



"We are a welcoming, active and business-friendly rural foothill community built on California's rich gold rush history."

Planning Commission Staff Report

Meeting Date: December 6, 2022

Prepared By: Kristen Hunter, Associate Planner

PROJECT INFORMATION SUMMARY

Case File: Site Plan Review (SPR) 15-04-R and Variance (VAR) 22-02

Request: Consideration of: (1) Request to revise the previously approved Site Plan Review (SPR) 15-04 (Outbreak Brewing) for building and site improvements to accommodate Burning Barrel Brewing and Spirits. Proposed changes include, but are not limited to, the following: existing landscaping plan, maximum occupancy, addition of outdoor patio seating, signage, exterior color scheme, and addition of a distillery onsite; (2) A Variance (VAR) 22-02 to the on-site parking requirements, where 19 spaces are required for the proposed maximum seating capacity and 14 spaces are provided; and (3) A finding that the project is categorically exempt from environmental review pursuant to CEQA Guidelines §15301.

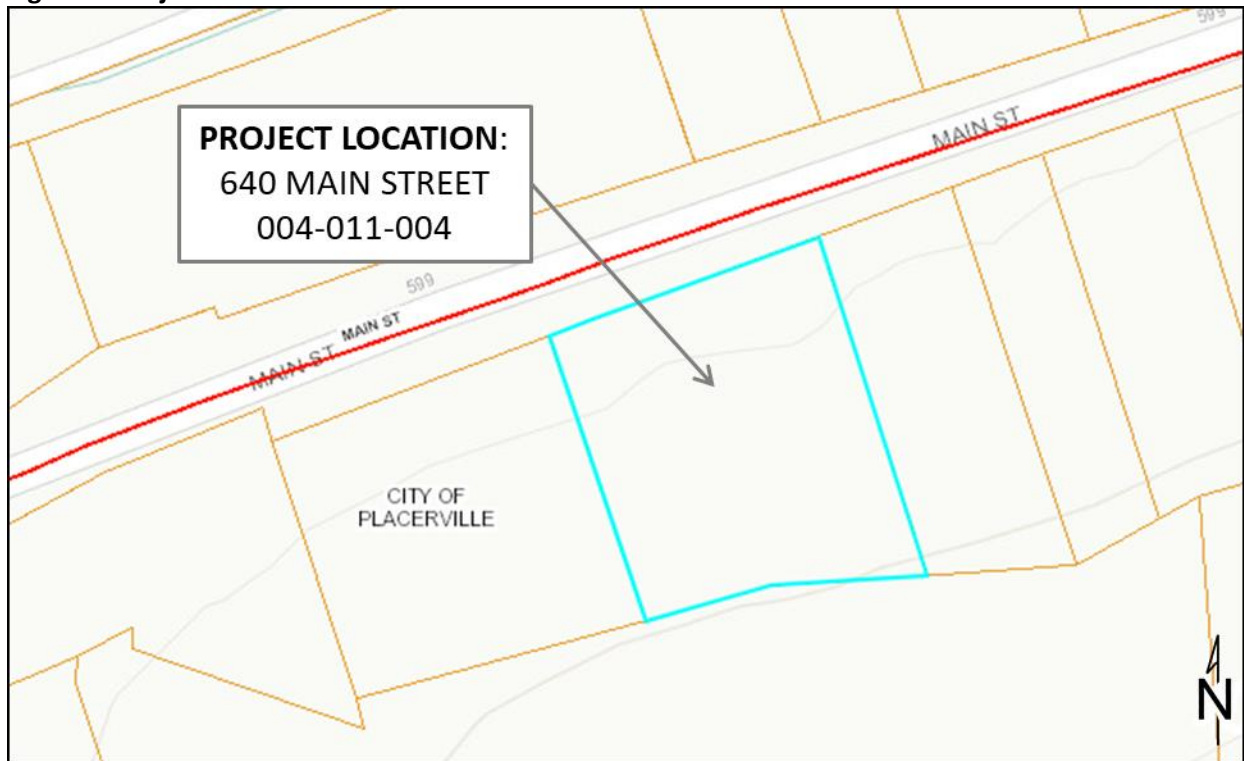
Summary Recommendation: Staff recommends approval of the requests as conditioned.

<u>Property Owner / Applicant:</u>	Alexander Industries LLC
<u>Agent:</u>	Duncan Alexander
<u>Address:</u>	640 Main Street
<u>APN:</u>	004-011-004
<u>Lot Area:</u>	0.38 acres
<u>General Plan:</u>	Commercial, C
<u>Zoning:</u>	Commercial, C
<u>Existing Use:</u>	Eating and Drinking Establishment; currently vacant
<u>Environmental Document:</u>	Categorical Exemption (Cat. Ex.) pursuant to CEQA Guidelines §15301, Existing Facilities.
<u>Decision Making Authority:</u>	Placerville Zoning Ordinance §10-3-5 (Variances) and §10-4-9 (Site Plan Review)

BACKGROUND

Based on City building records, the structure located at 640 Main Street was constructed during the 1960s. The project location is shown in Figure 1 below. Since its construction, it has been used for a wide variety of businesses including, but not limited to, the following: Superior Floors, Family Billiards and Country Club Billiards, Al Hinds Automotive Shop, Helm Vehicle Sales, River Rock Motors¹, and Outbreak Brewing. In the 2000s, the structure was used for engine repair and retail parts sales. During this time, rock was added to the front façade of the structure and a K-rail placed at the base of the slope located directly behind the building.

