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November 15, 2021

Mr. John Loeper, Chairman
and Planning Board Members
c/o Mrs. Jaime Felker, Administrator
Ocean City Planning Board
115 12th Street
Ocean City, NJ 08226

Re: **Preliminary and Final Major Site Plan R2**
1020 Boardwalk, LLC
Block 1001, Lot 5
1020 Boardwalk
City of Ocean City, Cape May County, NJ
PBA21-002 (Our File No. OC16-145)

Dear Chairman Loeper and Planning Board Members:

The following plans and documents have been reviewed for this application:

1. Preliminary and Final Site Plan as completed by RD Green Engineering of consisting of the following pages:
 - Z-1 Cover Sheet, dated 09/14/2021, **last revised 10/25/21**
 - Z-2 Playland Boardwalk Front Photo, dated 09/14/2021
 - SP-1 Aerial Site Plan, dated 09/14/2021
 - SP-2 Site Plan w/ drainage & Details, dated 09/14/2021, **last revised 10/25/21**
 - S-1 First & Second Floor Plan, dated 09/14/2021, **last revised 10/25/21**
 - S-2 Building Sections, dated 09/14/2021
 - S-3 Boardwalk Front Elevation, dated 09/14/2021, **last revised 10/26/21**
 - S-4 South Elevation, dated 09/14/2021, **last revised 10/26/21**
 - S-5 West Elevation, dated 09/14/2021, **last revised 10/26/21**
 - S-6 North Elevation, dated 09/14/2021
 - S-7 North Sun Angle Diagram, dated 07/13/2021
 - S-8 South Sun Angle Diagram, dated 7/13/21
2. Property Survey signed by Thomas Deneka, PLS of The Hyland Group, dated 3/9/2021, last revised 5/19/2021
3. A cover letter to Jaime Felker from Michael A. Fusco, II, dated August 12, 2021
4. City of Ocean City Development Application
5. City of Ocean City Application Checklist
6. City of Ocean City Plat requirements – Minor Site Plan
7. Memorandum from Municipal Engineer-8/20/21
8. Memorandum from Zoning Office- 8/27/21
9. Memorandum from Police Department-8/13/21
10. Memorandum from Construction Official-8/12/21

11. Amended Development Application
12. City of Ocean City Plat requirements – Site Plan – Preliminary and Final
13. Response to the City's Planning Board professionals from Robert Green dated 9/14/21
14. Letter to John Loper from Michael Lucey of the Water's Edge Environmental, LLC regarding CAFRA Exemption, dated 9/14/21
15. Letter of Service Availability form Atlantic City Electric, dated 9/13/21
16. E-mail from Scott Simpson dated 9/9/21 identifying operations of the proposed Structure
17. **Response to the City's Planning Board professionals from Robert Green, dated 10-25-21**

I. Description:

The applicant proposes to construct a new "arcade" building in an area that previously contained an arcade building. The first-floor area of the proposed structure is to contain 6,923 square feet. The application indicates that this is the same first floor area of the structure that existed prior to the building demolition. The existing arcade building contained a partial second floor. The proposed arcade building is to contain a full second floor for offices, bathrooms and storage. The second-floor area is to be reconfigured to maintain a 10' setback from the boardwalk. A 400-sf addition is also proposed for the 2nd Floor. The proposed second floor is to contain 7,021 sf.

This parcel is located within the On Boardwalk Zone (ON BD).

II. Completeness:

This amended application has been submitted as a Major Site Plan, our office has reviewed the submitted documents for conformance with the Preliminary and Final Major Site Plan checklists. The following underlined items do not meet the checklist requirements, and the applicant has requested waivers.

25-1500.8.2 Preliminary Plat Major Site Plan Requirements.

a. General Requirements.

1. Any preliminary plat of a site plan presented to the Planning Board or Board of Adjustment for its approval shall be signed and appropriately sealed by an architect, professional engineer, land surveyor and/or professional planner licensed to practice in the State of New Jersey; provided, however, that sanitary sewer, water distribution and storm drainage plans and water and sewage treatment plans may only be signed and sealed by a professional engineer.

2. Site plans shall not be drawn at a scale smaller than one inch equals fifty feet (1"=50') nor larger than one inch equals ten feet (1"=10'). If the size of the site would require the use of sheets larger than thirty inches by forty-two inches (30" x 42") in order to show the entire site on one (1) sheet, the detailed information for the site plan shall be shown in sections on sheets not larger than thirty inches by forty-two inches (30" x 42"), which sheets shall be keyed to an overall plan of the site drawn at a scale of not less than one inch equals two hundred feet (1"=200').

