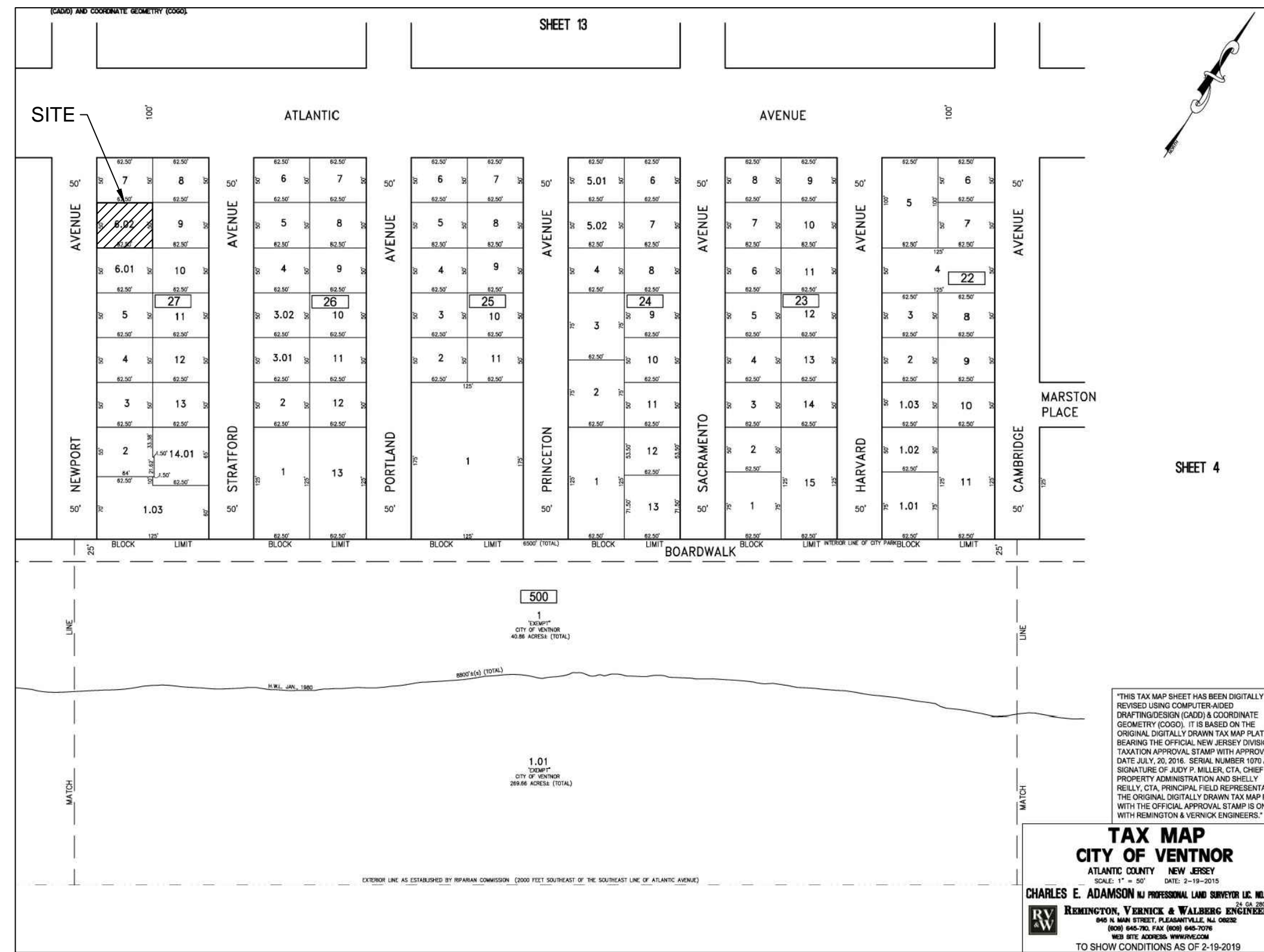


**AERIAL**  
N.T.S.



**TAX MAP**  
N.T.S.

### Zoning Schedule

'R3' Residential Zone District  
FEMA AE10 Zone, Base Flood Elevation 10.0 ft. (NAVD 1988)  
3,125 sq ft Lot Size

**Requirements:**

- Minimum Lot Area: 3,000 sq ft
- Minimum Lot Width: 50.0 ft
- Minimum Lot Depth: 60.0 ft
- Maximum Building Coverage (50%): 1,562.5 sq ft
- Maximum Lot Coverage (75%): 2,343.75 sq ft
- Maximum Building Height: 35.0 ft (gable) 28.0 ft (flat) (from grade) (from finished first floor)

**Deck Setback:**

- Minimum Side Yard Setback: 5.0 ft
- Minimum Front Yard 2nd Floor Deck Setback: 6.0 ft

**Allowable Front Yard 3rd Floor Deck Setback:**

- Decks serving third floor (1/2 story) habitable areas shall be inset within the principal structure and meet all principal building setbacks.