Figure 1. Project Location



Neighboring commercial businesses include a restaurant, vehicle repair, retail sales, and professional office buildings. Mixed use residential and office uses exist north and east of the site. South and southeast of the site is a church, a school, and residential uses. Land Use and Zoning designations for parcels directly adjacent to the project location are summarized in Table 1.

¹ Helm Vehicle Sales and River Rock Motors were approved under Conditional Use Permit (CUP) 2000-13. This CUP became null and void due to reversion back to uses permitted in the Commercial Zone by-right.

Table 1. Adjacent Designations / Uses

	Zoning Designation	General Plan Designation	Description
North	C	C	Restaurant / Professional Offices
East	C	C	Professional Offices / legal non-conforming residential
South	R3	HDR	Residential neighborhood abutting Sierra Elementary School
West	C	C	Professional Office abutting the Central Business District

The most recent business, Outbreak Brewing, operated out of the structure from 2015 through early 2022 and was approved by the Planning Commission on July 7, 2015 under Site Plan Review (SPR) 15-04. SPR 15-04 approved a phased change of the building occupancy to an “eating and drinking establishment” (microbrewery and tasting room). Under this approval:

- Outbreak Brewing would produce approximately 400-600 bbl of beer within the first year;
- Employ four to five employees full-time;
- Operating Hours would Monday, Tuesday, and Thursday from 11:00 a.m. to 8:00 p.m., Friday and Saturday from 11:00 a.m. to 10:00 p.m., and Sunday from 11:00 a.m. to 9:00 p.m.;
- A total of fourteen (14) parking spaces was required on-site;
- Any solid waste generated (mash) from the brewing process would be removed from the premises; and
- Maximum seating capacity of 56 and maximum building occupancy of 85.

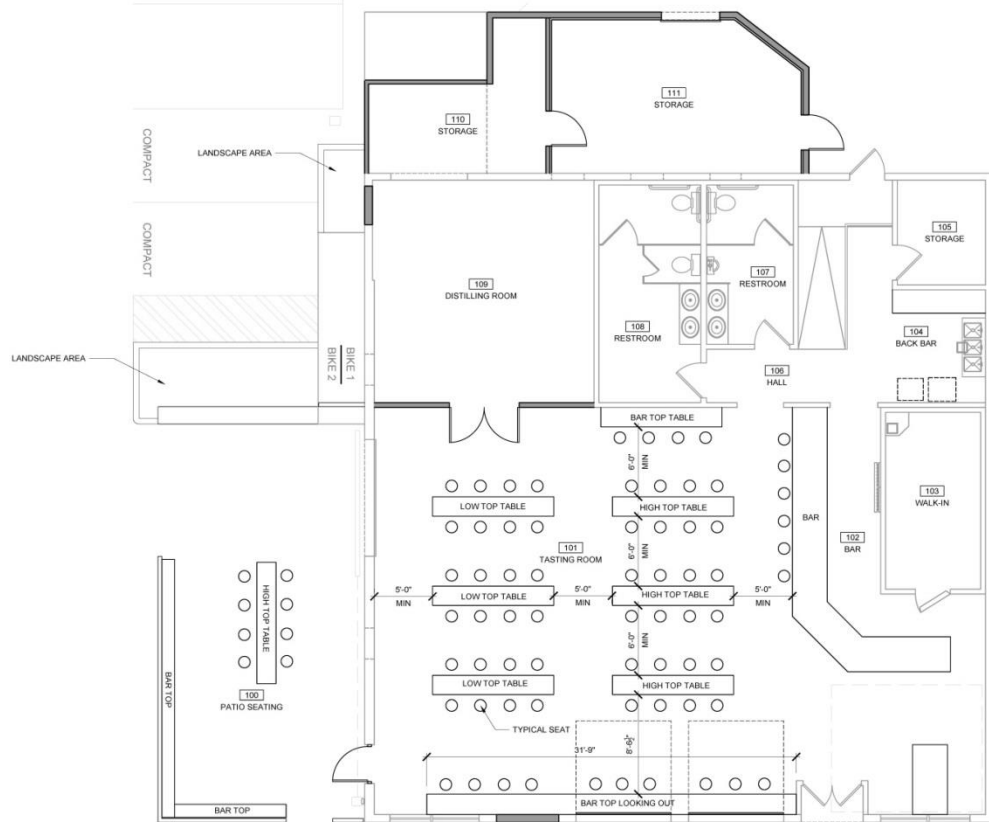
PROJECT DESCRIPTION

Building Improvements:

Burning Barrel proposes to open the interior floor space of the existing structure, previously split to allow for brewing onsite, to increase occupancy. Interior seating would include six (6) fixed tables with eight (8) seats each, a bar-top table along the front of the building overlooking the sidewalk with ten (10) seats, and a new bar-top and bar equipment with six (6) fixed seats for a total of 68 fixed seats indoors. A walled in distillery room of approximately 360 sf would be placed at the back of the structure. Figure 2, also found within Attachment C of this Staff Report, provides an overview of the proposed interior floorplan.

