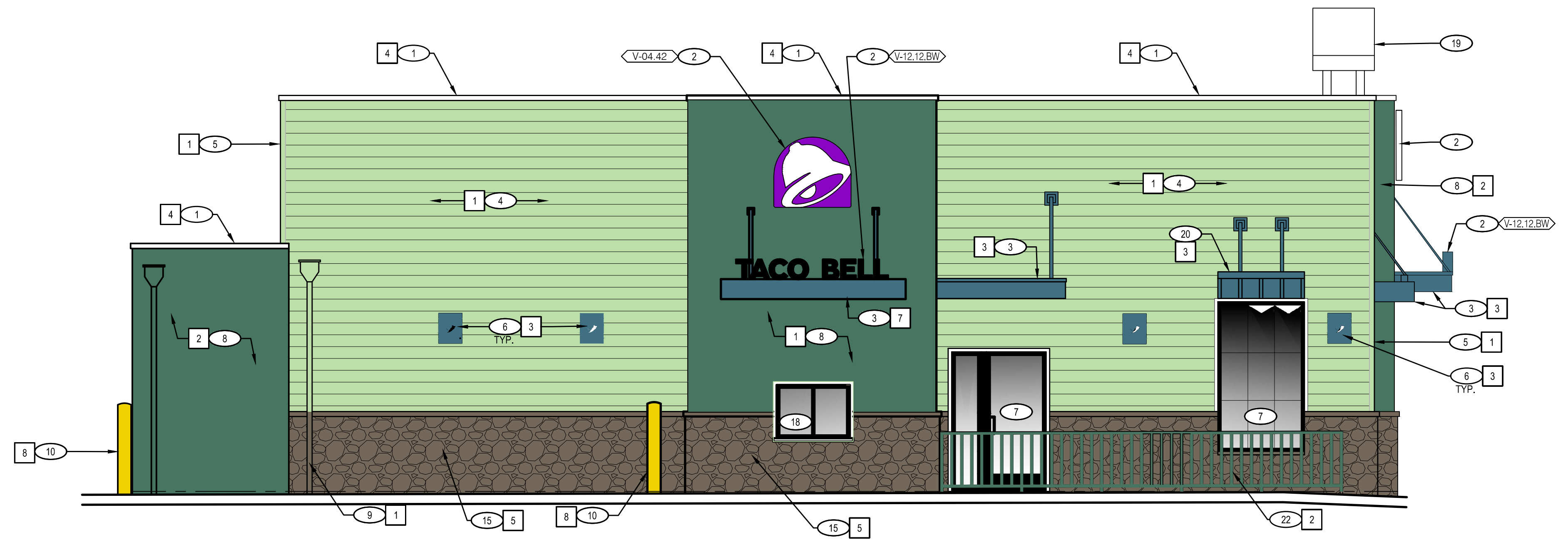


EXTERIOR
 ELEVATION
A4.0

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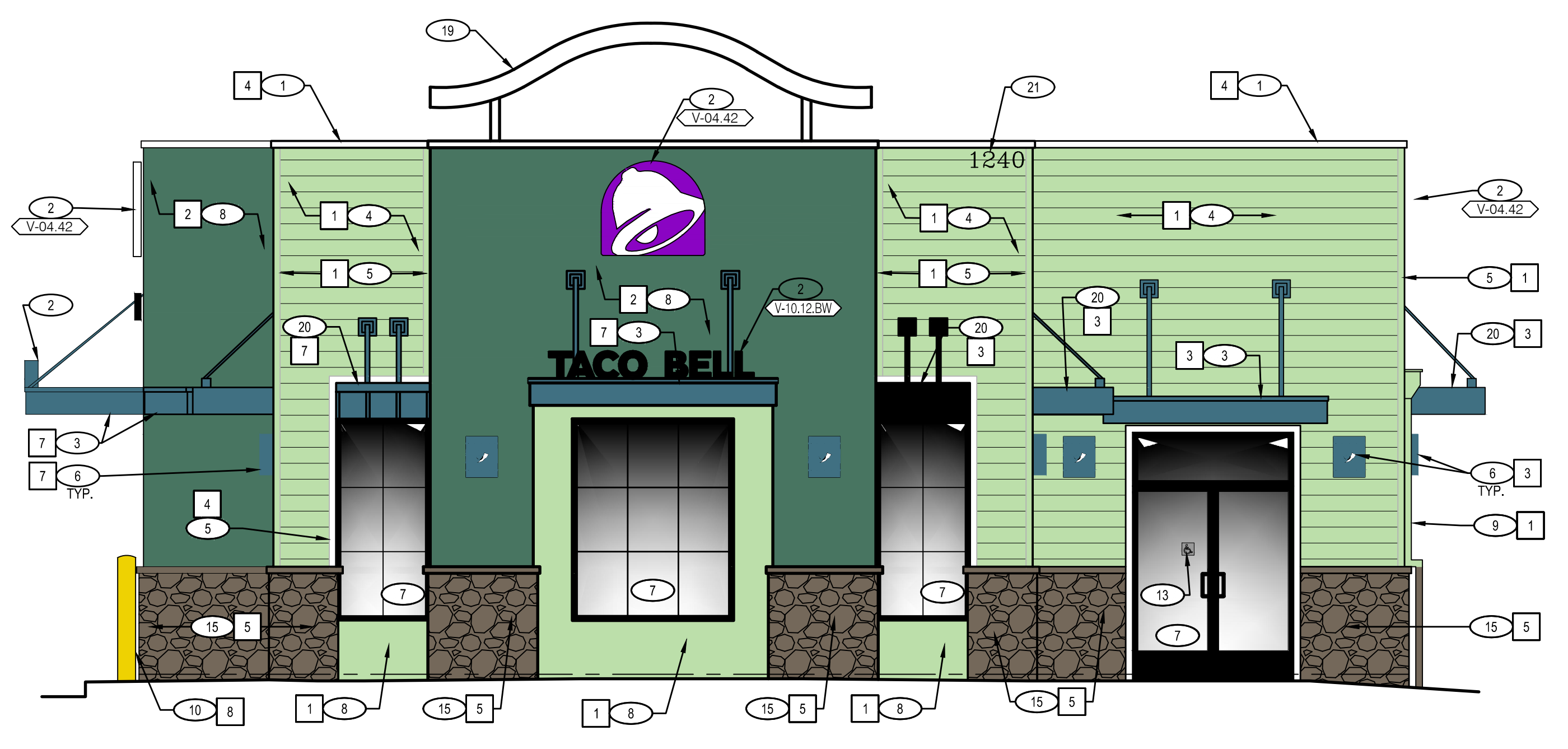
**SIGNAGE UNDER
SEPARATE PERMIT**