The site plan shall be based on a monumented, current certified boundary survey. The date of the survey and the name of the person making same shall be shown on the map. If twelve (12) months or more has passed since the date of (or date of last recertification of) the survey, it shall be recertified and if necessary, brought up to date.

- b. Title Block. The title block shall appear on all sheets and include:
 - 1. Title to read "Preliminary Site Plan."
 - 2. Name of the development, if any.
 - 3. Date (of original and all revisions).
 - 4. Names, signatures, addresses, and license numbers of engineer, architect, land surveyor, or planner who prepared the plan and their embossed seal(s).
 - 5. If the site plan contains more than one (1) sheet, each shall be numbered and titled.
- c. A schedule shall be placed on the site plan indicating:
 - 1. The acreage of the tract and site (the portion of the tract involved in the site plan).
 - 2. The floor area of the existing and proposed buildings (listed separately).
 - 3. The proposed use or uses and the floor area devoted to each use.
 - 4. The zone district in which the site is located.
 - 5. Tax map sheet, block and lot number of the site, as shown on the latest City tax map, the date of which should also be shown.
 - 6. Names and addresses of owner and developer, so designated.
 - 7. Proposed and required lot dimensions and front, rear and side setbacks.
 - 8. Proposed and required off-street parking spaces.
 - 9. The square footage and the percentage of the site that is:
 - (a) Occupied by buildings
 - (b) Impervious
 - 10. All variances requested.
- d. North arrow and written and graphic scales.
- e. The tops of the banks and boundaries of the floodways and flood hazard areas of all existing watercourses, where such have been delineated or the limits of alluvial soils where the boundaries of floodways and flood hazard areas have not been determined, and/or such other information as may assist the Board in the determination of floodway and flood hazard area limits.
- f. The boundary, nature, and extent of marshes, wetlands, dunes and water areas within the site and within two hundred feet (200') thereof.
- g. Existing and proposed manholes, sewer lines, fire hydrants, water lines, utility poles, and all other topographical features of a physical or engineering nature within the site and within fifty feet (50') thereof.
- h. All existing structures on the site and within fifty feet (50') thereof, including their use, indicating those to be destroyed or removed and those to remain.
- i. Location, use, finished grade level, ground coverage, first floor, front, rear and side setbacks of all existing buildings and other pertinent improvements.
- j. Existing and proposed public easement or rights-of-way and the purposes thereof.
- k. A grading plan showing existing and proposed grading contours at one foot (1') intervals throughout the tract, or spot elevations if acceptable to the Board Engineer. Datum shall be National Geodetic Vertical Datum (N.G.V.D.) and source of datum shall be noted. In addition to proposed grading contours, sufficient additional spot elevations shall be shown to clearly delineate proposed grading. Also, a site bench mark shall be labeled on the plan.

I. On-Site Drainage Plan:

1. The drainage plan shall be presented in graphic form which shall clearly show the street and lot layout and those items which are pertinent to drainage including existing and proposed contours and spot elevations as previously required. *WAIVER REQUESTED*
2. The plan shall outline each area contributing to each inlet. *WAIVER REQUESTED*
3. All proposed drainage shall be shown with pipe type and sizes, invert and grate or rim elevations, grades and direction of flow. The direction of flow of all surface waters and of all streams shall be shown. *WAIVER REQUESTED*
4. The drainage plan shall be accompanied by complete drainage calculations made in accordance with the standards set forth in this Ordinance. *WAIVER REQUESTED*

m. Off-Site Drainage Plan. The plat shall also be accompanied by an off-site drainage plan prepared in accordance with the following standards:

1. The plan shall consist of an outline of the entire drainage basin in which the site is located. The terminus of the basin and existing ground contours or other basis for determining basin limits shall be shown. *WAIVER REQUESTED*
2. The pertinent off-site existing drainage shall be shown with elevations of inverts and grates to the nearest one-hundredth of a foot (.01'). *WAIVER REQUESTED*
3. To the extent that information is available and may be obtained from the County or Municipal Engineer, any existing plans or drainage improvements shall be shown. *WAIVER REQUESTED*
4. In the event a temporary drainage system is proposed, full plans of that system shall be shown. *WAIVER REQUESTED*
5. The off-site drainage plans shall be accomplished by profiles of all proposed drainage, showing existing details, pipe sizes, type, inverts, crowns, slopes; all proposed structures and connections and design hydraulic grade lines for all conduits designed to carry forty (40) or more cubic feet per second. Cross-sections at intervals not exceeding one hundred feet (100') shall be shown for all open channels. *WAIVER REQUESTED*

n. If required by the City Engineer, center line profiles of streets bordering the site, internal roadways, and major circulation aisles showing:

1. Existing and proposed final grades and slopes.
2. Pipe sizes, slope, type, inverts, and grate or rim elevation of drainage and sanitary sewage facilities.

o. Boring Logs. A Soils Engineer's Report shall conform to § 25-1500.7.2x of this Ordinance.

1. Borings shall be spaced evenly throughout the site. *WAIVER REQUESTED*
2. One (1) boring shall be made per acre (or portion thereof) in those areas where the water table is found to be less than ten feet (10') below proposed or existing grade. *WAIVER REQUESTED*
3. In addition to the above, in those areas where the water table is found to be five feet (5') or less below existing or proposed grade, two (2) additional borings per acre (or portion thereof) will be required if construction of basements is contemplated. Borings shall be located where such basements are proposed. *WAIVER REQUESTED*
4. Boring logs shall show soil types and characteristics encountered, groundwater depths, the methods and equipment used, the name of the firm, if any, making the borings and the name of the person in charge of the boring operation. The boring logs shall also show surface elevations to the nearest one-tenth of a foot (.1'). *WAIVER REQUESTED*
5. Based on the borings, the site plan shall clearly indicate all areas having a water table within two feet (2') of the existing surface of the land, or within two feet (2') of proposed grade; or all

areas within which two feet (2') or more of fill is contemplated or has previously been placed.
WAIVER REQUESTED

p. Zone district boundaries and a portion of the Tax Map Sheet shall be reproduced for a minimum distance of five hundred feet (500') surrounding the site upon which the following shall be indicated:

1. The site;
2. Zone district boundaries;
3. Tax map sheet;
4. Lot and block numbers;
5. Name of all owners within two hundred feet (200') of the site;
6. Streets with names;
7. Scale and north arrow.

q. Key Map: A portion of the U.S. Geological Survey map shall be shown (scale 1"=2,000') indicating the following:

1. The site;
2. U.S.G.S. map number;
3. Scale and north arrow.

r. The location, area, dimensions and proposed disposition of any area or areas of the site proposed to be retained as common open space, indicating the facilities to be provided in such areas.

s. The capacity of off-street parking areas and the location and dimensions of all access drives, aisles and parking stalls. The location and treatment of existing and proposed entrances and exits to public rights-of-way, including the possible utilization of traffic signals, channelization, acceleration and deceleration lanes, additional width and any other device necessary for traffic safety and/or convenience, and the estimated average number of passenger vehicles, single unit trucks or buses, and semi-trailers that will enter the site each day.

t. Graphic depiction of the anticipated routes and details of the system of on-site vehicular and pedestrian circulation. If the developer desires to have the appropriate provisions of N.J.S.A. 39:1 et seq. governing motor vehicle operation made applicable to the site, thereby allowing municipal police regulation of traffic control devices, he shall submit a formal request and a detailed plan meeting the requirements of the New Jersey Department of Transportation. The City Engineer will advise the developer regarding the details of such a plan.

u. The location and size of proposed loading docks. WAIVER REQUESTED

v. Location of curbs and sidewalks.

w. Cross-sections showing the composition of pavement areas, curbs, and sidewalks.

x. Exterior lighting plan, including the location, direction of illumination, amount of illumination expressed in horizontal foot candles, wattage and drawn details of all outdoor lighting standards and fixtures. WAIVER REQUESTED

y. Landscaping and screening plan showing the location, type, spacing, and number of each type of tree or shrub, the location, type and amount of each type of ground cover to be utilized, and plant list and planting details for trees, shrubs, and/or ground cover. WAIVER REQUESTED

z. Location of signs and drawn details showing the size, nature of construction, height and content of all signs.

aa. Drawn details of the type of screening to be utilized for refuse and recyclable material, storage areas, outdoor equipment and bulk storage areas. *WAIVER REQUESTED*

bb. Floor plans and building elevation drawings of any proposed structure or structures, or existing structures to be renovated.