**Minimum Off-street Parking (Based on Existing 5 Bedrooms)** 3.0 spaces

**Existing:**

- Lot Area: 3,125 sq ft
- Lot Width: 50.0 ft
- Lot Depth: 62.5 ft
- Building Coverage: \*1,915.63 sq ft (61.3%)
- Lot Coverage: 2,217.49 sq ft (70.95%)
- Building Height: Existing (±33'-0") (from existing grade)(gable/hip)

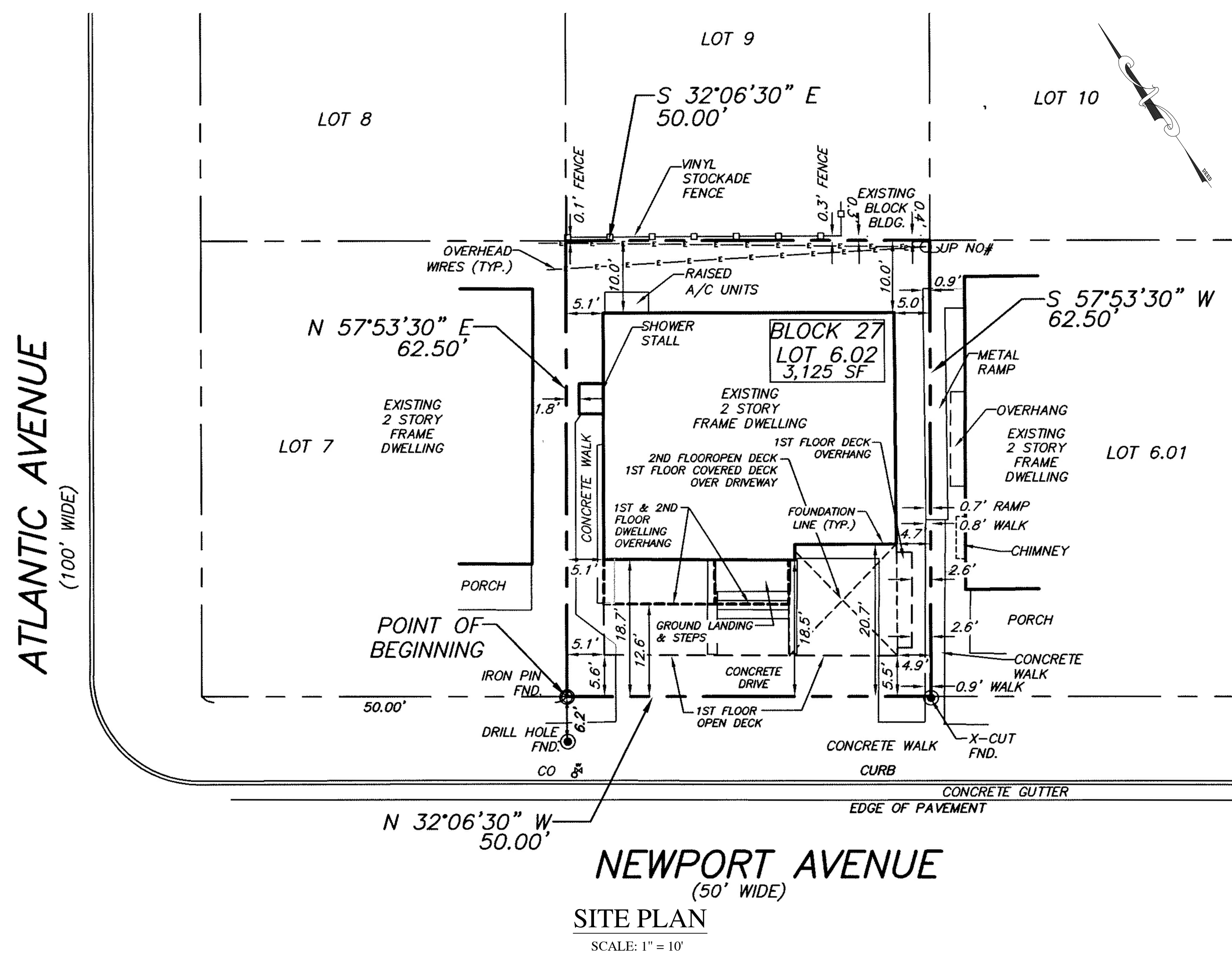
**Proposed:**

- Side Yard Setback: 5.0 ft
- Side Yard Setback at Deck Cantilever: \*2.5 ft
- Front Yard 2nd Floor Deck Setback: \*5.5 ft
- Front Yard 3rd Floor Deck Setback: \*5.5 ft
- Off-street Parking Spaces (5 Bedrooms): 3.0 spaces (1 garage, 2 driveway at ±22')

**Other Notes:**

- Building Height: \*\*31'-6"± (flat roof) (from existing finished first floor)
- 5' wall inset from wall below: \*\*No 5' inset is proposed on the third habitable floor.

\* Previously Approved Conditions  
\*\* Variance Required



**PROJECT NARRATIVE:**

THE PURPOSE OF THESE DRAWINGS IS TO ILLUSTRATE THE EXPANSION OF TWO EXISTING 3RD FLOOR BEDROOMS UTILIZING EXISTING ATTIC SPACE AND THE CREATION OF ONE FULL BATHROOM. THE EXISTING HIP ROOFS IN THE WORK AREA WILL BE REMOVED AND REPLACED WITH A FLAT ROOF. THE NEW FLAT ROOF WILL BE CONSTRUCTED AT THE EXISTING ROOF HEIGHT WITH A 12". NO NEW BEDROOMS ARE PROPOSED IN THIS PLAN AND THE EXISTING QUANTITY OF 5 BEDROOMS IS TO REMAIN. THE EXISTING OFF-STREET PARKING WILL REMAIN THE SAME (3 SPACES). TWO VARIANCES ARE REQUIRED / REQUESTED. ONE TO ALLOW A 31'-6" BUILDING HEIGHT WHEN 28'-0" IS ALLOWED AND A SECOND TO ALLOW THE 3RD HABITABLE FLOOR WALLS NOT TO BE INSET 5' FROM THE PRIMARY WALLS BELOW.