NOTE:
REPLACE DAMAGED ROOFING, FLASHING, MORTAR
JOINTS, ETC. PRESSURE WASH AFTERWARDS.

EAST (DRIVE-THRU) ELEVATION 1/4" = 1'-0" A

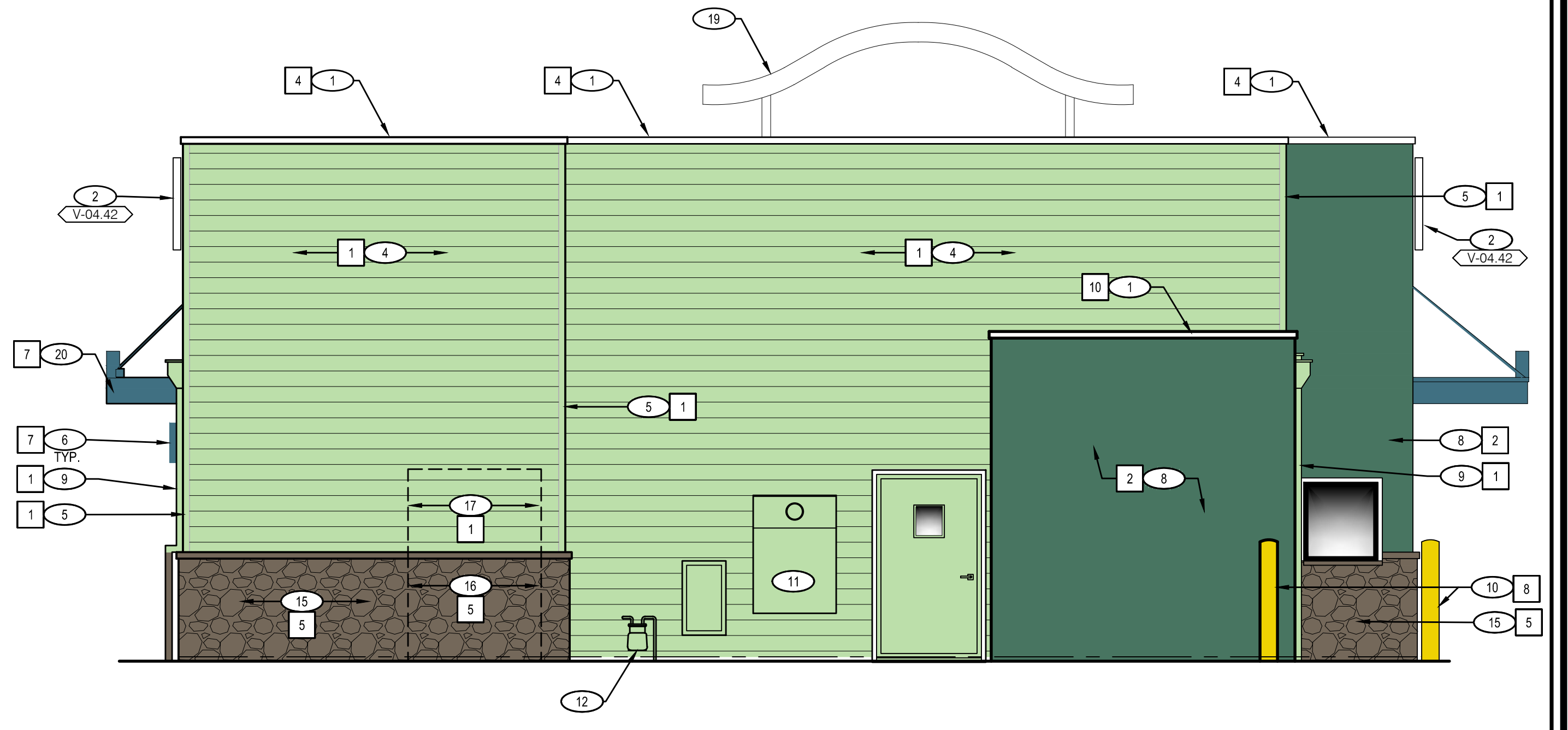
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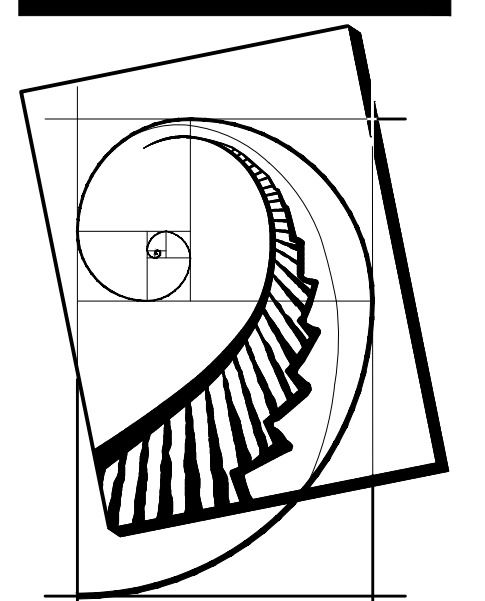
ENTRANCES SHALL BE IDENTIFIED WITH
A SIGN OR STICKER OF THE STANDARD
ACCESSIBILITY LOGO