cc. Location of handicapped facilities including parking spaces and ramps (where applicable).

dd. Sectionalization and Staging Plan. Developers of large uses such as shopping centers, multi-family dwellings, office parks or other such uses proposed to be developed in stages shall submit a sectionalization and staging plan showing the following:

1. The anticipated date for commencing construction of each section or stage. The staging of development on the site shall be such that if development of the site were discontinued after the completion of any stage, the developed portion of the site would comply in all respects to the requirements of this Ordinance and be provided with adequate drainage and utility systems.
2. Those improvements that will be completed in each stage prior to application for Certificate of Occupancy. The plan should demonstrate that the staging of construction will minimize adverse effects upon occupied buildings in the site and adjoining properties.

ee. Written description of the proposed operations in sufficient detail to indicate the effects of the use in producing traffic congestion, noise, glare, air pollution, fire hazards or safety hazards. The written description shall also include the hours of operation of the use, the number of shifts to be worked, the number of employees in each shift, the number of vehicles to be stored or parked on the site, and provisions to be made for site maintenance.

ff. Such other information as the Planning Board and/or City Engineer may request during site plan review.

25-1500.10.2 Final Plat Major Site Plan Requirements.

The final plat shall include all data required for the preliminary plat of the site plan and shall be drawn to incorporate all changes required as a condition of preliminary approval and shall be drawn by persons and to specifications as required for a preliminary plat and shall be titled "Final Plat - Site Plan."

Based upon the waiver requests as submitted, the application is complete.

III. Zoning:

Based upon our review, we offer the following comments:

The plans indicate that the development is to occur within the On Boardwalk (ON-BD) district as shown on the current Ocean City zoning map. Retail, food vendors, amusements and storage facilities are permitted uses in this zone.

	Required	Existing (Before Fire)	Proposed	Variance Required
<u>Min. Lot Area</u>	2,250 SF	22,234 SF	22,234 SF	No
<u>Min. Lot Width/Frontage</u>	30'	79.14'	79.14'	No
<u>Min. Lot Depth</u>	100'	296.45'	296.45'	No
<u>Min. Front Yard Setback</u>				
1 Story (on boardwalk)	0'	0'	0'	No
2 Story	10'	0'	10'	No
<u>Min. Rear Yard Setback</u>	20'	181'	181'	No
<u>Min. Side Yard Setback</u>	0"	4"	4"	No
<u>Max. Building Coverage</u>	80%	35.3%	39%	No
<u>Max. Impervious Coverage</u>	80%	100%	100%	V
<u>Max. Building Height</u> <u>Single story</u>	13' (1 ½ story) Above Boardwalk elevation (13.3)		14.3'	V
<u>Max. Building Height-2nd</u> <u>Story</u>	(13'+12') 25'		27.5'	V
<u>Max. Stories</u>	2	2	2	No
<u>Min Store Width</u>	15 ft		>15'	No
<u>Min Store Depth</u>	50 ft		22.5'/31'	V

IV. Technical Comments:

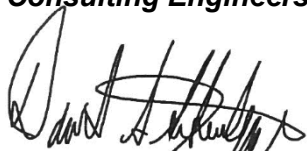
1. Per 205.5.5 a, the maximum building height for a single-story structure on the board walk is 13 feet. The plans propose a maximum single-story height of 14.3 feet. A Variance is required.
2. Per 205.5.5 a, the building height may be increased by an additional story not to exceed 12 feet (25' total) in height inclusive of the height require for the roof, provided that said story be setback from the front yard setback line a minimum of 10 feet and provided further that any roof line facing the front yard shall not penetrate an imaginary line by an angle of 41 degrees from the horizontal in a due east or due west direction. The plans propose a maximum second story height of 27.5 feet where 25' is permitted. Furthermore, the applicant shall verify compliance with the 41-degree angle requirement. A Variance is required.
3. The Maximum permitted impervious coverage in the zone is 80%. The applicant proposes 100%. A variance is required.
4. The minimum permitted boardwalk store depth is 50'. The plans propose store depths of 31 feet and 22.5 feet. Variances are required.
5. The plans indicate a first-floor building footprint as 6,923 square feet.