**Drawing List:**

A1.0	SITE PLAN / SITE DATA
A1.1	EXISTING 1ST & 2ND FLOOR PLANS
A1.2	PROPOSED 3RD FLOOR PLAN
A2.0	ELEVATIONS
A2.1	ELEVATIONS

I AUTHORIZED THE PREPARATION OF THIS PLAN

OWNER \_\_\_\_\_ DATE \_\_\_\_\_

Approved by:  
**VENTNOR CITY ZONING BOARD**

BOARD CHAIRPERSON \_\_\_\_\_ DATE \_\_\_\_\_

BOARD ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

BOARD SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

P. Lazaropoulos  
SIGNATURE

THESE DRAWINGS ARE THE PROPERTY OF NOTIS PROFESSIONAL SERVICES AND SHALL NOT BE REPRODUCED, COPIED, OR IN ANY WAY WITHOUT THE WRITTEN PERMISSION FROM NOTIS PROFESSIONAL SERVICES. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION AND/OR PERMITS UNLESS THE ARCHITECTS/ENGINEERS EMBOSSED SEAL IS AFFIXED UPON THEM. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES (BEFORE PROCEEDING) OR DEMOLITION OR CONSTR.

**NOTIS P. LAZAROPOULOS,**  
A.I.A., P.E., P.P., LEED A.P.  
LICENSED ARCHITECT/PROFESSIONAL ENGINEER/  
PROFESSIONAL PLANNER/LEED ACCREDITED PROF.  
N.J.# 10857/31035/5663 PA.#PE 035117-E DE. #6610

**NOTIS**  
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SUITE 200  
CHERRY HILL, N.J. 08003  
(856) 931-5661 FAX 751-5662  
NOTIS@COMCAST.NET

**SITE PLAN / SITE DATA**

3RD FLOOR BEDROOMS EXPANSION  
103 S. NEWPORT AVENUE  
VENTNOR, NJ

OWNER/APPLICANT:  
CHRIS AND VIRGINIA KOLOVOVS  
302 TOM BROWN ROAD, MOORESTOWN, NJ 08067

REVISIONS

01.10.22	REVISED PER CLIENT
01.24.22	REVISED PER CLIENT

JOB# : VENTNOR  
DRAWN BY : CJA  
CHKD BY : PL  
DATE : 12.31.21  
SCALE : 1" = 10'

**A1.0**