NORTH ELEVATION 1/4" = 1'-0" C



ENTRANCES SHALL BE IDENTIFIED WITH
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ACCESSIBILITY LOGO

SOUTH ELEVATION 1/4" = 1'-0" B



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RECORD DATES

DD SUBMITTAL	07/30/24
BLDG. SUBMITTAL	-
BID SET	-
CONTRACT SET	-

REVISIONS

NO.	DESCRIPTION

CLIENT
JAS PROPERTIES
1199 N. STATE STREET
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ANDREW HENNAN
(530) 526-0038

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Placerville, CA 95667
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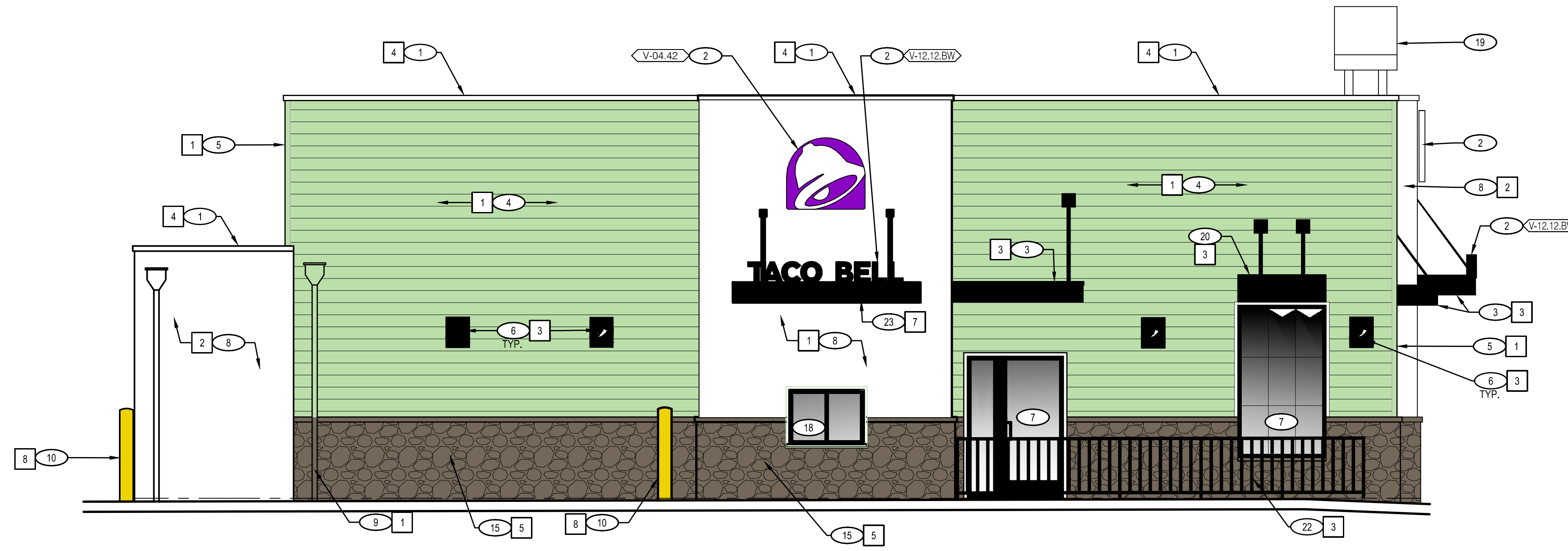