Further, improvements to the project location include the addition of an outdoor patio seating area. This area will be directly adjacent to the existing building, with a door allowing travel inside/outside, and surrounded on two sides by a 36” tall ornamental fence with a bar top. This area includes two tables, as shown in Figure 2, as well as a bar seating area just behind the proposed ornamental fence. Total proposed seating for the outdoor patio is eight (8).

Figure 2. Proposed Floor Plan (Sheet A03 of Attachment C)



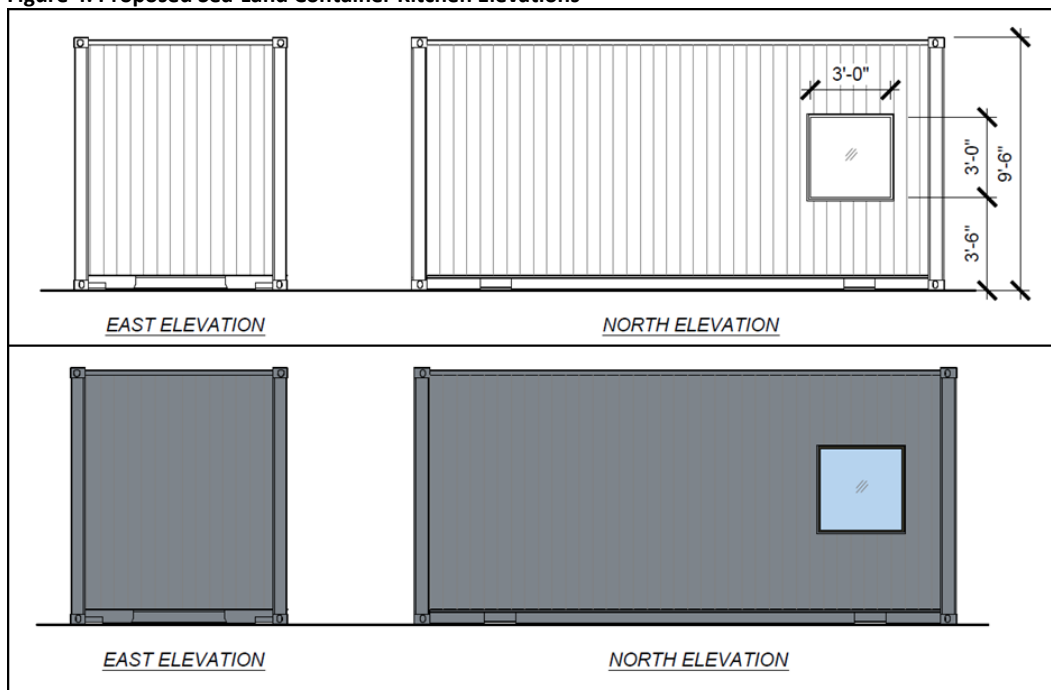
Alteration of the front of the structure includes the infill of one of the two existing front doors, specifically the eastern door, including extension of the stone veneer to match the existing front architecture (see Figure 3). Two roll-up glass doors are proposed to be installed towards the center of the front wall face, where two existing windows are located. Additionally a To-Go service area is proposed to be installed adjacent to the front entrance.

Between 2019 and 2021, the following work was completed at 640 Main Street without the necessary building permits: installation of a tank within the parking area directly adjacent to the side of the building, construction of a walk in cooler/storage unit, and installation of a sea-land container behind the building on top of a concrete slab. Upon closure of Outbreak, the tank and sea-land container were removed from the premises. As part of the proposed project, Burning Barrel Brewing and Spirits plans to address the remaining code compliance item by addressing/permitting the walk in cooler/storage unit (see Attachment C, Applicant Submittal Package). Burning Barrel further proposes to add an additional 452 sf storage area connected to the existing unpermitted storage/cooler.

The exterior of the building will be painted with Sherwin Williams 6256 Serious Gray for the body and Sherwin Williams 6258 Tricorn Black for the trim, as shown in Figure 3 below.

Figure 3. Proposed Exterior Color Scheme

On the existing lifted concrete pad located behind the building, a sea-land container pre-fabricated kitchen is proposed. Container kitchens are created through the conversion of a sea-land container through the installation of required equipment (oven, stove, hood, etc.). The specific internal floorplan/layout of the proposed container is not available at this time; however, the proposed external elevation is provided as part of the Applicant Submittal Package (Attachment C) and in Figure 4 below. The external color of the sea-land container kitchen will match the exterior of the main building.

Figure 4. Proposed Sea-Land Container Kitchen Elevations**Signage:**

The proposed sign is an illuminated box style sign with aluminum framing. The sign graphic is applied to the acrylic front cover, which is illuminated through internally located LED lights.

Figure 5 below shows the proposed 56 sf sign along with a photo of the Rancho Cordova location sign as an example.