6. Sheet SP-2 indicates a second-floor area of 7,021 square feet. The second floor has been reconfigured to provide for a 10' setback to the boardwalk. The plans also indicate 400 sf of new second floor office space (above the rear ramps and stairs) that did not exist prior to the building demolition. Sheet S-1 should be clarified to indicate the corrected second floor area.
7. Sheets S-1 and S-2 appear to depict a 2nd floor door providing access to the flat roof area above the boardwalk stores. Clarification shall be provided.
8. The applicant shall clarify the elevations of the proposed stairs and ramps and indicate proposed ingress/egress locations. All ramps shall meet ADA regulations.
9. The plans identify a proposed 12' by 18' electrical shed on the adjoining lot 6. The plans indicate that this electrical shed is to provide power to lot 5. Sheet S-5 appears to indicate that the electrical shed is to be connected to the proposed building. Consolidation of the lots should be discussed.
10. Provide testimony to address Trash enclosure for solid waste per 25-1700.31
11. Water and sewer connections have been identified on the plans.
12. The location of the rooftop HVAC units is identified on the plans. A screening detail is also included.
13. Landscaping, lighting and signage are deferred to the Board Planner.
14. The applicant shall provide utility service letters for the proposed development.
15. The applicant shall provide an Engineer's cost estimate, performance and maintenance guarantees as required by the City Code.
16. Applicant shall obtain all permits and or approvals from the City of Ocean City, CAFRA, Cape-Atlantic Soil Conservation District and other entities having jurisdiction, as applicable.

Any Planning Board approval should be contingent upon approval from all other governmental agencies having jurisdiction. We reserve the right to review any additional information submitted for this matter.

Should you have any questions or require any additional information, please do not hesitate to contact our office.

Sincerely,
Schaeffer Nassar Scheidegg
Consulting Engineers, LLC



David S. Scheidegg, PE, PP, CME, CPWM, CFM
Planning Board Engineer

Cc: *Jaime Felker, (via e-mail)*
Gary Griffith, Esq. (via e-mail)
Randall Scheule, PP/AICP (via e-mail)
Michael Fusco, II, Clients Attorney (via e-mail)
Robert Green, RD Green Engineering, (via e-mail)
Thomas Deneka, The Hyland Group, (via e-mail)
1020 Boardwalk,. LLC, applicant (via e-mail)



PLANNER'S REPORT

To: City of Ocean City
Planning Board Members

From: Randall Scheule, PP/AICP
Planning Board Planner

Date: November 11, 2021

Zone: On-Boardwalk Zone

RE: **PBA 21-002, 1020 Boardwalk, LLC (R2)**
Block 1001, Lot 5; 1020 Boardwalk
Public Hearing – Preliminary & Final Major Site Plan

Introduction.

This report is provided to assist the Planning Board in its consideration of the above referenced application and is limited to planning issues. Engineering and legal issues shall be reviewed by the Board Engineer and Board Solicitor, respectively. The comments and recommendations contained herein are based upon review of the information provided to date including the Ocean City Master Plan, the Zoning and Development Code and sources identified herein.

Any resubmission addressing the issues identified in this report shall be accompanied by a point-by-point letter responding to all items, with revisions on the plans *clouded or highlighted* to indicate changes.

Plans and Documents.

The following plans and documents constituting the above development application have been reviewed and provide the basis for the comments and recommendations which follow.

- Letter from Bob Green, October 25, 2021
- Letter of transmittal to Jaime Felker from Michael Fusco, August 12, 2021
- City of Ocean City Development Application, September 15, 2021
- Checklist waivers requested, R. D. Green, September 14, 2021
- Survey of Premises, March 9, 2021, last revised May 19, 2021