EXTERIOR
ELEVATIONS
A4.1

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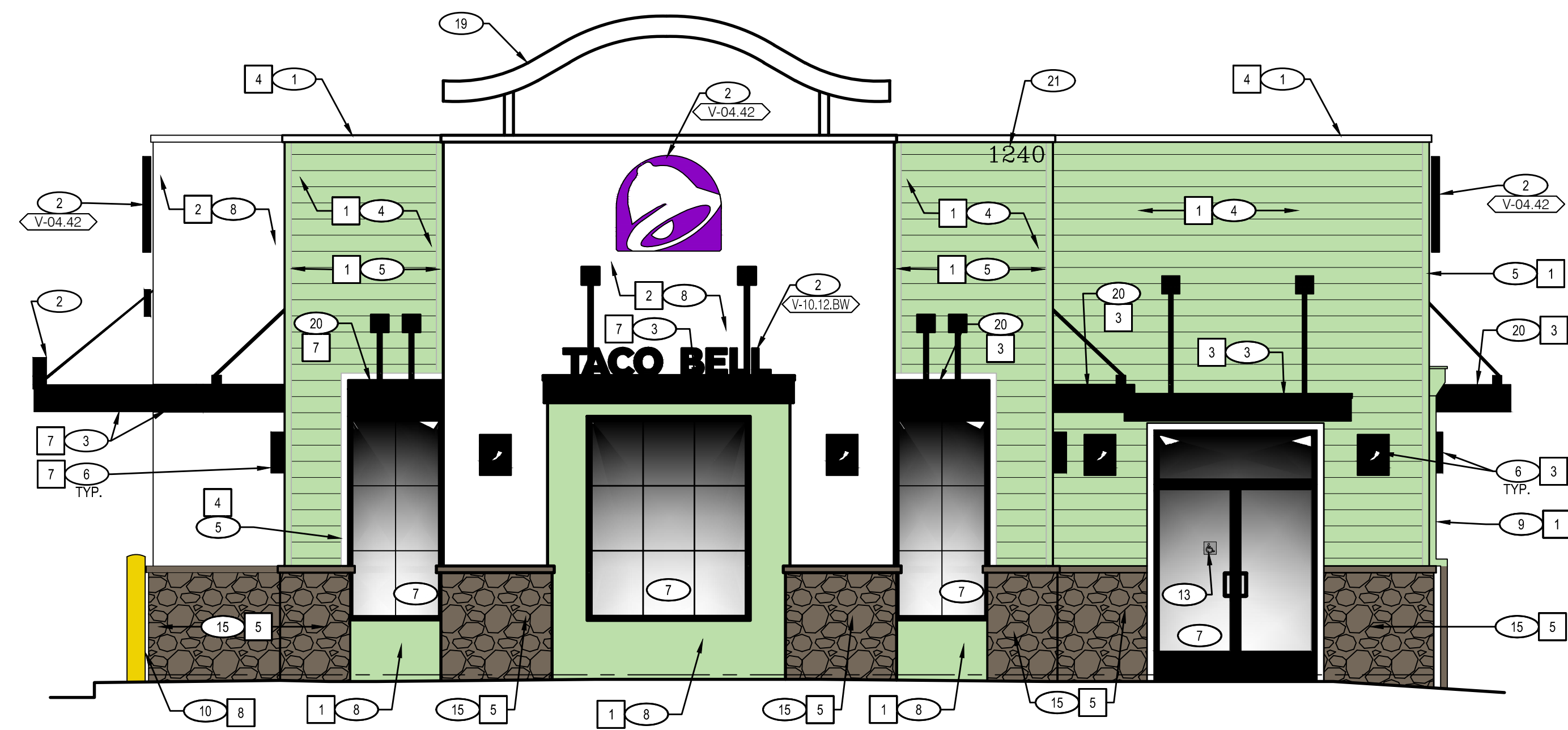
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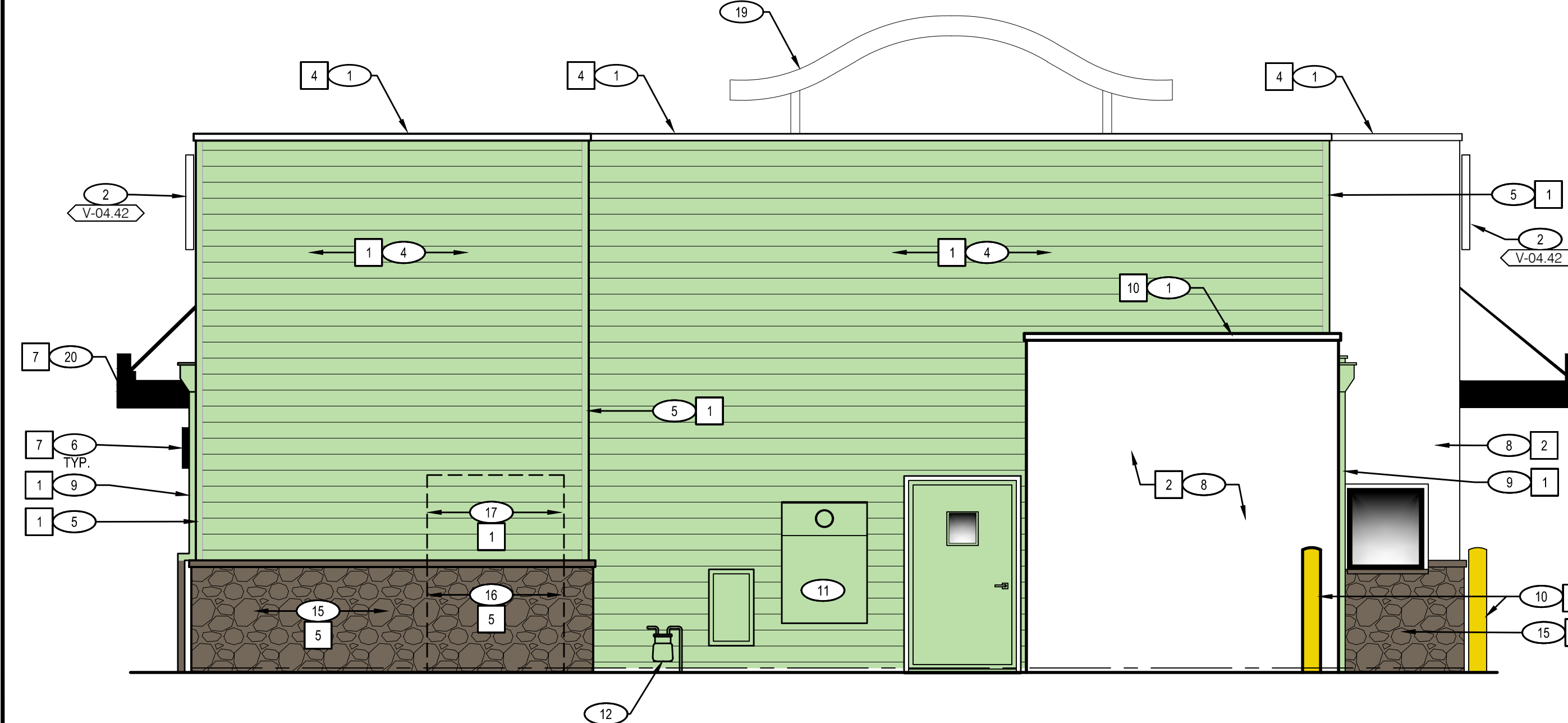
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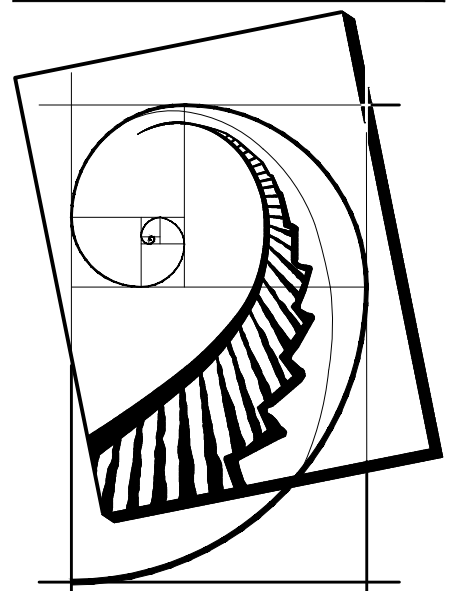
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CONTRACT SET	-

