

104 S. WASHINGTON AVE

DOOR SCHEDULE:

NO.	PAIR	WIDTH	HEIGHT	MATERIAL	FINISH	GLASS	MFR.	TINT	OPERATION	MODEL	REMARKS
101	-	5'-0"	8'-0"	WOOD/VINYL	WHITE	TEMPERED	ANDERSEN	LOW-E	SLIDER	FWG5080	
201	-	5'-0"	8'-0"	WOOD/VINYL	WHITE	TEMPERED	ANDERSEN	LOW-E	SLIDER	FWG5080	
202	-	2'-8"	8'-0"	MDF	PAINTED	-	MASONITE	-	SWING	T.B.D.	
203	-	2'-4"	8'-0"	MDF	PAINTED	-	T.B.D.	-	SWING	T.B.D.	
204	-	2'-8"	8'-0"	MDF	PAINTED	-	MASONITE	-	SWING	T.B.D.	
205	-	2'-4"	8'-0"	MDF	PAINTED	-	T.B.D.	-	SWING	T.B.D.	
206	-	2'-8"	8'-0"	WOOD/VINYL	WHITE	TEMPERED	ANDERSEN	LOW-E	SWING	FWH2980	
207	(2)	2'-0"	8'-0"	MDF	PAINTED	-	MASONITE	-	BI-PASS	T.B.D.	
208	-	2'-6"	8'-0"	MDF	PAINTED	-	MASONITE	-	POCKET	T.B.D.	
209	-	1'-6"	8'-0"	MDF	PAINTED	-	MASONITE	-	SWING	T.B.D.	
210	-	2'-8"	8'-0"	MDF	PAINTED	-	MASONITE	-	SWING	T.B.D.	
211	-	2'-4"	8'-0"	MDF	PAINTED	-	MASONITE	-	SWING	T.B.D.	
212	-	2'-0"	8'-0"	MDF	PAINTED	-	MASONITE	-	SWING	T.B.D.	
213	-	3'-0"	6'-8"	MDF	PAINTED	-	MASONITE	-	SWING	T.B.D.	REPLACE IN EXISTING LOCATION. FLIP DOOR SWING. G.C. TO VERIFY SIZE
214	(2)	2'-6"	6'-8"	MDF	PAINTED	-	MASONITE	-	FRENCH	T.B.D.	REPLACE IN EXISTING LOCATION. G.C. TO VERIFY SIZE
215	-	2'-8"	6'-8"	MDF	PAINTED	-	MASONITE	-	POCKET	T.B.D.	
216	-	2'-8"	6'-8"	MDF	PAINTED	-	MASONITE	-	POCKET	T.B.D.	
217	-	2'-8"	6'-8"	MDF	PAINTED	-	MASONITE	-	POCKET	T.B.D.	
218	-	2'-4"	6'-8"	MDF	PAINTED	-	MASONITE	-	SWING	T.B.D.	REPLACE IN EXISTING LOCATION. G.C. TO VERIFY SIZE
301	-	5'-0"	6'-8"	WOOD/VINYL	WHITE	TEMPERED	ANDERSEN	LOW-E	SLIDER	FWG5068	
302	-	2'-8"	6'-8"	MDF	PAINTED	-	MASONITE	-	POCKET	T.B.D.	
303	-	-	-	-	-	-	-	-	-	-	NO LONGER IN USE
304	-	2'-8"	6'-8"	MDF	PAINTED	-	MASONITE	-	POCKET	T.B.D.	
305	-	2'-4"	6'-8"	MDF	PAINTED	-	MASONITE	-	POCKET	T.B.D.	
306	-	2'-8"	6'-8"	MDF	PAINTED	-	MASONITE	-	POCKET	T.B.D.	

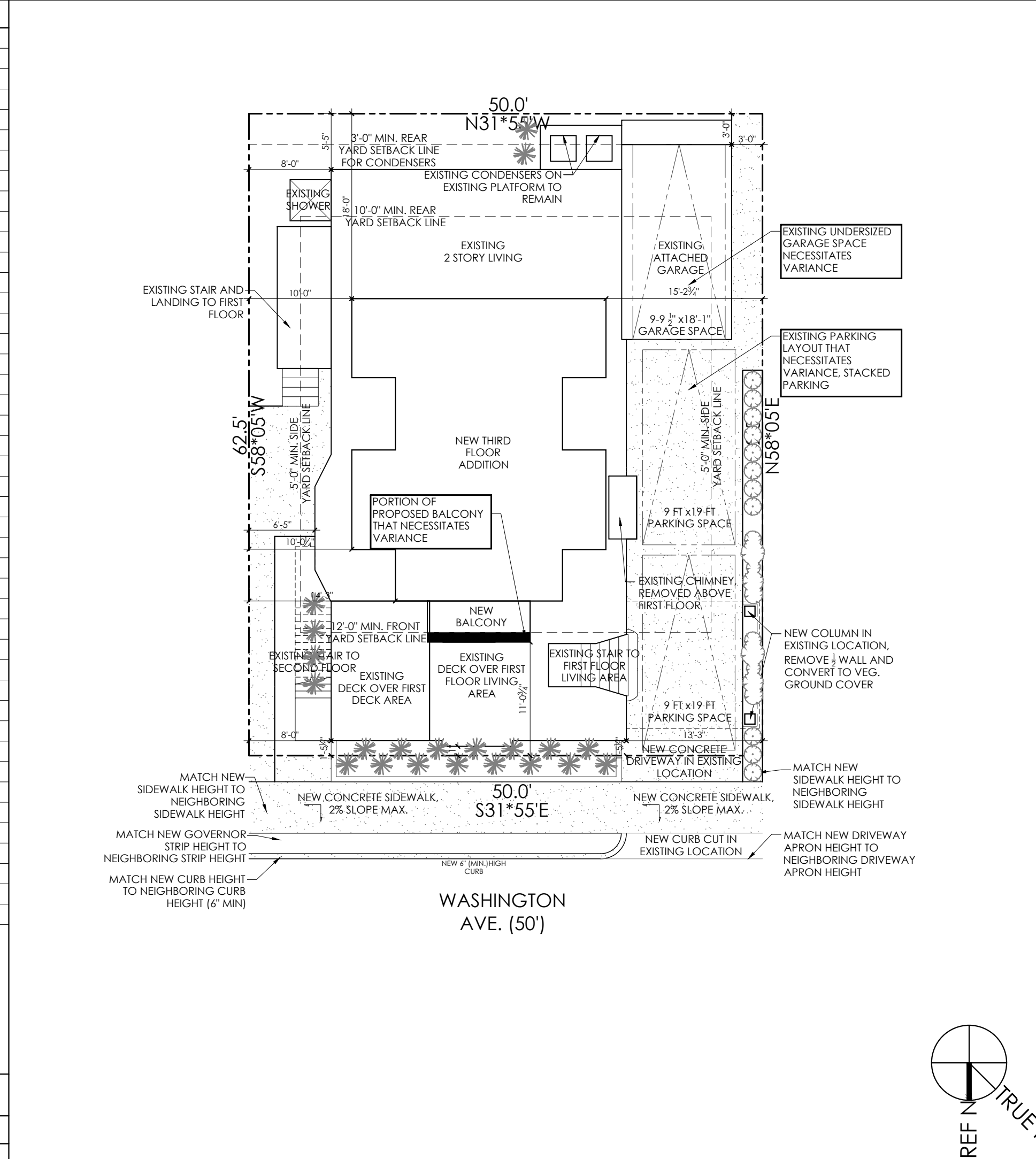
GENERAL DOOR NOTES:
 1. GENERAL CONTRACTOR TO SUBMIT A DOOR AND WINDOW ORDER SCHEDULE TO ARCHITECT FOR FINAL CONFIRMATION PRIOR TO ORDERING.
 2. CONTACT ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES ARE IDENTIFIED.
 3. DOOR HARDWARE SHALL BE PROVIDED BY ARCHITECTURE. REVIEW FINAL SELECTION W/ OWNER.

WINDOW SCHEDULE:

NO.	PAIR	WIDTH	HEIGHT	MATERIAL	FINISH	GLASS	MFR.	HEAD	TINT	OPERATION	MODEL	REMARKS
01	-	2'-0 1/8"	2'-11 15/16"	WOOD/VINYL	WHITE	DBL PANE	ANDERSEN	6'-8"	LOW-E	CASEMENT	C13	
29	-	VIF	VIF	WOOD/VINYL	WHITE	DBL PANE	ANDERSEN	6'-8"	LOW-E	CASEMENT	VIF	
30	-	VIF	VIF	WOOD/VINYL	WHITE	DBL PANE	ANDERSEN	6'-8"	LOW-E	CASEMENT	VIF	
02	-	2'-9 5/8"	4'-8 7/8"	WOOD/VINYL	WHITE	DBL PANE	ANDERSEN	8'-0"	LOW-E	DBL-HUNG	TW2844	TEMPERED
03	-	2'-9 5/8"	4'-8 7/8"	WOOD/VINYL	WHITE	DBL PANE	ANDERSEN	8'-0"	LOW-E	DBL-HUNG	TW2844	
04	-	2'-0 1/8"	2'-11 15/16"	WOOD/VINYL	WHITE	DBL PANE	ANDERSEN	8'-0"	LOW-E	CASEMENT	C13	TEMPERED
05	-	2'-9 5/8"	3'-8 7/8"	WOOD/VINYL	WHITE	DBL PANE	ANDERSEN	8'-0"	LOW-E	DBL-HUNG	TW2836	
06	-	2'-9 5/8"	3'-8 7/8"	WOOD/VINYL	WHITE	DBL PANE	ANDERSEN	8'-0"	LOW-E	DBL-HUNG	TW2836	
07	-	2'-0 1/8"	2'-11 15/16"	WOOD/VINYL	WHITE	DBL PANE	ANDERSEN	8'-0"	LOW-E	CASEMENT	C13	TEMPERED
08	-	VERIFY	VERIFY	WOOD/VINYL	WHITE	DBL PANE	ANDERSEN	VERIFY	LOW-E	VERIFY	T.B.D.	
09	-	VERIFY	VERIFY	WOOD/VINYL	WHITE	DBL PANE	ANDERSEN	VERIFY	LOW-E	VERIFY	T.B.D.	
10	-	VERIFY	VERIFY	WOOD/VINYL	WHITE	DBL PANE	ANDERSEN	VERIFY	LOW-E	VERIFY	T.B.D.	
11	-	VERIFY	VERIFY	WOOD/VINYL	WHITE	DBL PANE	ANDERSEN	VERIFY	LOW-E	VERIFY	T.B.D.	REPLACEMENT WINDOW, EGRESS, TEMPERED
12	-	VERIFY	VERIFY	WOOD/VINYL	WHITE	DBL PANE	ANDERSEN	VERIFY	LOW-E	VERIFY	T.B.D.	
13	-	VERIFY	VERIFY	WOOD/VINYL	WHITE	DBL PANE	ANDERSEN	VERIFY	LOW-E	VERIFY	T.B.D.	
14	-	2'-4 3/8"	3'-4"	WOOD/VINYL	T.B.D.	DBL PANE	ANDERSEN	8'-0"	LOW-E	CASEMENT	CW135	TEMPERED
15	-	2'-0 1/8"	2'-11 15/16"	WOOD/VINYL	WHITE	DBL PANE	ANDERSEN	6'-8"	LOW-E	CASEMENT	C13	
16	-	2'-0 1/8"	2'-11 15/16"	WOOD/VINYL	WHITE	DBL PANE	ANDERSEN	6'-8"	LOW-E	CASEMENT	C13	
17	-	-	-	-	-	-	-	-	-	-	-	NO LONGER IN USE
18	(2)	2'-5 5/8"	4'-8 7/8"	WOOD/VINYL	WHITE	DBL PANE	ANDERSEN	6'-8"	LOW-E	DBL-HUNG	TW2444	REVISED WINDOW
19	(2)	2'-5 5/8"	4'-8 7/8"	WOOD/VINYL	WHITE	DBL PANE	ANDERSEN	6'-8"	LOW-E	DBL-HUNG	TW2444	TEMPERED
20	-	2'-0 1/8"	2'-11 15/16"	WOOD/VINYL	WHITE	DBL PANE	ANDERSEN	6'-8"	LOW-E	CASEMENT	C13	TEMPERED
21	-	2'-0 1/8"	2'-11 15/16"	WOOD/VINYL	WHITE	DBL PANE	ANDERSEN	6'-8"	LOW-E	CASEMENT	C13	TEMPERED
22	(2)	2'-5 5/8"	4'-8 7/8"	WOOD/VINYL	WHITE	DBL PANE	ANDERSEN	6'-8"	LOW-E	DBL-HUNG	TW2444	TEMPERED
23	(2)	2'-5 5/8"	4'-8 7/8"	WOOD/VINYL	WHITE	DBL PANE	ANDERSEN	6'-8"	LOW-E	DBL-HUNG	TW2444	
24	-	2'-4 1/2"	2'-4 1/2"	WOOD/VINYL	WHITE	DBL PANE	ANDERSEN	6'-8"	LOW-E	PICTURE	CIR24	
25	-	2'-4 1/2"	2'-4 1/2"	WOOD/VINYL	WHITE	DBL PANE	ANDERSEN	6'-8"	LOW-E	PICTURE	CIR24	
26	-	-	-	-	-	-	-	-	-	-	-	NO LONGER IN USE
27	-	-	-	-	-	-	-	-	-	-	-	NO LONGER IN USE
28	-	-	-	-	-	-	-	-	-	-	-	NO LONGER IN USE