Figure 5. Proposed Signage with Example Photo



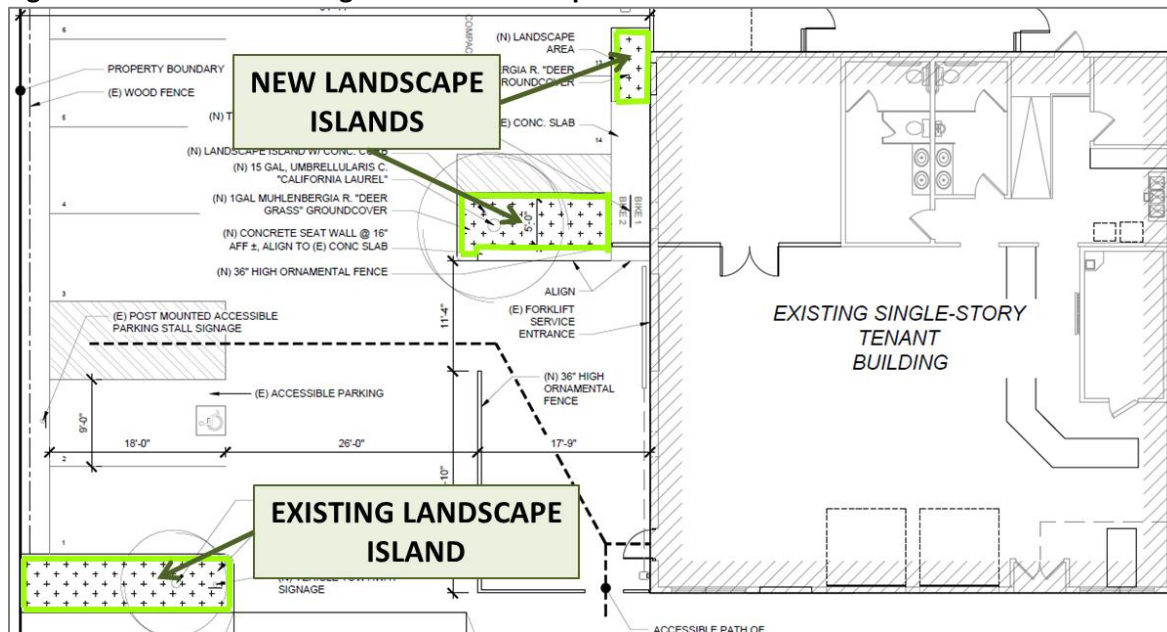
The sign would be placed on the front of the building, located in the approximate location of the previous Outbreak Brewing sign, as shown in Figure 6.

Figure 6. Front Elevation with Proposed Signage



Landscaping:

As part of SPR 15-04-R, Burning Barrel is proposing to amend the existing Landscaping Plan and Landscape Maintenance Agreement (LMA). Figure 7 provides the locations of the existing landscape island and new landscape islands while Table 2 summarizes the proposed landscaping.

Figure 7. Location of Existing and New Landscape Islands**Table 2. Proposed Landscaping Species and Location**

Location	Common Name	Scientific Name
Existing landscape island along Main Street sidewalk	Crape Myrtle	<i>Lagerstroemia indica</i>
Existing landscape island along Main Street sidewalk	Deer Grass	<i>Muhlenbergia rigens</i>
Proposed landscape island near forklift service entrance and bike rack	California Laurel	<i>Umbellularia californica</i>
Proposed landscape island near forklift service entrance and bike rack	Deer Grass	<i>Muhlenbergia rigens</i>
Proposed landscape island farthest from Main Street	Deer Grass	<i>Muhlenbergia rigens</i>

Parking:

As shown on the Site Plan located in Attachment C of this Staff Report, Burning Barrel proposes a total of fourteen (14) on-site parking spaces adjacent to the building. Two (2) of the proposed spaces are compact and one (1) handicap parking. A forklift service station space is proposed along the eastern side of the building, located just behind the proposed patio area. A loading area is proposed for Main Street directly in front of the building. A two (2) capacity bike rack is proposed along the building's eastern side, just beyond the forklift door and new landscape island.

Previous Project Proposal

Of note, in their initial submittal for a revision to SPR 15-04 and application for VAR 22-02, Burning Barrel initially proposed a total maximum seating capacity of 130. This maximum seating capacity has since been superseded with the above described project.

Comments provided in Attachment B of this Staff Report reflect Staff comments on the initial proposal where a total of thirty-three (33) parking spaces were required.

PROJECT ANALYSIS

The following section provides an overview of relevant City of Placerville General Plan Goals, Zoning Ordinance(s), and Development Guide Sections. Staff responses are provided below each italicized Goal, Ordinance, and Guideline.

General Plan Consistency:

Part II, Section I: Land Use

Goal C: To protect and provide for the expansion of Placerville's commercial service sector to meet the needs of both Placerville area residents and visitors.

- 1. The City shall promote the development and renewal of the downtown as the commercial center of Placerville.*
- 9. The City's planning for commercial areas shall be guided by the following principles:*
 - b. Have a positive economic impact on the community.*
 - c. Provide for adequate parking and vehicular access.*
 - d. Be designed and landscaped in a manner sensitive to Placerville's character.*

The proposed project would enhance the commercial sector located along Main Street, between Cedar Ravine Road and Broadway, and would provide services to both locals and visitors to Placerville. The project would include maintenance and improvements to an existing developed lot, including the expansion of the internal floor area, addition of a new bar and bar equipment, addition of two roll-up doors with windows installed in the center of the front of the building, infill of one (1) recessed door to match front architecture, addition of an outdoor patio to the side of the existing structure, maintenance of the existing landscape island and installation of two (2) new landscape islands within the parking lot, and repainting the exterior.