REVISIONS

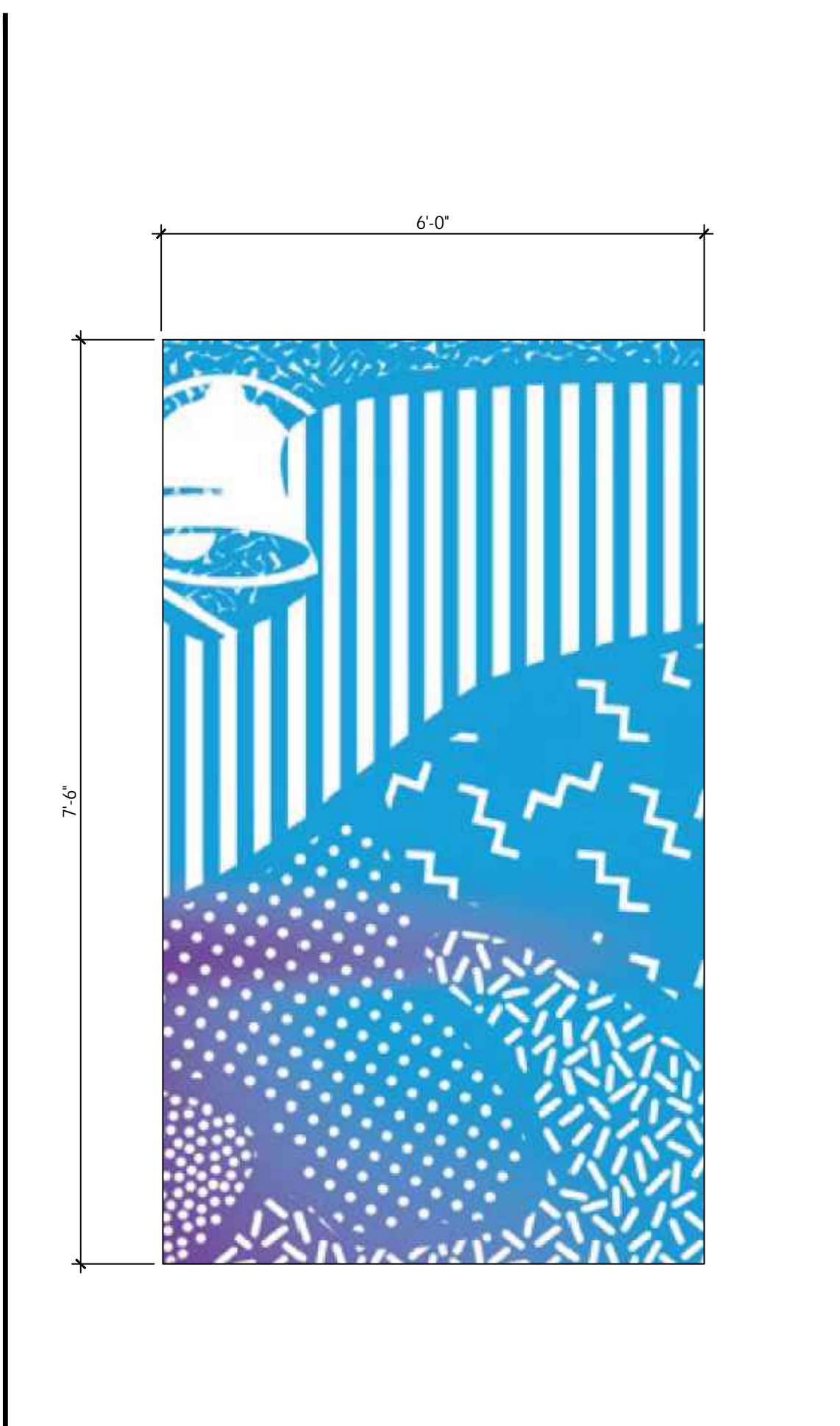
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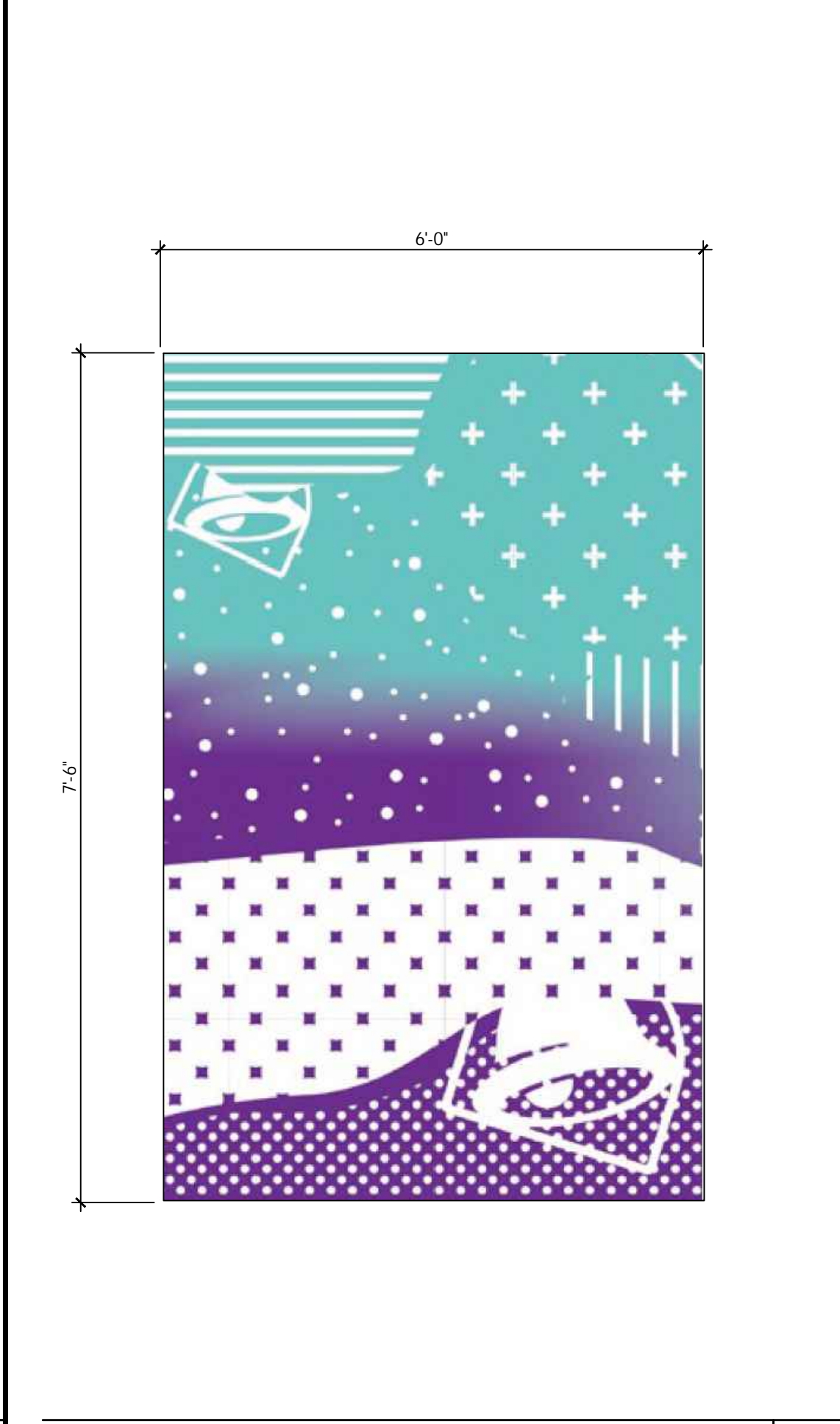