GENERAL DOOR NOTES:
 1. GENERAL CONTRACTOR TO SUBMIT A DOOR AND WINDOW ORDER SCHEDULE TO ARCHITECT FOR FINAL CONFIRMATION PRIOR TO ORDERING.
 2. CONTACT ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES ARE IDENTIFIED.
 3. PROVIDE SCREENS FOR ALL OPERABLE WINDOWS.

SITE PLAN SCALE: 1"=10'



ZONING SCHEDULE

	Req'd Zoning	Existing	Proposed	Variance Req'd
Min. Lot Area	3,000 SQ FT	3,125 SQ FT	No Change	Conforming
Min. Lot Width	50 FT	50 FT	No Change	Conforming
Min. Lot Depth	60 FT	62.5 FT	No Change	Conforming
Yard Setbacks				
Front Yard	12 FT	1 FT.-5 1/2 IN.	No Change	Existing Non-Conforming
Front Yard Balcony	12 FT	11 FT.-0 IN.	No Change	Variance Required
Side Yard	5 FT	6 FT.-5 IN.	No Change	Conforming
Side Yard	5 FT	13 FT.-3 IN.	No Change	Conforming
Rear Yard	10 FT	3 FT	No Change	Existing Non-Conforming
Building Height	35 FT MAX.	24 FT.-10 1/2 IN.	33 FT.-5 1/2 IN.	Conforming
Building Cov.	50 %	53 % (1,658 SQ FT)	No Change	Existing Non-Conforming
Imperv. Cov.	75 %	86.4 % (2,700 SQ FT)	85.9 % (2,685 SQ FT)	Existing Non-Conforming
Parking	3 Spaces (4 Bed)	3 Non-Conforming Spaces (4 Bed)	No Change	Variances Required

Parking Note: 10' x 20' Required For Garage Parking Space, 9'-9 1/2" x 18'-1". Requires Variance
 Parking Note: Stacked Parking Requires Variance

CONSTRUCTION NOTES

- FLOOD VENT REQUIREMENTS: 1" OF FLOOD VENT PER S.F. ("SMART VENT" MODELS #1540-510 & #1540-520 FLOOD VENTS, 8 1/2" X 14 1/2". PROVIDING COVERAGE FOR 200 SQUARE FEET).
- ALL FINISH WALLBOARD LOCATED UNDER BASE FLOOD ELEVATION TO BE WATER RESISTANT.
- ALL EXTERIOR WINDOWS AND DOORS ARE TO BE INSTALLED WITH (2) 2X10 BUILT UP STRUCTURAL HEADER BEARING ON 3 1/2" X 3 1/2" DBL JACKS.
- HURRICANE CLIPS TO BE INSTALLED TO SECURE EACH FLOOR JOISTS (FJ).
- HURRICANE CLIPS TO BE INSTALLED TO SECURE EACH ROOF RAFTER (RR).
- HANDRAILS AND GUARDRAILS**
 ALL HANDRAILS AND GUARDRAILS SHALL BE CAPABLE OF RESISTING A CONCENTRATED LOAD OF 200 LBS APPLIED TO ANY POINT AND IN ANY DIRECTION. HANDRAILS AND GUARDRAILS IN USE SHALL ALSO BE CAPABLE OF RESISTING A UNIFORM LOAD OF 50 LB/FT APPLIED IN ANY DIRECTION. THE CONCENTRATION AND UNIFORM LOADING CONDITIONS SHALL NOT BE APPLIED SIMULTANEOUSLY. THE INFILL AREA (GUARDS) SHALL BE CAPABLE OF RESISTING A CONCENTRATED LOAD OF 200 LBS APPLIED AT ANY POINT AND IN ANY DIRECTION ALONG TO RAILING MEMBER.
STAIRWAY HANDRAILS SHALL HAVE A CROSS SECTION OF NO LESS THAN 1 1/4" AND NOT GREATER THAN 2". ANY OTHER SHAPE IS PERMITTED WITH A PERIMETER DIMENSION OF AT LEAST 4" BUT NOT GREATER THAN 6 1/4" WITH THE CROSS-SECTIONAL DIMENSION NOT EXCEEDING 2 1/4". OPEN SIDE STAIRWAYS PROVIDED WITH GUARDRAILS WHICH ARE INTENDED TO SERVE DOUBLE DUTY AS HANDRAILS MUST MEET THE DIMENSIONAL AND STRENGTH REQUIREMENTS FOR BOTH. IF THE GUARDRAIL DESIGN PRECLUDES ITS ACCEPTABILITY AS A HANDRAIL, THEN A SEPARATE HANDRAIL MUST BE INSTALLED FOR THIS PURPOSE.
- MINIMUM STAIRWAY WIDTH TO BE 36" CLEAR.
- DESIGN LOAD DATA (MINIMUM PER NJ 2015 IRC)**
 FLOORS: 50 PSF LL
 DECKS: 60 PSF LL
 ROOF: 15 PSF LL
 SNOW LOAD: 20 PSF LL
 WIND SPEED: 130 MPH
 WIND LOAD: 35 PSF LL (WIND EXPOSURE: 130 MPH)
- ALL LUMBER LOCATED BELOW THE BASE FLOOD ELEVATION SHALL BE PRESSURE TREATED. ALL SHEATHING BELOW THE D.F.E. SHALL BE WATER RESISTANT PLYWOOD. ALL INTERIOR SHEATHING BELOW D.F.E. SHALL BE WATER RESISTANT FIBER CEMENT BOARDS. ALL INSULATION BELOW D.F.E. SHALL BE CLOSED CELL WATER RESISTANT/ MOLD RESISTANT INSULATION.
- ALL FLOOR JOIST TO BE EQUIPPED WITH CROSS METAL BRACING AT SPANS LARGER THAN 5'-0", CENTERED.
- APPLIANCES AND GAS FIREPLACES ARE TO BE INSTALLED TO MEET MANUFACTURERS AND CODE REQUIREMENTS (WHICHEVER IS MORE STRINGENT).
- HANDRAILS AND GUARDS SHALL BE DESIGNED TO RESIST A LOAD OF 50 POUNDS PER LINEAR FOOT (PLF) (0.73 KN/M) APPLIED IN ANY DIRECTION AT THE TOP AND TO TRANSFER THIS LOAD THROUGH THE SUPPORTS TO THE STRUCTURE. 1607.7.1.1 HANDRAILS AND GUARDS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS (0.89 KN), APPLIED IN ANY DIRECTION AT ANY POINT
- CABLES SHOULD NOT MOVE OR BE DISPLACE DO TO NORMAL LEANING AND MOST COMPLY TO NOTE # 10

ELECTRICAL NOTES

- ALL ELECTRICAL WORK TO CONFORM WITH THE 2017 NATIONAL ELECTRICAL CODE'S LATEST REVISION.
- ELECTRICAL CONTRACTOR SHALL VERIFY AND CHECK ALL CONDITION AND EQUIPMENT PRIOR TO BEGINNING WORK AND REPORT ANY DISCREPANCIES.
- ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THE ATLANTIC CITY ELECTRIC COMPANY AND SHALL COOPERATE WITH THEM IN DETERMINING LOADS, HOOKUPS, TEMPORARY SERVICES, ECT.
- CONTRACTOR SHALL PROVIDE SMOKE DETECTORS OR APPROVED DESIGN IN EACH LEVEL IN LOCATION AS RECOMMENDED BY THE MANUFACTURER AND/ OR AS SHOWN ON THE PLANS. SMOKE DETECTORS TO BE WIRED SO THE SIGNAL IS RELAYED TO ALL LOCATIONS.
- ALL WIRE SHALL BE A MINIMUM NO. 12. AWG TYPE THW COPPER RATED AT 75 DEGREES C. AND 167 DEGREES F. CONTRACTOR TO PROVIDE CONDUIT WHERE REQUIRED BY MEC (MIN 1/2" CONDUIT). HOME RUN CIRCUITS MORE THAN 75' FROM PANEL BOARD SHALL BE NO. 10 AWF OR LARGER AS REQUIRED.
- ALL BATH AND POWDER ROOM OUTLETS SHALL BE GROUND FAULT CIRCUIT INTERRUPT TYPE. EXTERIOR OUTLETS SHALL BE GROUND FAULT CIRCUIT INTERRUPT TYPE AND WEATHERPROOF.
- WHERE SWITCHES, RECEPTACLES AND OTHER OUTLETS ARE SHOWN BACK TO BACK IN INTERIOR PARTITIONS, THEY SHALL BE STAGGERED TO PREVENT THE TRANSMISSION OF SOUND THROUGH THE PARTITION. WHEN OUTLETS ARE BACK TO BACK IN A FIRE RATED WALL ASSEMBLY, LOCATE EACH OUTLET IN A SEPARATE AND ADJACENT STUD TO AVOID OPENINGS IN BOTH FACES OF FIRE RATED WALL IN A SINGLE STUD FACE (ALWAYS FOLLOW FIRE RATED PARTITION ASSEMBLY GUIDELINES)
- DO NOT SCALE DRAWINGS. VERIFY LOCATION OF EQUIPMENT AND FIXTURES ON THE JOB SITE WITH THE GENERAL CONTRACTOR, ARCHITECT AND OTHER TRADES.