Burning Barrel, as part of their application, applied for a Variance for reduced on-site parking, due to the narrowness of the lot located at 640 Main Street and the demand anticipated at the location during operation. Per the Variance narrative included in Attachment C, Burning Barrel states that, "while [the on-site parking lot] is much larger than what most Main Street businesses have, it sets too low of a limit for occupancy for [operation]...The taproom business model relies on peaks and capping at 56 will be challenge long-term²." The proposed maximum seating capacity is 76 following proposed improvements. Fourteen (14) parking spaces are proposed to be provided on-site and the remaining five (5) off-site.

Parking is discussed in the staff analysis located under Zoning Ordinance Section 10-4-4 (D) on pages 11-12 of this Staff Report.

² The maximum seating capacity of 56 requires 14 parking stalls. This maximum seating capacity was approved for Outbreak Brewing under the original SPR 15-04.

Part II, VII: Community Design

Goal B: To protect and upgrade the visual and historical character of downtown.

2. *The City shall promote the enhancement of commercial buildings and properties.*

The goal of the Community Design section of the General Plan is to preserve, to the greatest extent possible, the physical and visual attributes of Placerville which contribute to the image of Placerville. Staff interpretation of the proposed plans and structure elevations, provided in Attachment C of this Staff Report, is that the proposed project will enrich currently vacant building and site and enhance its presence along Main Street through new paint, window improvements, addition of an outdoor patio, landscaping, and signage.

Goal I: To promote architectural quality throughout Placerville.

3. *The City shall encourage the restoration and reuse of older structures which contribute to Placerville's character and sense of historical and cultural identity.*

The proposed project would utilize a developed commercial site and add improvements to the existing structure, including permitting of currently unpermitted additions. The improvements would maintain the existing architecture, keeping trim elements, a recessed door, and extending the lower stone façade while adding landscaping islands and an outdoor patio to a section of the existing parking lot area.

Zoning Classification and Regulation Consistency:

Zoning Ordinance Section 10-4-4: Parking and Loading

- (B) The required parking shall be provided on the parcel or contiguous parcel where the use is located. For nonresidential uses, the required parking may be provided on a parcel no farther than three hundred feet (300') from the boundaries of the parcel where the use is located, providing that the parcel is under the same ownership, within the City, in the same zone, or in a less restrictive zone and that no major thoroughfare lies between the use and any required parking. The required loading shall be provided on the parcel where the use is located and no farther than twenty feet (20') from the building to be served.*

Burning Barrel has proposed a total of fourteen (14) parking stalls on-site. These stalls would be located on the same parcel and directly adjacent to the existing structure. As proposed, to meet the proposed maximum seating capacity, total required parking stalls is nineteen (19)³. The remaining required parking (approximately five (5) stalls) is proposed to be leased parking from the nearby Ivy House Parking lot to be used solely for Burning Barrel staff.

³ Refer to staff analysis provided under Zoning Ordinance Section 10-4-4(D)4 on page 12.

Public parking lots in the general vicinity of 640 Main Street (i.e., Ivy House Parking Lot or Mooney Parking Lot) are separated from the project area by Main Street, classified as a major arterial street per Part I of the City of Placerville General Plan (Land Use / Circulation Diagrams and Standards). Additionally, public parking lots are wholly owned by the City of Placerville.

Given the ownership of the parcel vs ownership of the proposed off-site parking locations as well as the location of Main Street between the project area and the off-site parking, Zoning Ordinance Section 10-4-4 (B) is not met.

The total number of required parking spaces, per Zoning Ordinance Section 10-4-4(D)4, is calculated in the Staff analysis on pages 11-12 and totals nineteen (19) stalls. As previously mentioned, Burning Barrel proposes to have fourteen (14) parking stalls located on-site, directly adjacent to the primary structure. The remaining required parking (approximately five (5) stalls) is proposed as leased parking spaces within the nearby Ivy House Parking Lot. These leased parking stalls would be used only for Burning Barrel employees under the tentative schedule provided in Table 3 below.

Table 3. Proposed Leased Parking Usage

No. of Staff	Staff Title	Proposed Time of Use
1	Manager	10:00 a.m. – 4:00 p.m.
2	Bartender	10:00 a.m. – 4:00 p.m.
2	Kitchen Staff	10:00 a.m. – 4:00 p.m.
3	Bartender	4:00 p.m. – 11:00 p.m.
2	Kitchen Staff	4:00 p.m. – 11:00 p.m.

A Variance application (VAR 22-02) for parking is included with the application to revise SPR 15-04. Under a Variance, per Zoning Ordinance Section 10-3-5, the Planning Commission may grant a variance to authorize a specific exception to any regulation should special circumstances (i.e., size, shape, topography, location or surroundings) limit or deprive the property owner privileges enjoyed by other properties in the vicinity and under identical zoning designations. To be granted, variances shall not be detrimental to public welfare or injurious to the property or improvements in the vicinity of the project area.