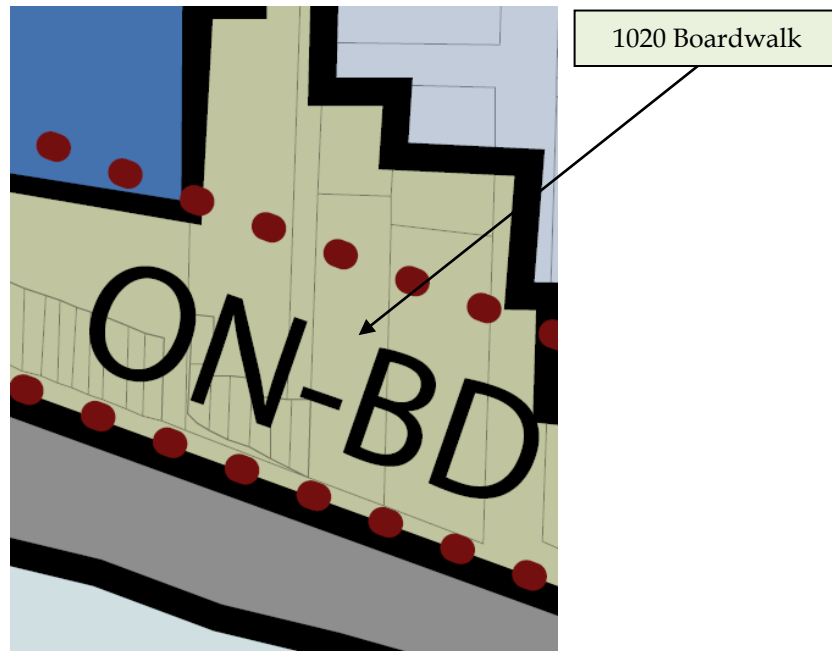
PBA 21-002, 1020 Boardwalk, LLC

Block 1001, Lot 5; 1020 Boardwalk

- Minor Site Plan, R. D. Green Engineering (11 sheets), consisting of the following:
 - Cover Sheet, September 14, 2021, (10/25/21)
 - Playland Boardwalk Photo, September 14, 2021
 - Playland's Aerial View, September 14, 2021
 - Proposed Site Plan with Drainage and Details, September 14, 2021, (10/25/21)
 - First and Second Floor Plans, September 14, 2021, (10/25/21)
 - Building Sections, September 14, 2021
 - Boardwalk Front Elevation, September 14, 2021, (10/25/21)
 - South Elevation, September 14, 2021, (10/25/21)
 - West Elevation, September 14, 2021, (10/25/21)
 - North Elevation, September 14, 2021
- Sun angle drawing, R. D. Green Engineering, July 13, 2021
- Renderings (3 sheets), JMM Studio
- Ocean City Construction Office report, August 12, 2021
- Ocean City Police report, August 13, 2021
- Ocean City Engineer's report, August 20, 2021
- CAFRA Exemption, Water's Edge Environmental, LLC, September 14, 2021
- Atlantic City Electric service letter, September 13, 2021

Development Proposal.

Applicant proposes construction of a new arcade-type building at the Playland Amusement Park. According to the application, the new 13,944 square foot building will increase the former building footprint by 400 square feet, and will include food services, arcade games, administrative offices, and storage. The property is located in the On-Boardwalk Zone as illustrated below.



Completeness.

The Preliminary and Final Site Plans are complete. Checklist waivers are requested by the applicant as indicated below.

25-1500.8.2 Preliminary Plat Requirements

a. General Requirements.

1. Any preliminary plat of a site plan presented to the Planning Board or Board of Adjustment for its approval shall be signed and appropriately sealed by an architect, professional engineer, land surveyor and/or professional planner licensed to practice in the State of New Jersey; provided, however, that sanitary sewer, water distribution and storm drainage plans and water and sewage treatment plans may only be signed and sealed by a professional engineer.

X_____

2. Site plans shall not be drawn at a scale smaller than one-inch equals fifty feet (1"=50') or larger than one-inch equals ten feet (1"=10'). If the size of the site would require the use of sheets larger than thirty inches by forty-two inches (30" x 42") in order to show the entire site on one (1) sheet, the detailed information for the site plan shall be shown in sections on sheets not larger than thirty inches by forty-two inches (30" x 42"), which sheets shall be keyed to an overall plan of the site drawn at a scale of not less than one inch equals two hundred feet (1"=200').

X_____

The site plan shall be based on a monumented, current certified boundary survey. The date of the survey and the name of the person making same shall be

PBA 21-002, 1020 Boardwalk, LLC

Block 1001, Lot 5; 1020 Boardwalk

shown on the map. If twelve (12) months or more has passed since the date of (or date of last recertification of) the survey, it shall be recertified and if necessary, brought up to date.

X_____

b. *Title Block.* The title block shall appear on all sheets and include:

1. Title to read "Preliminary Site Plan."

X_____

2. Name of the development, if any.

X_____

3. Date (of original and all revisions).

X_____

4. Names, signatures, addresses, and license numbers of engineer, architect, land surveyor, or planner who prepared the plan and their embossed seal(s).