PROJECT DATA

Owner: Robert and Cynthia Pearlstein
 rpearl4@gmail.com

Code: 2018 International Residential Code, New Jersey Edition, NSPC 2018, NEC 2017, IMC 2018

Use Group: R-5
 Construction Type: VA

Flood Zone: AE
 Base Flood Elevation: 10'-0" BFE

Zone: R-3
 Lot: 9
 Block: 43
 Elevation Height: 33'-5 5/8" above 14'-0" Z.F.E. (35'-0" allowed)
 Lot Square Footage: 3,125 sf
 Building Cov. Ex'g: 1,658 sf (53.0%) (50% allowed)
 Building Cov. Prop. No Change to Ex'g
 Lot Coverage Exstg. 2,700 sf 86.4% (75% allowed)
 Lot Coverage Prop. 2,685 sf 85.9% (Improved Ex'g Non-Con)
 Off-Street Parking: 4 bedroom: 2.5 required, 2 provided

First Floor SF (Repair as Necessary, Minor Work Proposed)
 Existing Living Area 1,438 sf
 Garage 204 sf
 Decks 203 sf
 Chimney 17 sf

Second Floor SF (Full Renovation and New Bldg Elements)
 Living Area 1,248 sf
 Decks 449 sf
 Chimney 17 sf

Third Floor SF (New Building Elements)
 Living Area 532 sf
 Decks 82 sf
 Chimney 17 sf

Total Building Volume: First Floor: 11,504 cubic feet
 Second Floor: 11,232 cubic feet
 Third Floor: 4,256 cubic feet
 Attic: 896 cubic feet
 Total: 27,888 cubic feet

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ARCHITECTURAL DRAWINGS

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ELECTRICAL NOTES CONT.

- CIRCUIT THE LIGHTING AND RECEPTACLES ON DIFFERENT CIRCUITS SO THAT EACH SPACE CONTAINS PARTS OF AT LEAST TWO CIRCUITS.
- PROVIDE A MAXIMUM OF 8 CONVENIENCE ON ANY ONE 20 AMP CIRCUIT, MAXIMUM 7 ON ANY 15 AMP CIRCUIT AND MAXIMUM 2 KITCHEN APPLIANCE RECEPTACLES ON ANY 20 AMP CIRCUIT.
- CABLE TELEVISION, CATS AND TELEPHONE OUTLETS SHALL BE PREWIRED DURING CONSTRUCTION WITH WALL OUTLETS.
- ALL LIGHT FIXTURE SELECTIONS AND FINAL LOCATIONS TO BE SELECTED AND APPROVED BY OWNER/ ARCHITECT.
- ALL RECESSED LIGHTS SHALL BE RATED FOR INSULATION CONTACT.
- ELECTRICAL CONTRACTOR TO PROVIDE POWER AT HWH AND HVAC EQUIPMENT PER EQUIPMENT MANUFACTURERS GUIDELINES.
- ALL SMOKE DETECTORS ARE TO BE HARDWIRED 110V

PLUMBING NOTES:

- ALL PLUMBING WORK IS TO CONFORM WITH THE 2018 NATIONAL STANDARD PLUMBING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
- ALL FIXTURES AND FINISHES ARE TO BE APPROVED BY OWNER PRIOR TO THE INSTALLATION.
- HWH AND BOILER ARE TO BE INSTALLED PER THE MANUFACTURERS REQUIREMENTS (HWH IS TO BE INSTALLED WITH RE-CIRCULATION LINE)
- ALL PLUMBING LOCATED IN UNCONDITIONED SPACES IS TO BE INSULATED

MECHANICAL NOTES:

- ALL DUCTWORK TO BE LOCATED BELOW 12' MUST BE WATER/FLOOD PROOFED.
- MECHANICAL EQUIPMENT TO BE LOCATED ABOVE B.F.E. ELEVATION.
- FIRST FLOOR MECHANICAL IS TO BE LOCATED IN GARAGE/ STORAGE GROUND FLOOR. GROUND FLOOR IS TO BE CONDITIONED. SECOND FLOOR MECHANICAL IS TO BE LOCATED IN ATTIC.



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PROJECT TEAM:

SIGNATURE: L121A101936000

SUBMITTAL INFO. / DATE

BLDG. CORRECTIONS / 09.10.2021

BLDG. CORRECTIONS / 10.06.2021

VARIANCE DRAWINGS / 11.24.2021

PROJECT INFORMATION: 2087

DATE: 05.07.2021 DRAWN BY: CPS
 PROJECT: 104 S Washington Ave

PROJECT ADDRESS: 104 S Washington Ave., Ventnor, NJ 08406

OWNER CONTACT: Robert & Cynthia Pearlstein
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PROJECT TEAM:

SIGNATURE L#21A101936000

SUBMITTAL INFO. / DATE

BLDG. CORRECTIONS / 09.10.2021

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VARIANCE DRAWINGS / 11.24.2021

PROJECT INFORMATION: 2087

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PROJECT 104 S Washington Ave

PROJECT ADDRESS 104 S Washington Ave., Ventnor, NJ 08406

OWNER CONTACT Robert & Cynthia Pearlstein rjpearl4@gmail.com

SHEET NUMBER AND NAME:

A0.21

First and Second Floor Selective Removal Plans

GENERAL NOTES

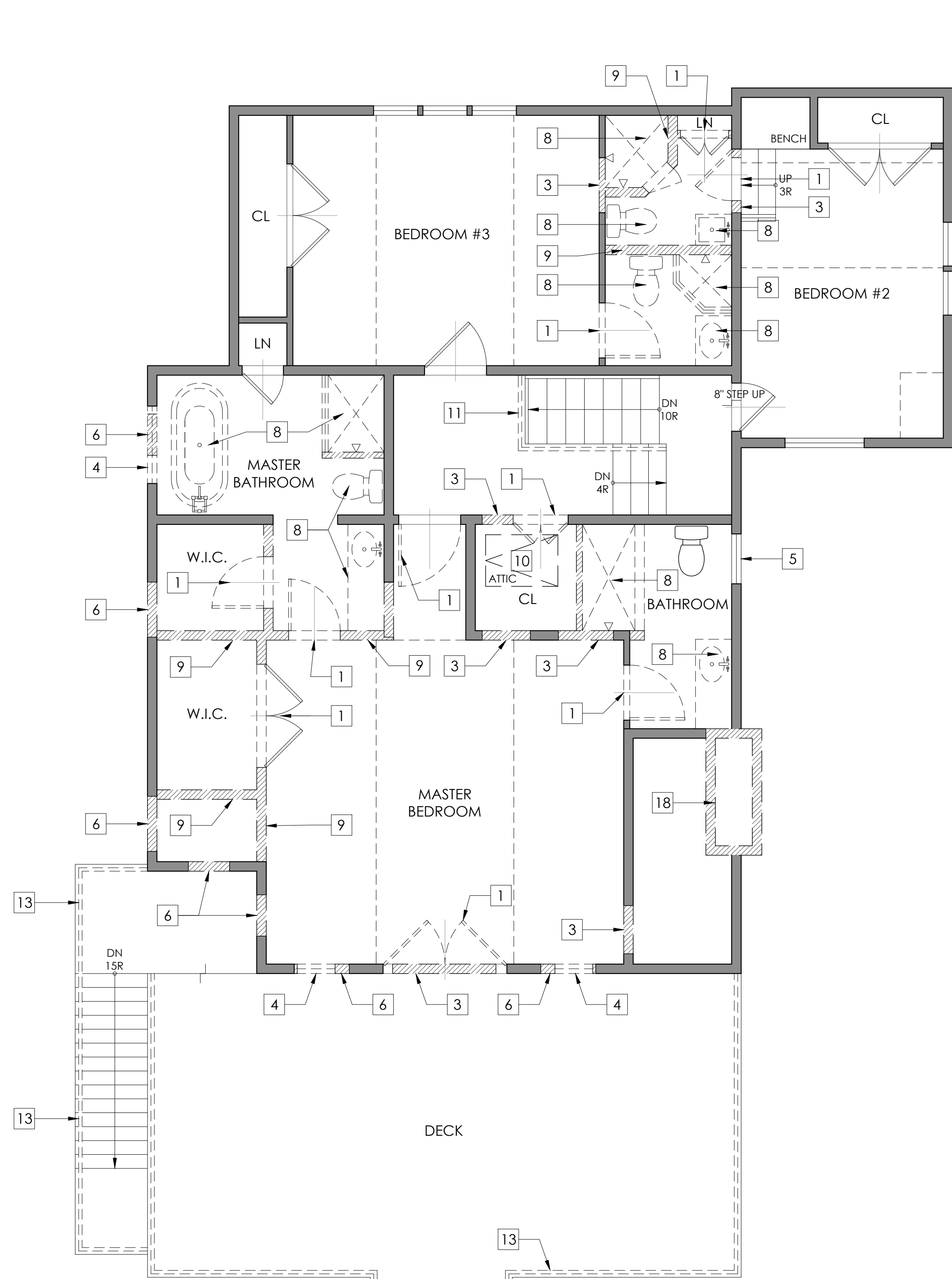
1. ALL CONSTRUCTION WORK IS TO COMPLY WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE, NEW JERSEY EDITION
2. ALL ELECTRICAL WORK TO CONFORM WITH THE 2014 NATIONAL ELECTRICAL CODE'S LATEST REVISION.
3. ALL MECHANICAL WORK IS TO CONFORM WITH THE 2015 INTERNATIONAL MECHANICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
4. CONTRACTOR TO VERIFY ALL DEMO WORK WITH ARCHITECT. MARK ALL WALLS, DOORS, WINDOWS, ETC. PRIOR TO DEMO
5. CONTRACTOR TO PULL ALL AFFECTED ELECTRICAL BACK TO NEAREST J-BOX FOR SWITCHES AND OUTLETS AND IDENTIFY EACH WIRE.
6. ALL ABANDONED PLUMBING TO BE CAPPED UNLESS NOTED OTHERWISE.
7. PRIOR TO REMOVAL OF ANY STRUCTURAL COMPONENTS CONSULT AND REVIEW WITH THE ARCHITECT