Of note, the addition of an outdoor patio adds to the increased parking demand while also, in Staff's opinion, adding to the positive pedestrian orientation and experience resulting from the proposed business's operation. During the COVID-19 pandemic, the City allowed for liberal use of outdoor areas including parking areas for dining throughout the City, regardless of the impact on parking, in order to provide for a way to assist businesses that operated with reduced indoor capacity. The applicant has indicated that, "while [the on-site parking lot] is much larger than what most Main Street businesses have, it sets too low of a limit for

occupancy for [their operation as] the taproom business model relies on peaks and...will be challenge long-term⁴."

Further, following review of the application submitted by Burning Barrel Brewing and Spirits, the Engineering Department provided to Planning Division comments on the proposed. These comments can be found in Attachment B of this Staff Report. With regards to the use of the Ivy House Parking Lot, Engineering stated that the Clay Street Bridge Replacement Project is currently underway. The Replacement Project, while the final design layout is not determined, will result in the bisection of the Ivy House Lot with an anticipated loss of fifteen (15) parking spaces.

Based on the above analysis, Staff has prepared potential alternatives for the Planning Commission to consider regarding parking variance request. These alternatives are provided below:

1. Approval of the variance request as amended by the Placerville Building Official, allowing approximately 26% of required parking, a total of five (5) stalls, to be leased off-site. Staff has determined that there are a total of ten (10) spaces in the Ivy House Parking Lot that are currently available to be leased.
2. Denial of the variance request. This would require reduction of maximum seating capacity to 56, similar to the prior approval under SPR 15-04.

(C) The layout of parking stalls, loading berths, and parking aisles shall comply with all the following requirements:

- 2. The required parking stalls, loading berths, and parking aisles may not be located on any street right of way.*
- 3. Each parking stall shall have a minimum size of nine feet by eighteen feet (9' x 18') when free of obstructions such as columns or walls; ten feet by eighteen feet (10' x 18') where columns or walls are located adjacent to space; each loading berth shall have a minimum size of twelve feet by twenty five feet (12' x 25') whether indoors or outdoors.*
- 4. Parking aisles shall have a minimum width of twelve feet (12') when stalls are parallel to the aisle or up to an angle of forty degrees (40°); seventeen feet (17') when stalls are at an angle between forty degrees (40°) and seventy degrees (70°); and twenty four feet (24') when stalls are at an angle between seventy degrees (70°) and ninety degrees (90°).*
- 9. Up to twenty percent (20%) of the parking stalls can be for compact cars. These stalls shall have a minimum size of seven feet by seventeen feet (7' x 17'). All compact parking stalls shall be marked or so indicated as "compact parking only".*

⁴ The maximum seating capacity of 56 requires 14 parking stalls. This maximum seating capacity was approved for Outbreak Brewing under the original SPR 15-04.

Where a compact space is located adjacent to columns or walls, the stall shall be ten feet (10') in width.

As proposed, the on-site parking stalls are nine feet by eighteen feet (9' x 18'), meeting the requirement under Zoning Ordinance Section 10-4-4(C)3. There are two compact spaces located directly behind the forklift service door area and a loading area identified along the front of the building on the Main Street curb. Based on the total required number of parking spaces and on the maximum seating capacity (19 spaces), the two (2) compact spaces fall within the twenty percent (20%) requirement of Zoning Ordinance Section 10-4-4(C)9. Additionally, for on-site parking, the aisle width allowing flow of traffic on-site/off-site is over the required twelve feet (12') and is approximately twenty-five (25) feet and nine (9) inches.

(D) The following minimum number of parking stalls shall be required, to serve the uses or buildings listed:

- 4. Eating or drinking establishment: one for four (4) seats of maximum seating capacity.*

Burning Barrel has proposed a total maximum seating capacity inside of 68 and outside on the patio of eight (8). Therefore, the maximum seating capacity would be a total of 76. Required parking stalls are calculated in the equation below.

$$\text{Originally Proposed: } 76 \text{ seats} * \frac{1 \text{ stall}}{4 \text{ seats}} = 19 \text{ stalls}$$

Of note, the required parking spaces include required parking for Burning Barrel employees. As previously mentioned, Staff has determined that there are a total of ten (10) spaces in the Ivy House Parking Lot available to be leased for Burning Barrel employees.

Zoning Ordinance Section 10-4-17: Sign Regulations

(G) Regulations of On-Premise Signs: On-premise signs shall comply with requirements and criteria set forth herein...

5. Wall Signs

- b. The area of a wall sign or combination of wall signs shall not exceed two (2) square feet of sign area for each one (1) lineal foot of business frontage for businesses that have up to fifty (50) feet of business frontage and an additional sixty-seven (0.67) hundredths of a square foot for businesses with street frontage greater than fifty (50), not to exceed a total aggregate area of two hundred (200) square feet.*

- d. Internally illuminated wall signs shall have an opaque background and shall be designed so that only the lettering or advertising copy is visible at night.*

Externally illuminated signs shall utilize light fixtures which are fully shielded and designed to focus light only on the sign surface.

The project site has 55 lineal feet of business frontage. Per City Zoning Ordinance Section 10-4-17 (G)5, the maximum square footage of signage for 640 Main Street is 103 sf. The calculations are provided below.

$$50 \text{ lineal ft} * \frac{2 \text{ ft}}{1 \text{ lineal ft}} = 100 \text{ sf}$$

$$5 \text{ ft} * 0.67 \text{ ft} = \sim 3 \text{ sf}$$

$$100 \text{ sf} + 3 \text{ sf} = \mathbf{103 \text{ sf total aggregate signage}}$$

The new proposed sign is approximately 56 sf, well within the allowable aggregate square footage for the structure.