X_____

5. If the site plan contains more than one (1) sheet, each shall be numbered and titled.

X_____

c. A schedule shall be placed on the site plan indicating:

1. The acreage of the tract and site (the portion of the tract involved in the site plan).

X_____

2. The floor area of the existing and proposed buildings (listed separately).

X_____

3. The proposed use or uses and the floor area devoted to each use.

X_____

4. The zone district in which the site is located.

X_____

5. Tax map sheet, block and lot number of the site, as shown on the latest City tax map, the date of which should also be shown.

X_____

6. Names and addresses of owner and developer, so designated.

X_____

7. Proposed and required lot dimensions and front, rear and side setbacks.

X_____

8. Proposed and required off-street parking spaces.

X_____

9. The square footage and the percentage of the site that is:

(a) Occupied by buildings

X_____

(b) Impervious

X_____

10. All variances requested.

X_____

d. North arrow and written and graphic scales.

X_____

PBA 21-002, 1020 Boardwalk, LLC

Block 1001, Lot 5; 1020 Boardwalk

e. The tops of the banks and boundaries of the floodways and flood hazard areas of all existing watercourses, where such have been delineated or the limits of alluvial soils where the boundaries of floodways and flood hazard areas have not been determined, and/or such other information as may assist the Board in the determination of floodway and flood hazard area limits.

X

f. The boundary, nature, and extent of marshes, wetlands, dunes and water areas within the site and within two hundred feet (200') thereof.

X

g. Existing and proposed manholes, sewer lines, fire hydrants, water lines, utility poles, and all other topographical features of a physical or engineering nature within the site and within fifty feet (50') thereof.

X

h. All existing structures on the site and within fifty feet (50') thereof, including their use, indicating those to be destroyed or removed and those to remain.

X

i. Location, use, finished grade level, ground coverage, first floor, front, rear and side setbacks of all existing buildings and other pertinent improvements.

X

j. Existing and proposed public easement or rights-of-way and the purposes thereof.

X

k. A grading plan showing existing and proposed grading contours at one-foot (1') intervals throughout the tract, or spot elevations if acceptable to the Board Engineer. Datum shall be National Geodetic Vertical Datum (N.G.V.D.) and source of datum shall be noted. In addition to proposed grading contours, sufficient additional spot elevations shall be shown to clearly delineate proposed grading. Also, a site benchmark shall be labeled on the plan.

X

l. *On-Site Drainage Plan:*

1. The drainage plan shall be presented in graphic form, which shall clearly show the street and lot layout and those items, which are pertinent to drainage including existing and proposed contours and spot elevations as previously required.

Waiver

2. The plan shall outline each area contributing to each inlet.

Waiver

3. All proposed drainage shall be shown with pipe type and sizes, invert and grate or rim elevations, grades and direction of flow. The direction of flow of all surface waters and of all streams shall be shown.

Waiver

4. The drainage plan shall be accompanied by complete drainage calculations made in accordance with the standards set forth in this Ordinance.

Waiver

PBA 21-002, 1020 Boardwalk, LLC

Block 1001, Lot 5; 1020 Boardwalk

m. *Off-Site Drainage Plan.* The plat shall also be accompanied by an off-site drainage plan prepared in accordance with the following standards:

1. The plan shall consist of an outline of the entire drainage basin in which the site is located. The terminus of the basin and existing ground contours or other basis for determining basin limits shall be shown.

Waiver

2. The pertinent off-site existing drainage shall be shown with elevations of inverts and grates to the nearest one-hundredth of a foot (.01').

Waiver

3. To the extent that information is available and may be obtained from the County or Municipal Engineer, any existing plans or drainage improvements shall be shown.

Waiver

4. In the event a temporary drainage system is proposed, full plans of that system shall be shown.

Waiver

5. The off-site drainage plans shall be accomplished by profiles of all proposed drainage, showing existing details, pipe sizes, type, inverts, crowns, slopes; all proposed structures and connections and design hydraulic grade lines for all conduits designed to carry forty (40) or more cubic feet per second. Cross-sections at intervals not exceeding one hundred feet (100') shall be shown for all open channels.

Waiver

n. If required by the City Engineer, centerline profiles of streets bordering the site, internal roadways, and major circulation aisles showing:

1. Existing and proposed final grades and slopes.

NA

2. Pipe sizes, slope, type, inverts, and grate or rim elevation of drainage and sanitary sewage facilities.

NA

o. *Boring Logs.* A Soils Engineer's Report shall conform to Section 25-1500.7.2x of this Ordinance.