PLAN LEGEND

- (E) WALL TO REMAIN
- (E) WALL TO BE REMOVED
- (E) COMPONENT TO BE REMOVED

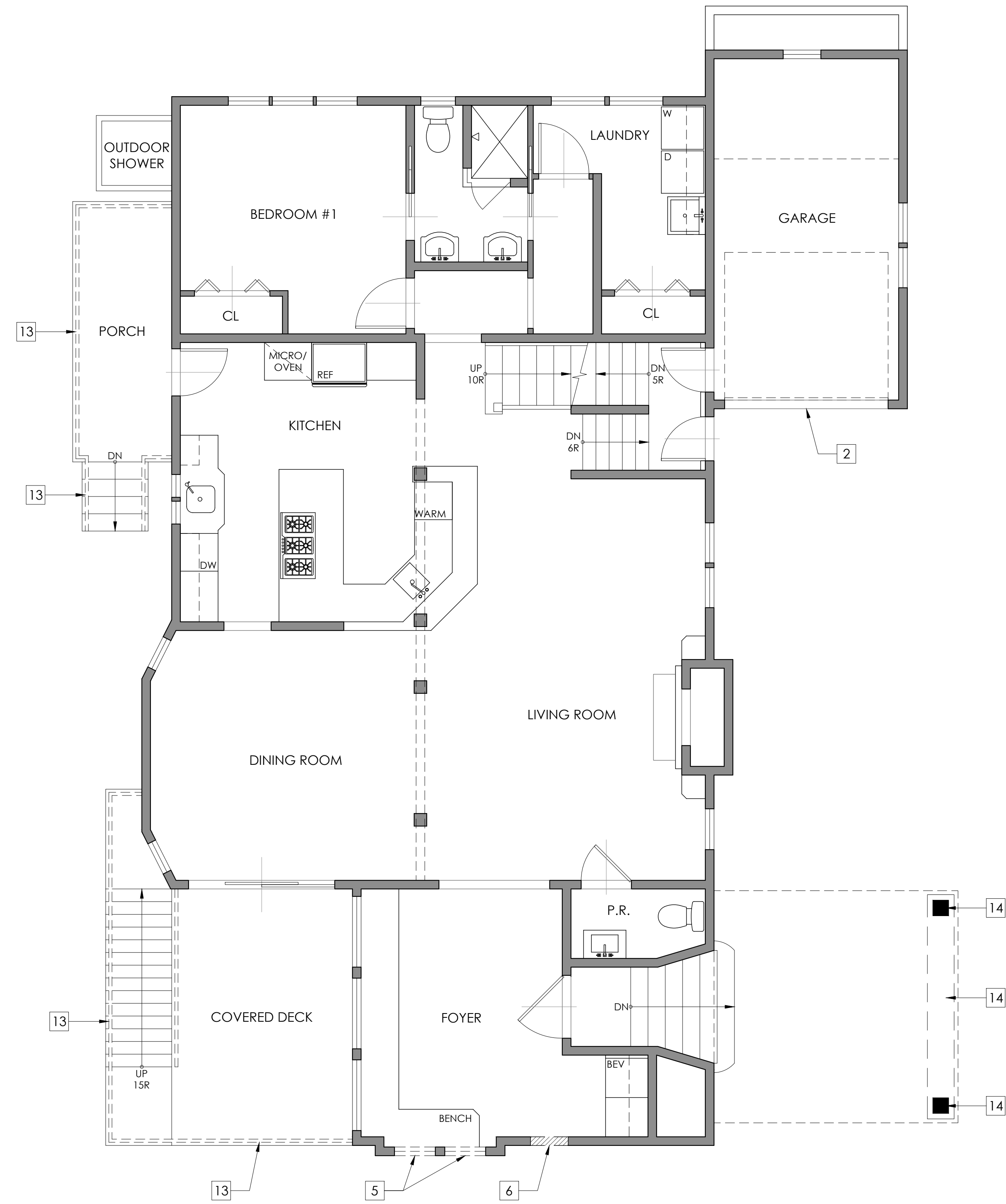
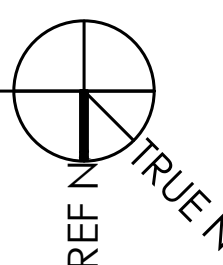
KEYNOTES

- (E) DOOR TO BE REMOVED
- (E) DOOR TO BE REPLACED
- (E) AREA OF WALL TO BE REMOVED NEW DOOR
- (E) WINDOW TO BE REMOVED
- (E) WINDOW TO BE REPLACED
- (E) AREA OF WALL TO BE REMOVED FOR NEW WINDOW
- (E) CASEWORK TO BE REMOVED
- (E) PLUMBING FIXTURE TO BE REMOVED
- (E) AREA OF WALL TO BE REMOVED (CONTRACTOR TO SUPPORT EXISTING WALL AS NECESSARY)
- (E) ATTIC HATCH TO BE REMOVED AND PATCHED
- (E) RAILING TO BE REMOVED AND REPLACED TO ALLOW FOR NEW THIRD FLOOR STAIRCASE
- (E) EXTERIOR TRIM TO BE REMOVED
- (E) EXTERIOR RAILING TO BE REPLACED
- (E) COLUMNS AND BASE TO BE REPLACED
- (E) SIDING TO BE REPLACED
- (E) ROOF TO BE REMOVED
- (E) ASPHALT ROOFING TO BE REPLACED WITH METAL
- (E) CHIMNEY TO BE REMOVED AND REPLACED



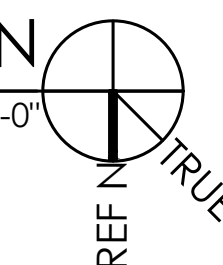
EXISTING SECOND FLOOR PLAN

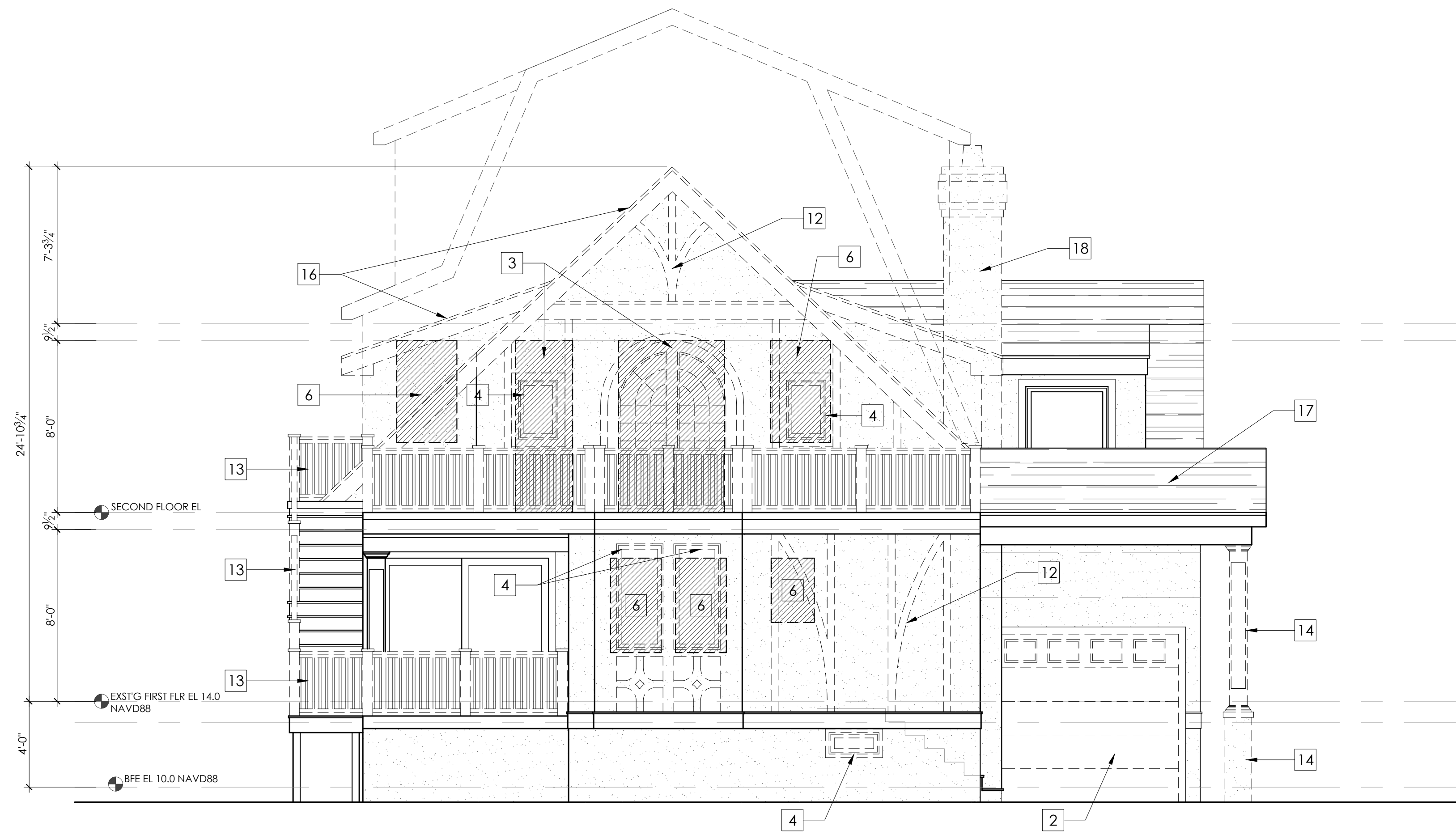
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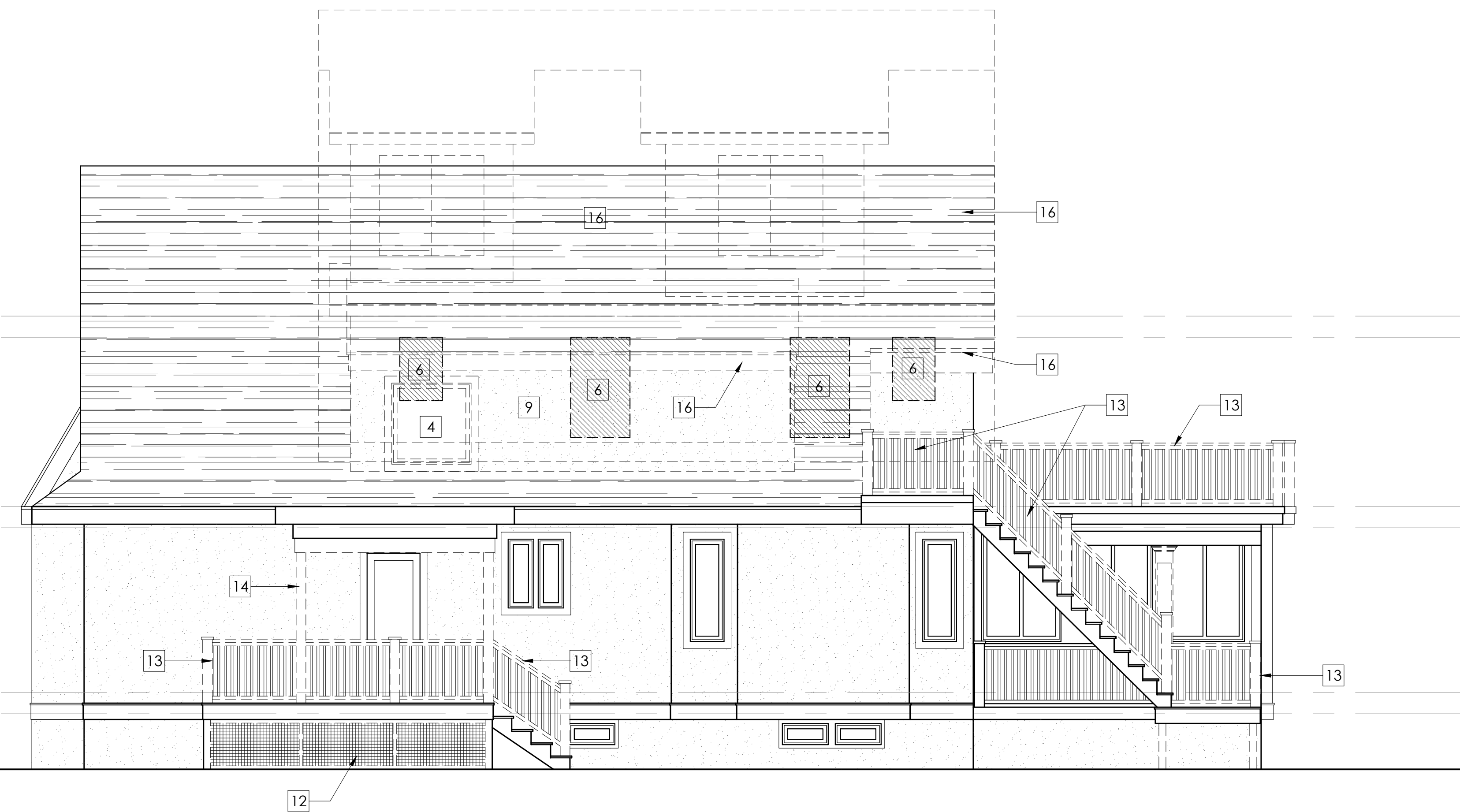
EXISTING FIRST FLOOR PLAN