EXTERIOR
ELEVATIONS
A4.1

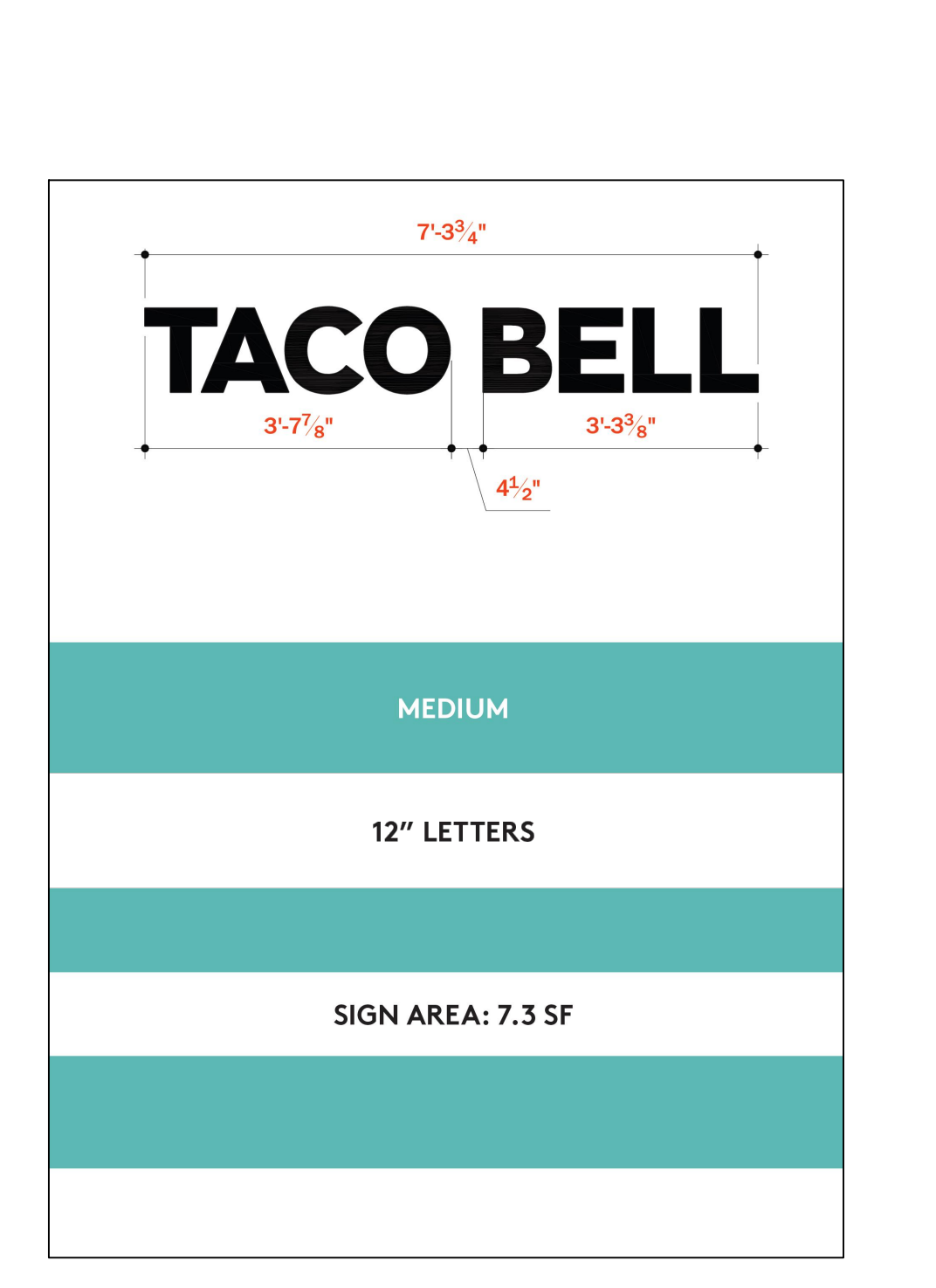
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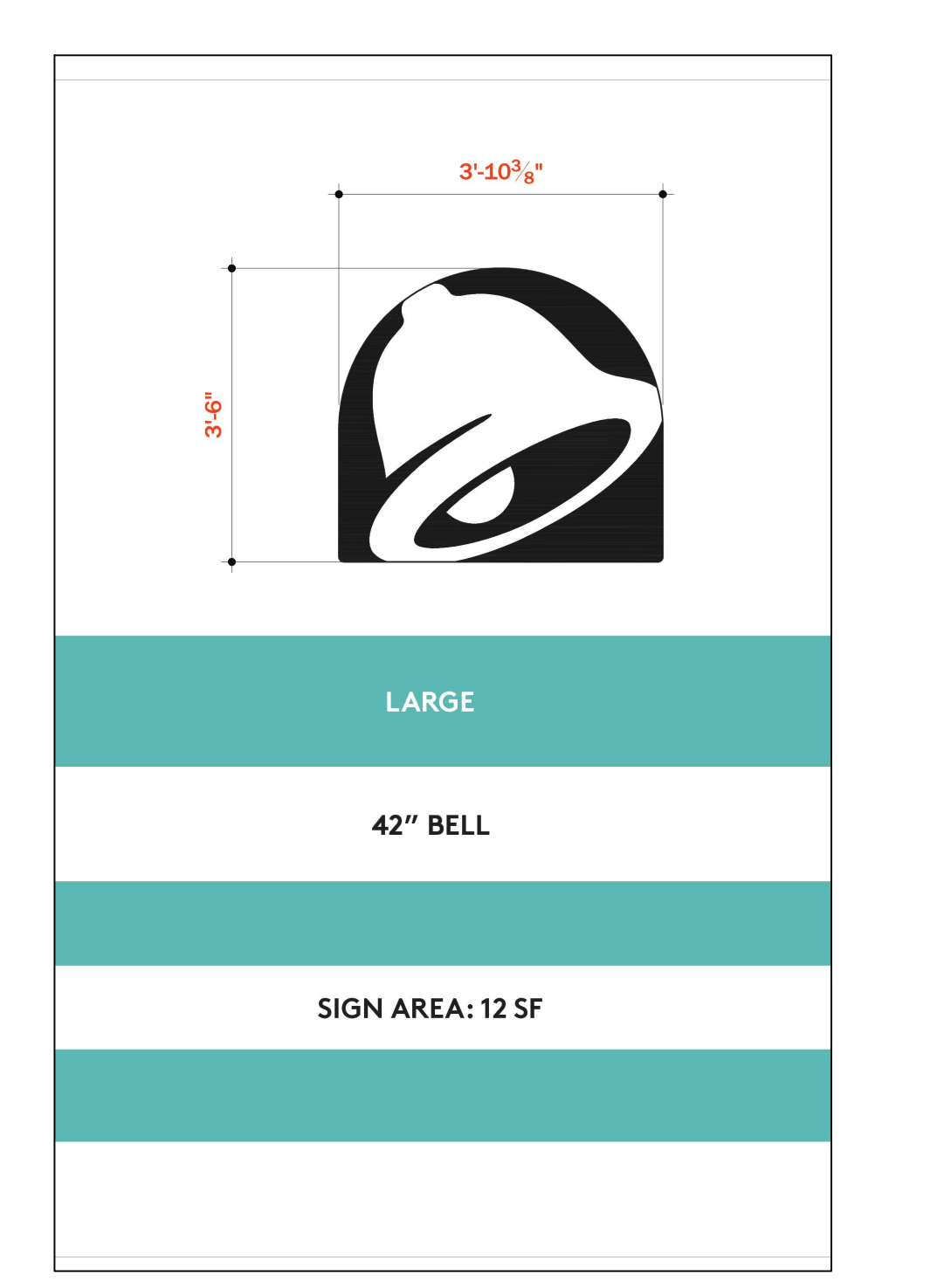
MURAL - 2 NTS 10