Burning Barrel Brewing and Spirits has submitted pictures of the sign located at their Rancho Cordova location, similar to that proposed at the 640 Main Street, at night to show illumination. These pictures are provided in Figure 8 below.

Figure 8. Example of Sign Illumination at Night



Placerville Development Guide Consistency:

Chapter IV: Architectural Design Guidelines

C. Design Factors

2. Pedestrian Orientation

- a. New buildings, building modifications or additions, particularly in the Main Street historic area, should be designed with respect to the existing pattern of setbacks, maintaining the building relationship to the sidewalk.*

- b. Recessed entries, framed windows and ledges and other elements of façade articulation such as reveals or corbels and cornices should be retained whenever possible or duplicated if necessary in existing buildings and incorporated into new construction as appropriate.*
- c. Colonnades, covered walks and eating areas adjacent to the sidewalk are encouraged to add relief, create light and shadow, and improve the quality of the pedestrian experience.*

It is Staff's opinion that the proposed project maintains the existing building's character and relationship with the sidewalk and will work to enhance the visual appeal of the structure through the addition of the ornamental fencing, landscape islands, and new paint. The project will result in the installation of an outdoor patio area, further enhancing the pedestrian experience. Additionally, while one (1) of the two (2) recessed doors will be infilled and the existing windows in the front wall of the structure replaced with roll-up doors, Staff interpretation is that the characteristic façade elements of the structure will be maintained. Figure 8 below provides a comparison of the existing façade of the structure with the proposed.

Figure 9. Comparison of Existing and Proposed Building Frontage



3. Façade Treatments and Exterior Elements

- a. Building façades adjacent to the right-of-way must demonstrate a pedestrian orientation, with a well-defined entry, windows, decorative*

elements, and appropriate ornamentation regardless of zoning classifications.

- b. All sides of buildings which are visible from any public right-of-way will incorporate façade treatments, finishes and features which reflect the quality of the overall design. Large windowless facades detract from the building's aesthetic value and will be avoided. Vines on walls are encouraged to soften the hard edges of the architecture and to provide visual interest.*

The body of the existing structure located at 640 Main Street is comprised of cement plaster finish with decorative trim (plaster with different color paint) around doors, windows, and along the roofline of the parapet. The existing building has a total of nine (9) windows along the front and two recessed doors on either side of the building face.

The alterations proposed by Burning Barrel would maintain the decorative trim elements as well as the same general aesthetic character. The roll-up doors would result in a similar appearance of the existing center windows, while providing more open area. While the eastern recessed door is proposed to be infilled, the character of the building face is maintained through the use of a matching finish and the extension of the stone veneer along the base of the building. Additionally, the remaining door shall be a well-defined path of entry.

Behind the structure, the exterior of the existing and proposed addition for storage will be finished with 3-coat cement plaster finish with an imperfect smooth texture to match the existing building.

5. Color Selections

- a. Color schemes should be relatively simple. Use of a single base color for a building is preferred. Use of only one or two major accent colors is encouraged, except where precedent has been set for using more than two colors as in some architectural styles. The complexity of accent color scheme should be appropriate to the architectural style and period of the building.*
- b. Color schemes should be developed that coordinate and unify all façade and roofline elements such as signs, ornamentation, vents, chimneys, gutters, downspouts, cornices, awnings, windows, entrances, etc.*

The color selections for the building and accessory structure are shown in Figure 3, and include two (2) primary colors, one for the body and one for the trim. These colors are Sherwin Williams 6256 Serious Gray and Sherwin Williams 6258 Tricorn Black. It is Staff's opinion that the color scheme will complement the structure and unify all façade elements of the structure

as well as the accessory structure (sea-land container kitchen) to the body of the main structure.

Chapter V: Specific Site Improvements

A. General Site Design Guidelines

1. Parking Facilities

- a. Parking areas shall be designed and dimensioned in accordance with all applicable codes and ordinances enforced by the City of Placerville, including factors such as stall aisle size, access driveways, and barrier-free access requirements.*
- d. Facilities that address the needs of bicyclists are encouraged. Bicycle racks and/or lockers should be incorporated whenever possible.*

The dimensions of the proposed on-site parking stalls are in compliance with the City Zoning Ordinance Section 10-4-4 (C)3. Further discussion of parking requirements can be found in Staff analysis under Zoning Ordinance Section 10-4-4 beginning on page 9 of this Staff Report.

Additionally, adjacent to the main structure, Burning Barrel proposes to install a two (2) capacity bike rack.

C. Site Design Guidelines for Main Street Historic Area

- 1. Parking facilities should be kept to the sides or the rear of the building.*
- 3. Public sidewalks, alleys, or other pedestrian corridors are an integral part of the area's ambiance and should receive consideration for their contribution to the community fabric, and shall not detract from it in any way.*

It is Staff's opinion that the proposed project maintains the existing building's character and relationship with the sidewalk and will work to enhance the visual appeal of the structure through the addition of the ornamental fencing, landscape islands, and new color scheme. The project will result in the installation of a eating / drinking outdoor area, further enhancing the pedestrian experience.