scale: 1/4" = 1'-0"





WASHINGTON AVE (FRONT) ELEVATION 1
scale: 1/4" = 1'-0"



LEFT (SIDE) ELEVATION 2
scale: 1/4" = 1'-0"

GENERAL NOTES

1. ALL CONSTRUCTION WORK IS TO COMPLY WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE, NEW JERSEY EDITION
2. ALL ELECTRICAL WORK TO CONFORM WITH THE 2014 NATIONAL ELECTRICAL CODE'S LATEST REVISION.
3. ALL MECHANICAL WORK IS TO CONFORM WITH THE 2015 INTERNATIONAL MECHANICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
4. CONTRACTOR TO VERIFY ALL DEMO WORK WITH ARCHITECT. MARK ALL WALLS, DOORS, WINDOWS, ETC. PRIOR TO DEMO
5. CONTRACTOR TO PULL ALL AFFECTED ELECTRICAL BACK TO NEAREST J-BOX FOR SWITCHES AND OUTLETS AND IDENTIFY EACH WIRE.
6. ALL ABANDONED PLUMBING TO BE CAPPED UNLESS NOTED OTHERWISE.
7. PRIOR TO REMOVAL OF ANY STRUCTURAL COMPONENTS CONSULT AND REVIEW WITH THE ARCHITECT

PLAN LEGEND

- (E) WALL TO REMAIN
- ▨ (E) WALL TO BE REMOVED
- - - (E) COMPONENT TO BE REMOVED

KEYNOTES

- 1 (E) DOOR TO BE REMOVED
- 2 (E) DOOR TO BE REPLACED
- 3 (E) AREA OF WALL TO BE REMOVED NEW DOOR
- 4 (E) WINDOW TO BE REMOVED
- 5 (E) WINDOW TO BE REPLACED
- 6 (E) AREA OF WALL TO BE REMOVED FOR NEW WINDOW
- 7 (E) CASEWORK TO BE REMOVED
- 8 (E) PLUMBING FIXTURE TO BE REMOVED
- 9 (E) AREA OF WALL TO BE REMOVED (CONTRACTOR TO SUPPORT EXISTING WALL AS NECESSARY)
- 10 (E) ATTIC HATCH TO BE REMOVED AND PATCHED
- 11 (E) RAILING TO BE REMOVED AND REPLACED TO ALLOW FOR NEW THIRD FLOOR STAIRCASE
- 12 (E) EXTERIOR TRIM TO BE REMOVED
- 13 (E) EXTERIOR RAILING TO BE REPLACED
- 14 (E) COLUMNS AND BASE TO BE REPLACED
- 15 (E) SIDING TO BE REPLACED
- 16 (E) ROOF TO BE REMOVED
- 17 (E) ASPHALT ROOFING TO BE REPLACED WITH METAL
- 18 (E) CHIMNEY TO BE REMOVED AND REPLACED



Halliday Architects

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P.O. Box 186
Ocean City, NJ 08226

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PROJECT TEAM:

SIGNATURE _____ LI#21A101936000

SUBMITTAL INFO. / DATE

△ BLDG. CORRECTIONS / 09.10.2021

△ BLDG. CORRECTIONS / 10.06.2021

VARIANCE DRAWINGS / 11.24.2021

PROJECT INFORMATION: 2087

DATE: 05.07.2021 DRAWN BY: CPS

PROJECT 1

104 S Washington Ave

PROJECT ADDRESS:
104 S Washington Ave.,
Ventnor, NJ
08406

OWNER CONTACT:
Robert & Cynthia Pearlstein
rjpearl4@gmail.com

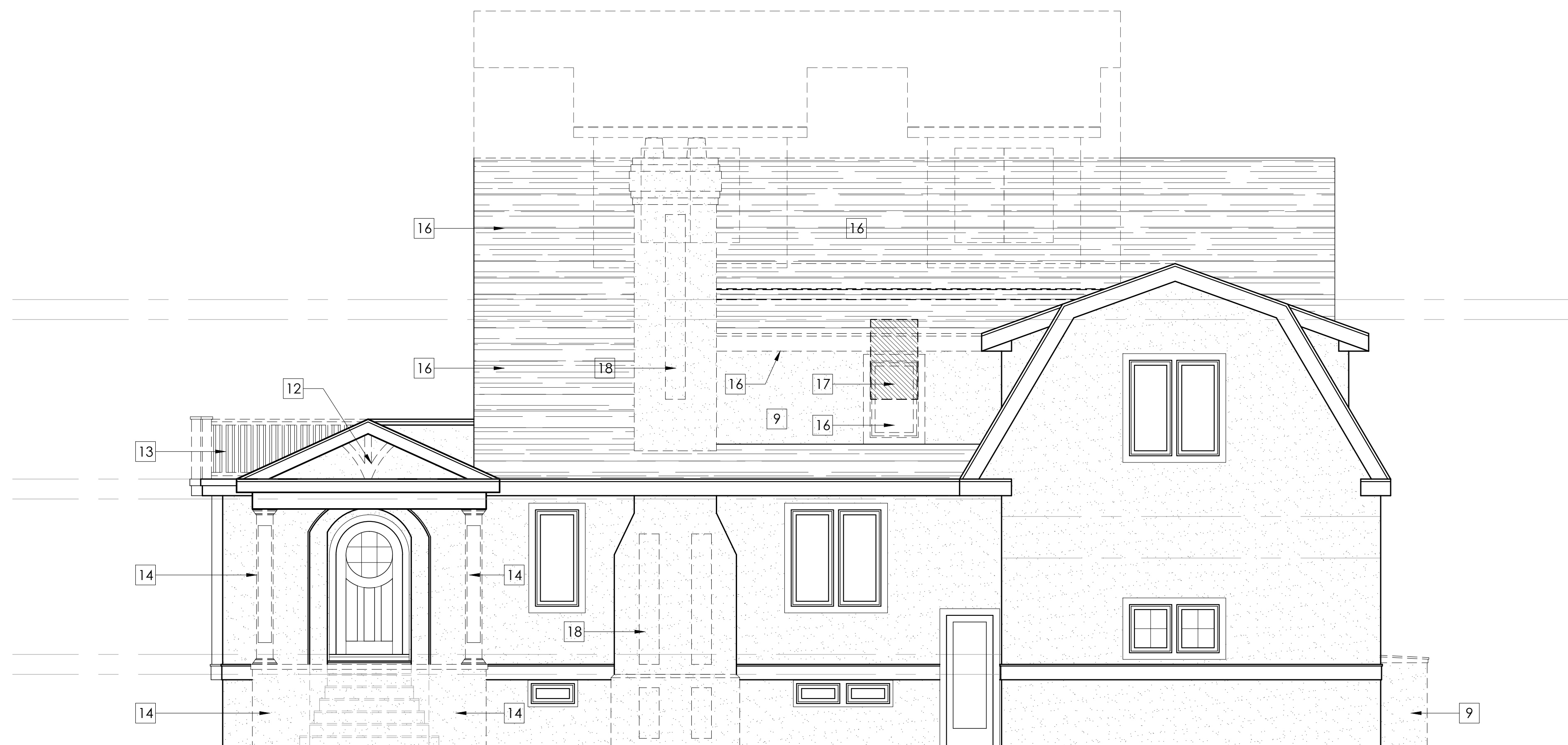
SHEET NUMBER AND NAME:

A0.22

Selective
Removal
Elevations



REAR ELEVATION
scale: 1/4" = 1'-0"



RIGHT (SIDE) ELEVATION
scale: 1/4" = 1'-0"

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BLDG. CORRECTIONS / 10.06.2021

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DATE: 05.07.2021 DRAWN BY: CPS

PROJECT: 104 S Washington Ave

PROJECT ADDRESS: 104 S Washington Ave., Ventnor, NJ 08406

OWNER CONTACT: Robert & Cynthia Pearlstein

rjpearl4@gmail.com

SHEET NUMBER AND NAME:

A0.23

Selective
Removal
Elevations



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104 S Washington Ave

PROJECT ADDRESS
104 S Washington Ave.,
Ventnor, NJ
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OWNER CONTACT
Robert & Cynthia Pearlstein
rjpearl4@gmail.com

SHEET NUMBER AND NAME:

A1.01

First and Second
Floor Plans

GENERAL NOTES

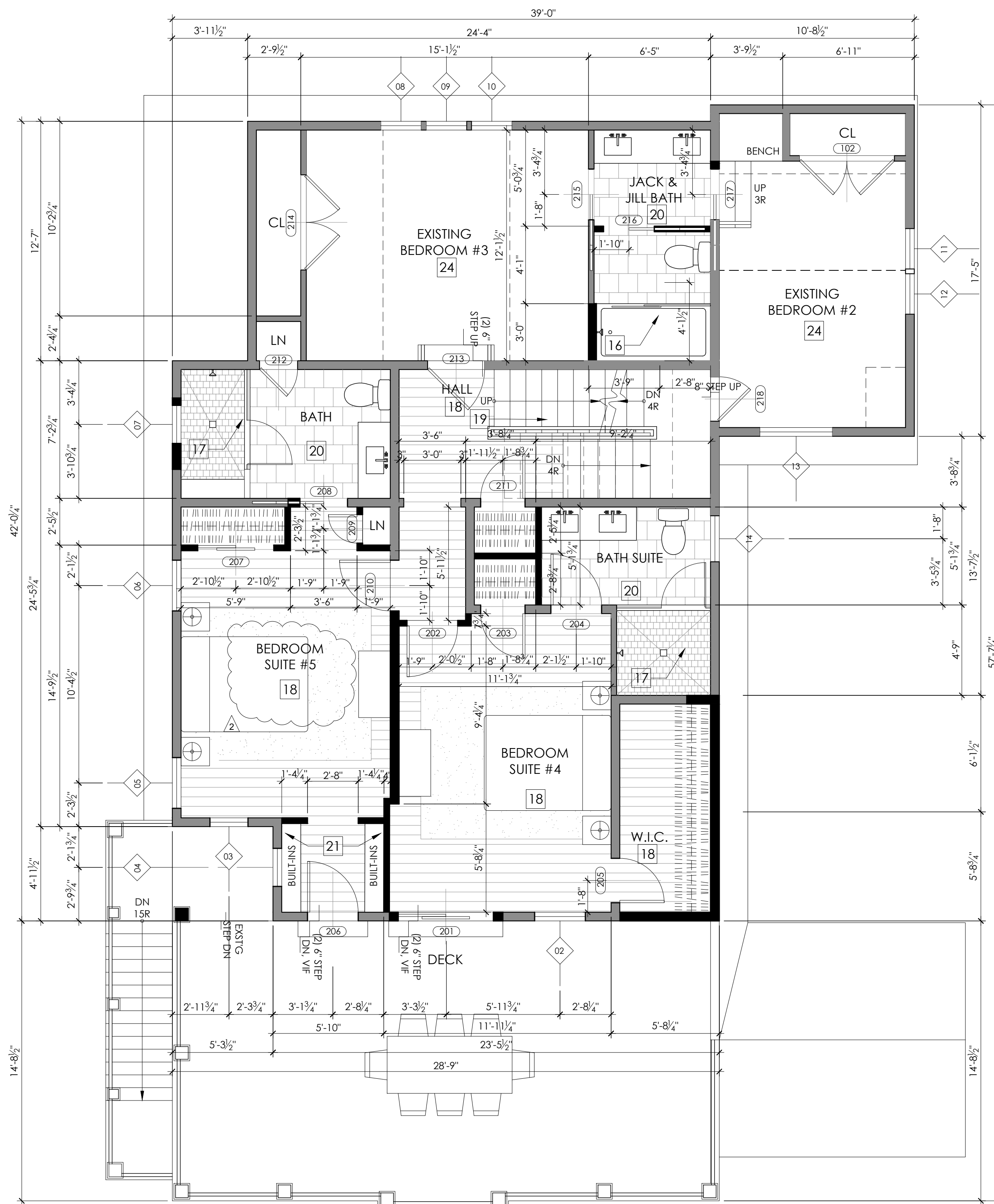
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- (N) CMU WALL (REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION INFORMATION)
- (N) HARDWOOD FLOORING OVER PLYWOOD (FINISH TO BE SELECTED BY OWNER)
- (N) TILE FLOORING (SPECIFICATION TO BE SELECTED BY OWNER)
- (N) CARPET FLOORING (SPECIFICATION TO BE SELECTED BY OWNER)

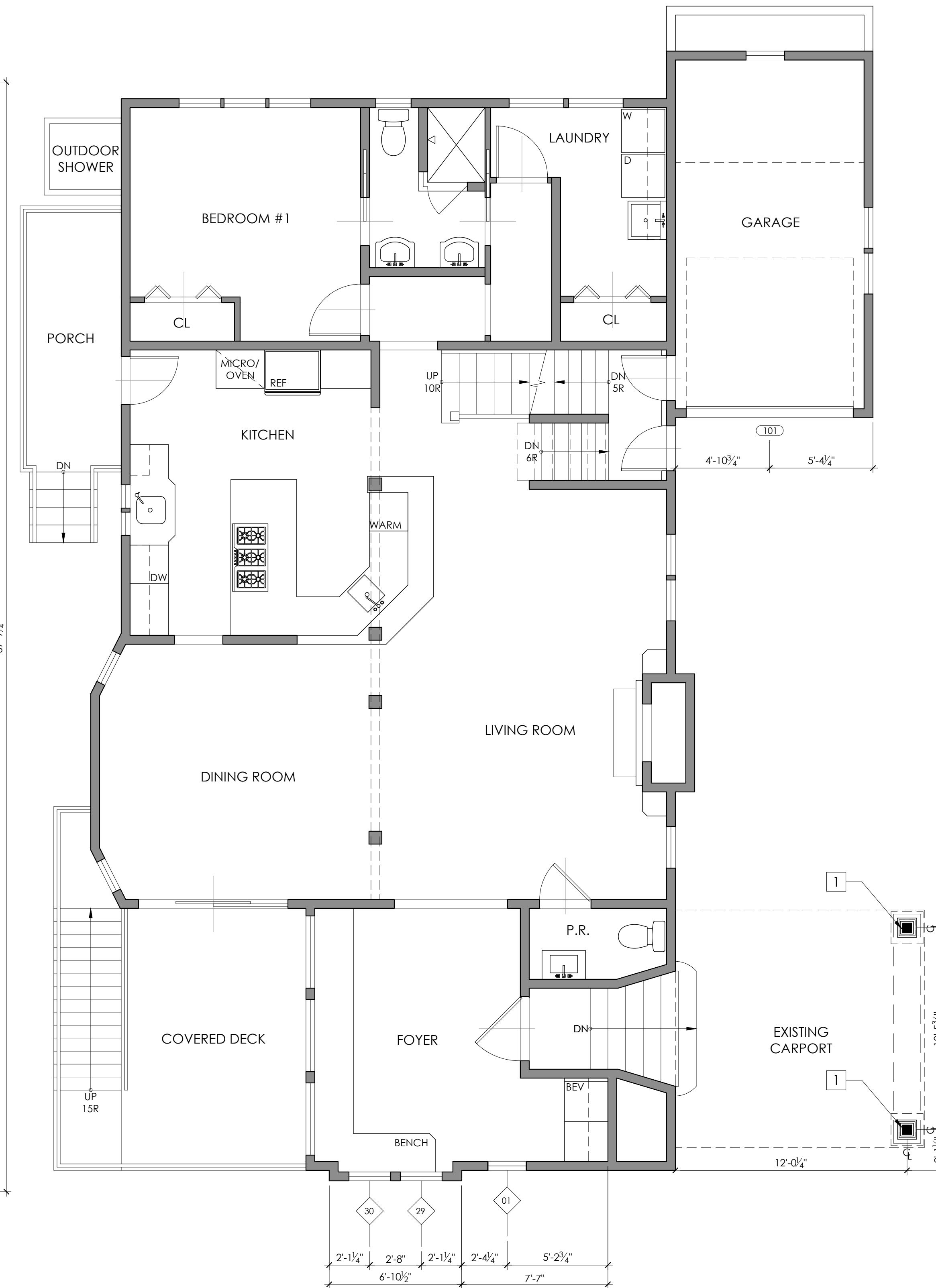
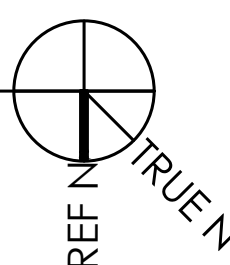
KEYNOTES

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- 6 PVC CORBELS SECURED WITH STAINLESS STEEL SCREWS
- 7 JAMES HARDIE SHINGLE SIDING (COLOR TO BE SELECTED BY OWNER)
- 8 PVC PANEL AND TRIM ACCENT ON EXISTING BAY
- 9 PVC WINDOW SURROUND
- 10 GAF 'TIMBERLINE HDZ' ASPHALT SHINGLE ROOF
- 11 STANDING SEAM METAL ROOF OVER ICE AND WATER SHIELD
- 12 HALF ROUND METAL GUTTER W/ ROUND DOWNSPOUT, COLOR TO BE WHITE
- 13 HVAC CONDENSER LOCATION W/ 4" PAUGHT WHITE TRIMBOARD SURROUND (REFER TO ELEVATIONS)
- 14 HVAC UNIT PER CONTRACTOR (VERIFY LOCATION W/ ARCHITECT)
- 15 HWH WITH RE-CIRCULATION LINE CLOSET IS TO BE CONDITIONED WITH A FIBERGLASS PAN
- 16 AMERICAST ACRYLIC DIPPED STEEL TUB
- 17 TILED SHOWER ENCLOSURE W/ SCHLUTER SYSTEM SHOWER PAN INSTALLATION TO BE BY THE AMERICAN TILE COUNCIL (SURROUND TO BE SELECTED BY OWNER)
- 18 HARDWOOD FLOORING, COLOR AND SPECIES TO BE SELECTED BY OWNER
- 19 HARDWOOD STAIR TO MATCH HARDWOOD FLOOR/ RISERS ARE TO BE WHITE
- 20 CERAMIC TILE FLOORING, COLOR TO BE SELECTED BY OWNER
- 21 BUILT-IN CABINERY WALL
- 22 DEC. WOOD CLAD RAFTER TIE, COLOR AND SPECIES TO BE SELECTED BY OWNER
- 23 BRICK VENEER WITH BLUESTONE WATER TABLE
- 24 NEW CARPET AND PAD
- 25 NEW 4" PVC VERTICAL SLAT PRIVACY SCREEN ON P.T. 2X FRAME
- 26 NEW PVC ACCENT TRIM



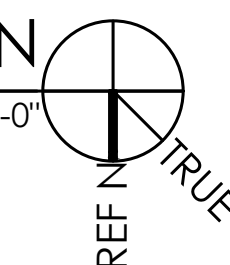
PROPOSED SECOND FLOOR PLAN

scale: 1/4" = 1'-0"



PROPOSED FIRST FLOOR PLAN

scale: 1/4" = 1'-0"





Halliday Architects

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VARIANCE DRAWINGS / 11.24.2021

PROJECT INFORMATION: 2087

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PROJECT 1

104 S Washington Ave

PROJECT ADDRESS 104 S Washington Ave., Ventnor, NJ 08406

OWNER CONTACT Robert & Cynthia Pearlstein rjpearl4@gmail.com

SHEET NUMBER AND NAME:

A1.02

Third and Attic Floor Plans

GENERAL NOTES

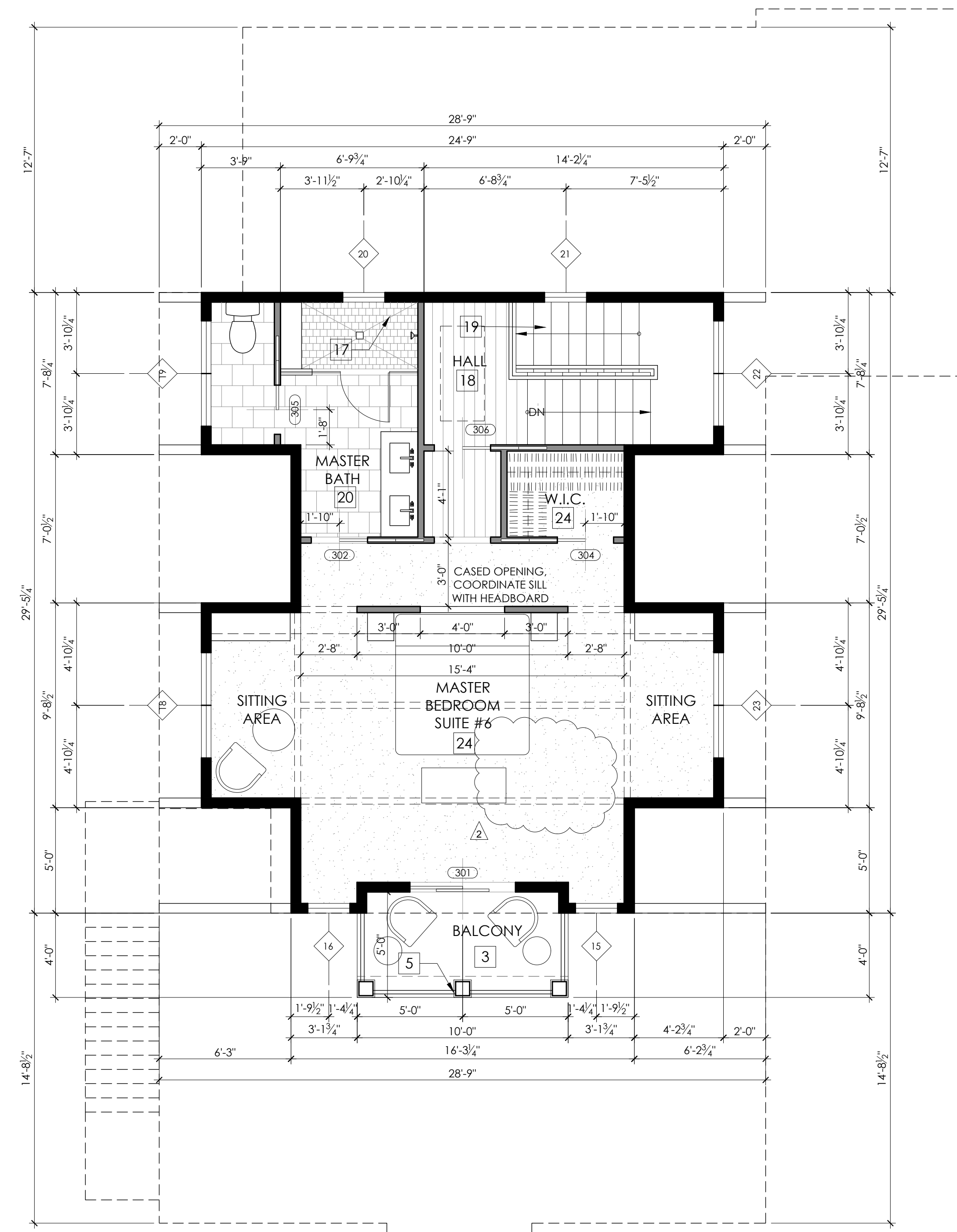
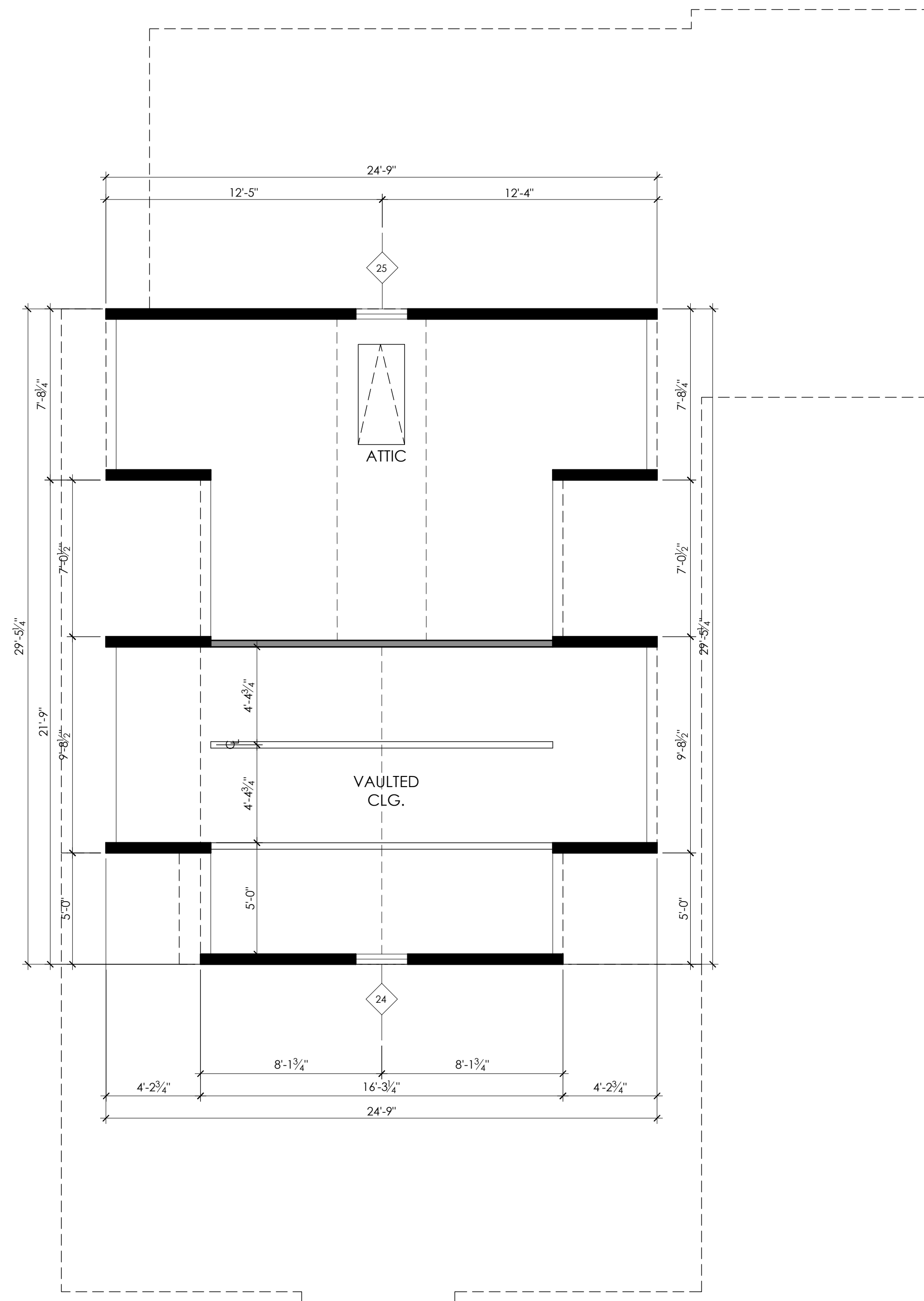
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PLAN LEGEND

- (N) 2X4 WOOD FRAMED WALL (ALL EXTERIOR WALLS TO BE INSULATED PER RES-CHECK REQUIREMENTS)
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- (N) TILE FLOORING (SPECIFICATION TO BE SELECTED BY OWNER)
- (N) CARPET FLOORING (SPECIFICATION TO BE SELECTED BY OWNER)

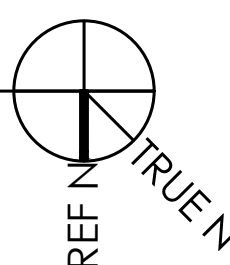
KEYNOTES

- 1 10" SQUARE RECESSED PANEL PVC COLUMN SURROUND, FROM GRADE TO 4'-0", 8" SQUARE RECESSED PANEL COLUMN SURROUND ABOVE, 6X6 P.T. POST ON SIMPSON POST BASE ON 12" DIA. SONATUBE FTG, 36" DEEP
- 2 8" SQUARE RECESSED PANEL PVC COLUMN SURROUND
- 3 FIBERGLASS DECK COATING PITCHED AT 2% SLOPE TO INTERNAL DECK DRAIN
- 4 COMPOSITE DECKING INSTALLED PER MANUFACTURERS REQUIREMENTS
- 5 INTEX HAMPTON 36" TALL PVC GUARDRAIL, W/ PLAIN BALLUSTERS AND MAHOGANY TOP RAIL CAP
- 6 PVC CORBELS SECURED WITH STAINLESS STEEL SCREWS
- 7 JAMES HARDIE SHINGLE SIDING (COLOR TO BE SELECTED BY OWNER)
- 8 PVC PANEL AND TRIM ACCENT ON EXISTING BAY
- 9 PVC WINDOW SURROUND
- 10 GAF 'TIMBERLINE HDZ' ASPHALT SHINGLE ROOF
- 11 STANDING SEAM METAL ROOF OVER ICE AND WATER SHIELD
- 12 HALF ROUND METAL GUTTER W/ ROUND DOWNSPOUT, COLOR TO BE WHITE
- 13 HVAC CONDENSER LOCATION W/ 4" PAUGHT WHITE TRIMBOARD SURROUND (REFER TO ELEVATIONS)
- 14 HVAC UNIT PER CONTRACTOR (VERIFY LOCATION W/ ARCHITECT)
- 15 HWH WITH RE-CIRCULATION LINE CLOSET IS TO BE CONDITIONED WITH A FIBERGLASS PAN
- 16 AMERICAST ACRYLIC DIPPED STEEL TUB
- 17 TILED SHOWER ENCLOSURE W/ SCHLUTER SYSTEM SHOWER PAN INSTALLATION TO BE BY THE AMERICAN TILE COUNCIL (SURROUND TO BE SELECTED BY OWNER)
- 18 HARDWOOD FLOORING, COLOR AND SPECIES TO BE SELECTED BY OWNER
- 19 HARDWOOD STAIR TO MATCH HARDWOOD FLOOR/ RISERS ARE TO BE WHITE
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- 21 BUILT-IN CABINERY WALL
- 22 DEC. WOOD CLAD RAFTER TIE, COLOR AND SPECIES TO BE SELECTED BY OWNER
- 23 BRICK VENEER WITH BLUESTONE WATER TABLE
- 24 NEW CARPET AND PAD
- 25 NEW 4" PVC VERTICAL SLAT PRIVACY SCREEN ON P.T. 2X FRAME
- 26 NEW PVC ACCENT TRIM