MURAL - 1 NTS 12



LETTERS NTS 5

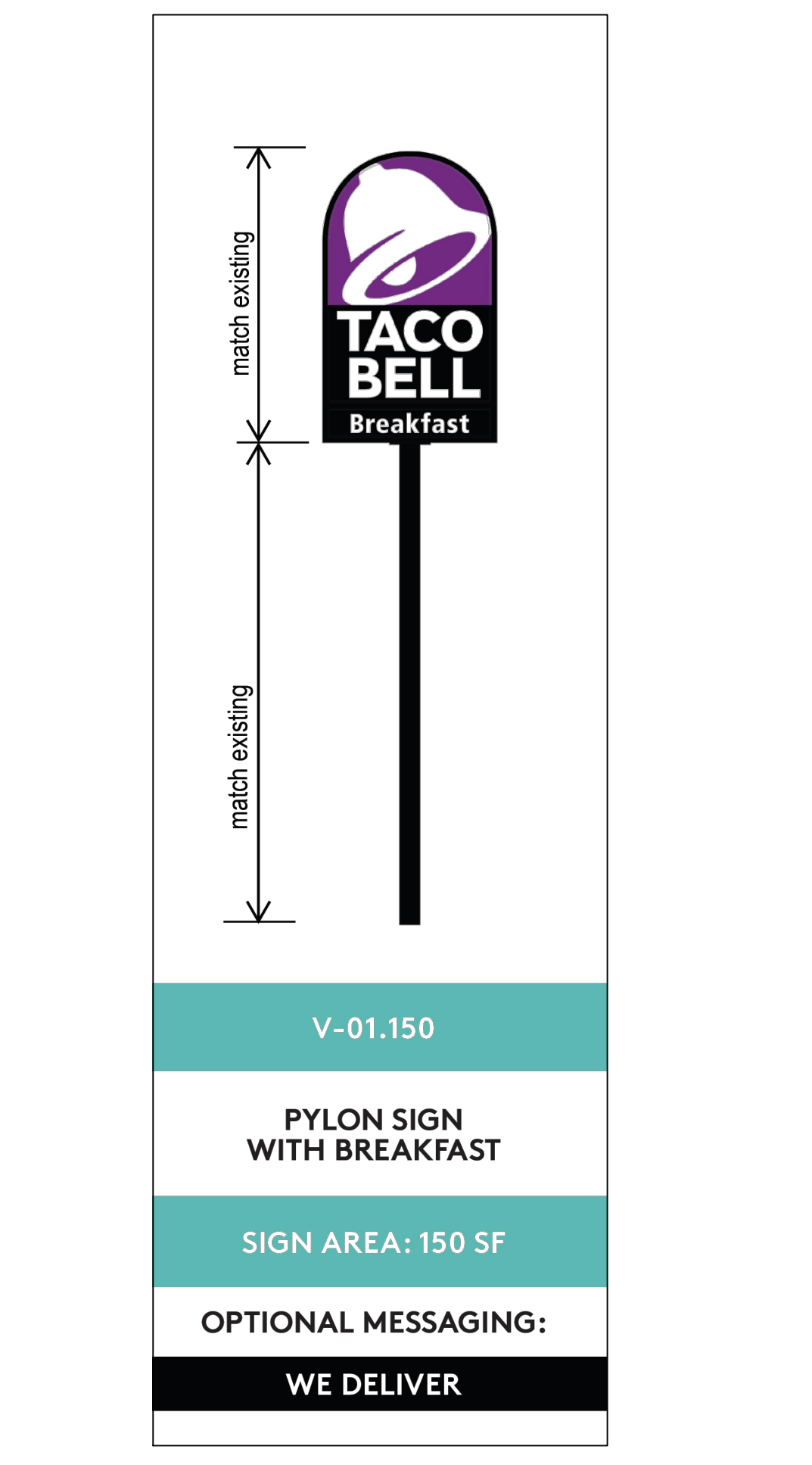


LARGE BELL NTS 2

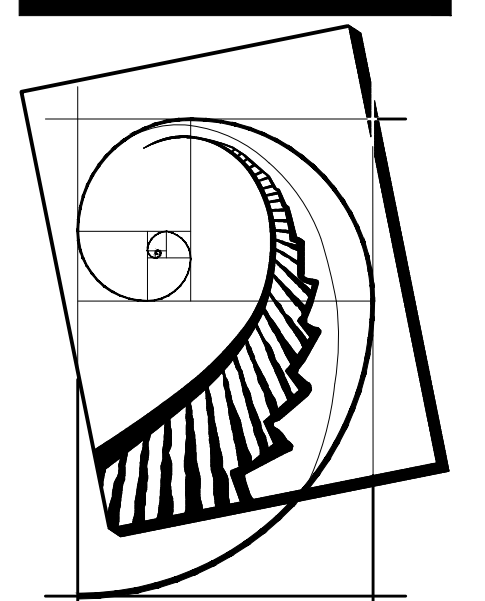
SIGN SUMMARY

EAST:	12.0 + 7.3 =	19.3 SF
WEST:	7.3 =	7.3 SF
SOUTH:	0.0 =	0.0 SF
NORTH:	7.3 =	7.3 SF
TOTAL:	=	57.9 SF

ALLOWABLE: 42'-5" FRONTAGE x 2 = 85 SF



POLE SIGN N.T.S. 4



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SIGNAGE
DD5-1