Fourteen (14) of the required nineteen (19) parking stalls (per Section 10-4-4 (G)4) are to be provided on-site adjacent to the main structure. The remaining parking, under VAR 22-02, is proposed to be leased off-site for Burning Barrel staff.

Chapter XIII: Signage

A. General Guidelines

1. *Signs will be maintained in good condition, including display surface. Signs should be kept clean, legible, and free of graffiti or other disfigurations. The adjacent landscaped area will be consistently maintained.*
2. *All signs should be of professional quality, utilizing materials and finishes and trim elements that complement those used in the adjacent architecture and site design.*
4. *Signs for individual tenants should be well designed with a consistent theme and should be logically placed on the building face.*

It is Staff's opinion that the proposed sign is well designed, of professional quality, and that the proposed placement is logically located within the upper center of the front face of the structure overlooking Main Street.

B. Main Street Historic Area

(A) General Design Characteristics

1. *Signage programs should minimize signs and avoid clutter. One well designed, well placed sign on the face of the building is preferred. Free-standing pole mounted signs are not allowed in the historic area.*
2. *Color selection should demonstrate harmony and continuity with the colors of the building.*

(D) Illumination: Signs may be illuminated or non-illuminated. Illuminated signage shall use lighting forms consistent with the traditional character of the Main Street Historic area...

As previously discussed, Staff interpretation of the application is that the sign is well placed along the building's front face and is a simple design with two colors. The sign is internally illuminated using LED lighting. Figure 8 of this Staff Report provides a visual representation of the proposed illumination. It is staff's opinion that the sign will be consistent with similar illuminated signage present on Main Street.

Environmental Review: The City has reviewed this request and has determined that it is categorically exempt from environmental review pursuant to California Environmental Quality Act (CEQA) Section 15301 (Existing Facilities), in that the proposed project includes the repair, maintenance, and operation of an existing private structure and will have a negligible expansion of the existing use approved under SPR 15-04.

Conclusion: As proposed, the request would modify the existing building located at 640 Main Street to allow for the new property owner to operate as a distillery. The land use permits for eating and drinking establishments, such as Burning Barrel Brewing and Spirits, by right. Staff believes that the request as conditioned is consistent with relevant Zoning Ordinances and General Plan goals for the Placerville Main Street area.

RECOMMENDED PLANNING COMMISSION ACTION

Staff recommends that the Planning Commission take the following action:

- I. Adopt the Staff Report as part of the Public Record.
- II. Make the following finding of categorical exemption from CEQA:
- III. This Site Plan Review and Variance request is exempt from environmental review, in that the project qualifies for a Categorical Exemption under the California Environmental Quality Act (CEQA) Guidelines Section 15301, Existing Facilities, as the proposed project would result in no or negligible expansion of the current use.
- IV. Make the following findings of fact in support of SPR 15-04-R request:
 1. The existing building is located on a developed parcel within the City limit on APN 004-011-004 with a lot area of less than 5 acres (0.37 acres), surrounded by urban uses.
 2. The project site has a General Land Use designation and Zoning of Commercial. The proposed use is classified as an eating and drinking establishment and is a permitted use in the Commercial Zone per Zoning Ordinance Section 10-5-15 (B)8.
 3. The project request is consistent with the General Plan Goal I and Policy 2 of Goal I in that Burning Barrel Brewing and Spirits would expand Placerville's commercial service options within the City's downtown area by providing a use that is expected to increase the vibrancy of this portion of Main Street by attracting area residents, tourists, and other visitors. The request would also enhance and existing building through new paint, window improvements, landscaping, and signage, furthering Goal B and Policy 2 of the Community Design Element of the General Plan.
- V. Make the following findings of fact of the VAR 22-02 request:
 1. The required parking for Burning Barrel is nineteen (19) spaces based on Placerville Zoning Ordinance Section 10-4-4(D)4 and there are fourteen (14) parking spaces available on-site.
 2. No additional traffic impact study has been prepared for the project indicating less than the required parking under the City's Municipal Codes.

3. The Applicant has indicated use of the Ivy House Parking Lot for remainder of required parking. Staff has determined there is a total of ten (10) spaces within the Ivy House Parking Lot available for leasing. Leased spaces would only be for Burning Barrel Brewing and Spirits employees.
 4. Burning Barrel Brewing and Spirits has proposed leasing a total of five (5) parking spaces from the Ivy House Parking Lot to be used for staff. These five spaces would satisfy the remaining required parking per Zoning Ordinance Section 10-4-4(D)4.
 5. In order to comply strictly with the City's Zoning Ordinance Section 10-4-4, Parking and Loading, the maximum seating capacity would need to be reduced to fifty six (56).
- VI. Conditionally approve SPR 15-04-R and VAR 22-02 located at 640 Main Street, based on the project information and findings included in the Staff Report, and subject to the recommended Conditions of Approval, provided as Attachment A of the Staff Report. Relevant Conditions of Approval were pulled from the Planning Commission previous approval of SPR 15-04 and were updated to reflect information submitted for this project.

ATTACHMENTS

- A. [Recommended Conditions of Approval](#)
- B. [City and Agency Comments](#)
- C. [Application Submittal Package](#)
- D. [Site Plan Review \(SPR\) 15-04 Adopted Conditions of Approval](#)