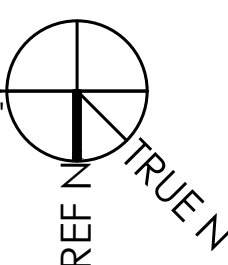
PROPOSED ATTIC FLOOR PLAN

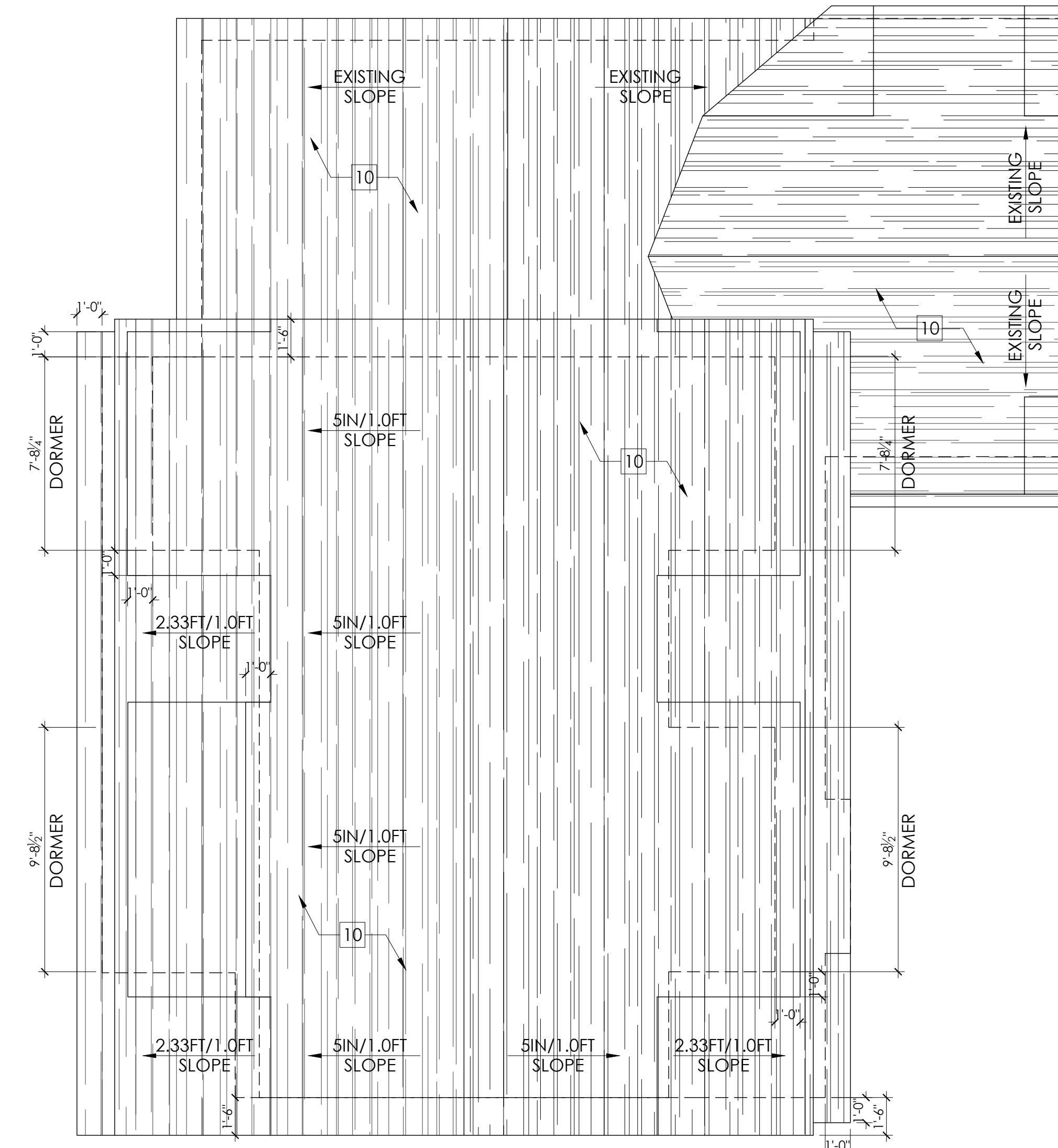
scale: 1/4" = 1'-0"



PROPOSED THIRD FLOOR PLAN

scale: 1/4" = 1'-0"

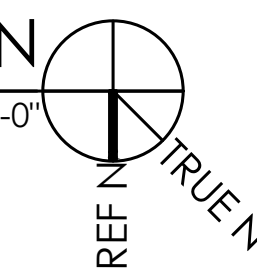




NOTE: CONTRACTOR TO VERIFY ROOF SLOPES SHOWN DO NOT EXCEED MAX. HEIGHT AS VERIFIED BY SURVEYOR

PROPOSED ROOF PLAN

scale: 1/4" = 1'-0"



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- 23 BRICK VENEER WITH BLUESTONE WATER TABLE
- 24 NEW CARPET AND PAD
- 25 NEW 4" PVC VERTICAL SLAT PRIVACY SCREEN ON P.T. 2X FRAME
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PROJECT 1

104 S Washington Ave

PROJECT ADDRESS | 104 S Washington Ave., Ventnor, NJ 08406

OWNER CONTACT | Robert & Cynthia Pearlstein rjpearl4@gmail.com

SHEET NUMBER AND NAME:

A1.03

Roof Plan



WASHINGTON AVE (FRONT) ELEVATION
scale: 1/4" = 1'-0"



LEFT (SIDE) ELEVATION
scale: 1/4" = 1'-0"

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- 22 DEC. WOOD CLAD RAFTER TIE, COLOR AND SPECIES TO BE SELECTED BY OWNER
- 23 BRICK VENEER WITH BLUESTONE WATER TABLE
- 24 NEW CARPET AND PAD
- 25 NEW 4" PVC VERTICAL SLAT PRIVACY SCREEN ON P.T. ZX FRAME
- 26 NEW PVC ACCENT TRIM



Halliday Architects

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PROJECT TEAM:

SIGNATURE L#21A101936000

SUBMITTAL INFO. / DATE

BLDG. CORRECTIONS / 09.10.2021

BLDG. CORRECTIONS / 10.06.2021

VARIANCE DRAWINGS / 11.24.2021

PROJECT INFORMATION: 2087

DATE: 05.07.2021 DRAWN BY: CPS

PROJECT 1

104 S Washington Ave

PROJECT ADDRESS 104 S Washington Ave., Ventnor, NJ 08406

OWNER CONTACT Robert & Cynthia Pearlstein rjpearl4@gmail.com

SHEET NUMBER AND NAME:

A3.01

Elevations



REAR ELEVATION 1

scale: 1/4" = 1'-0"



RIGHT (SIDE) ELEVATION 2

scale: 1/4" = 1'-0"

GENERAL NOTES

1. DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
2. DIMENSIONS WITH "CLR" ARE FINISH DIMENSIONS REQUIRED BY CODE.
3. SEE SHEETS A6.01 AND A6.02 FOR DETAILS
4. REFER TO STRUCTURAL DRAWINGS FOR FRAMING AND CONNECTIONS DETAILS
5. ALL INTERIOR WALLS AND FLOORING TO HAVE ACOUSTIC INSULATION.
6. ALL METERS TO BE ENCLOSED IN AZEK ENCLOSURE

PLAN LEGEND

- (N) 2X4 WOOD FRAMED WALL (ALL EXTERIOR WALLS TO BE INSULATED PER RES-CHECK REQUIREMENTS)
- (N) 2X6 WOOD FRAMED WALL ((W/ ACOUSTIC INSULATION @ INTERIOR) AND BATT INSULATION AS REQUIRED PER THE RESCHECK CALCULATION)
- (N) CMU WALL (REFER TO STRUCTURAL DRAWINGS FOR FOUNDATION INFORMATION)
- (N) HARDWOOD FLOORING OVER PLYWOOD (FINISH TO BE SELECTED BY OWNER)
- (N) TILE FLOORING (SPECIFICATION TO BE SELECTED BY OWNER)
- (N) CARPET FLOORING (SPECIFICATION TO BE SELECTED BY OWNER)

KEYNOTES

- 1 10" SQUARE RECESSED PANEL PVC COLUMN SURROUND, FROM GRADE TO 4'-0", 8" SQUARE RECESSED PANEL COLUMN SURROUND ABOVE, 6X6 P.T. POST ON SIMPSON POST BASE ON 12" DIA. SONATUBE FTG, 36" DEEP
- 2 8" SQUARE RECESSED PANEL PVC COLUMN SURROUND
- 3 FIBERGLASS DECK COATING PITCHED AT 2% SLOPE TO INTERNAL DECK DRAIN
- 4 COMPOSITE DECKING INSTALLED PER MANUFACTURERS REQUIREMENTS
- 5 INTEX HAMPTON 36" TALL PVC GUARDRAIL, W/ PLAIN BALLUSTERS AND MAHOGANY TOP RAIL CAP
- 6 PVC CORBELS SECURED WITH STAINLESS STEEL SCREWS
- 7 JAMES HARDIE SHINGLE SIDING (COLOR TO BE SELECTED BY OWNER)
- 8 PVC PANEL AND TRIM ACCENT ON EXISTING BAY
- 9 PVC WINDOW SURROUND
- 10 GAF 'TIMBERLINE HDZ' ASPHALT SHINGLE ROOF
- 11 STANDING SEAM METAL ROOF OVER ICE AND WATER SHIELD
- 12 HALF ROUND METAL GUTTER W/ ROUND DOWNSPOUT, COLOR TO BE WHITE
- 13 HVAC CONDENSER LOCATION W/ 4" PAIGHT WHITE TRIMBOARD SURROUND (REFER TO ELEVATIONS)
- 14 HVAC UNIT PER CONTRACTOR (VERIFY LOCATION W/ ARCHITECT)
- 15 HWH WITH RE-CIRCULATION LINE CLOSET IS TO BE CONDITIONED WITH A FIBERGLASS PAN
- 16 AMERICAST ACRYLIC DIPPED STEEL TUB
- 17 TILED SHOWER ENCLOSURE W/ SCHLUTER SYSTEM, SHOWER PAN INSTALLATION TO BE BY THE AMERICAN TILE COUNCIL (SURROUND TO BE SELECTED BY OWNER)
- 18 HARDWOOD FLOORING, COLOR AND SPECIES TO BE SELECTED BY OWNER
- 19 HARDWOOD STAIR TO MATCH HARDWOOD FLOOR/ RISERS ARE TO BE WHITE
- 20 CERAMIC TILE FLOORING, COLOR TO BE SELECTED BY OWNER
- 21 BUILT-IN CABINETY WALL
- 22 DEC. WOOD CLAD RAFTER TIE, COLOR AND SPECIES TO BE SELECTED BY OWNER
- 23 BRICK VENEER WITH BLUESTONE WATER TABLE
- 24 NEW CARPET AND PAD
- 25 NEW 4" PVC VERTICAL SLAT PRIVACY SCREEN ON P.T. 2X FRAME
- 26 NEW PVC ACCENT TRIM



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Elevations