1. Borings shall be spaced evenly throughout the site.

Waiver

2. One (1) boring shall be made per acre (or portion thereof) in those areas where the water table is found to be less than ten feet (10') below proposed or existing grade.

Waiver

3. In addition to the above, in those areas where the water table is found to be five feet (5') or less below existing or proposed grade, two (2) additional borings per acre (or portion thereof) will be required if construction of basements is contemplated. Borings shall be located where such basements are proposed.

Waiver

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Block 1001, Lot 5; 1020 Boardwalk

4. Boring logs shall show soil types and characteristics encountered, groundwater depths, the methods and equipment used, the name of the firm, if any, making the borings and the name of the person in charge of the boring operation. The boring logs shall also show surface elevations to the nearest one-tenth of a foot (.1').

Waiver

5. Based on the borings, the site plan shall clearly indicate all areas having a water table within two feet (2') of the existing surface of the land, or within two feet (2') of proposed grade; or all areas within which two feet (2') or more of fill is contemplated or has previously been placed.

Waiver

p. Zone district boundaries and a portion of the Tax Map Sheet shall be reproduced for a minimum distance of five hundred feet (500') surrounding the site upon which the following shall be indicated:

- | | |
|---|----------|
| 1. The site; | <u>X</u> |
| 2. Zone district boundaries; | <u>X</u> |
| 3. Tax map sheet; | <u>X</u> |
| 4. Lot and block numbers; | <u>X</u> |
| 5. Name of all owners within two hundred feet (200') of the site; | <u>X</u> |
| 6. Streets with names; | <u>X</u> |
| 7. Scale and north arrow. | <u>X</u> |

q. *Key Map*: A portion of the U.S. Geological Survey map shall be shown (scale 1"=2,000') indicating the following:

- | | |
|---------------------------|----------|
| 1. The site; | <u>X</u> |
| 2. U.S.G.S. map number; | <u>X</u> |
| 3. Scale and north arrow. | <u>X</u> |

r. The location, area, dimensions and proposed disposition of any area or areas of the site proposed to be retained as common open space, indicating the facilities to be provided in such areas.

NA

s. The capacity of off-street parking areas and the location and dimensions of all access drives, aisles and parking stalls. The location and treatment of existing and proposed entrances and exits to public rights-of-way, including the possible utilization of traffic signals, channelization, acceleration and deceleration lanes,

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additional width and any other device necessary for traffic safety and/or convenience, and the estimated average number of passenger vehicles, single unit trucks or buses, and semi-trailers that will enter the site each day.

NA

t. Graphic depiction of the anticipated routes and details of the system of on-site vehicular and pedestrian circulation. If the developer desires to have the appropriate provisions of N.J.S.A. 39:1 et seq. governing motor vehicle operation made applicable to the site, thereby allowing municipal police regulation of traffic control devices, he shall submit a formal request and a detailed plan meeting the requirements of the New Jersey Department of Transportation. The City Engineer will advise the developer regarding the details of such a plan.

NA

u. The location and size of proposed loading docks.

NA

v. Location of curbs and sidewalks.

NA

w. Cross-sections showing the composition of pavement areas, curbs, and sidewalks.

NA

x. Exterior lighting plan, including the location, direction of illumination, amount of illumination expressed in horizontal foot candles, wattage and drawn details of all outdoor lighting standards and fixtures.

Waiver

y. Landscaping and screening plan showing the location, type, spacing, and number of each type of tree or shrub, the location, type and amount of each type of ground cover to be utilized, and plant list and planting details for trees, shrubs, and/or ground cover.

Waiver

z. Location of signs and drawn details showing the size, nature of construction, height and content of all signs.

X

aa. Drawn details of the type of screening to be utilized for refuse and recyclable material, storage areas, outdoor equipment and bulk storage areas.

Waiver

bb. Floor plans and building elevation drawings of any proposed structure or structures, or existing structures to be renovated.

X

cc. Location of handicapped facilities including parking spaces and ramps (where applicable).

NA

dd. *Sectionalization and Staging Plan.* Developers of large uses such as shopping centers, multi-family dwellings, office parks or other such uses proposed to be developed in stages shall submit a sectionalization and staging plan showing the following:

PBA 21-002, 1020 Boardwalk, LLC

Block 1001, Lot 5; 1020 Boardwalk

1. The anticipated date for commencing construction of each section or stage. The staging of development on the site shall be such that if development of the site were discontinued after the completion of any stage, the developed portion of the site would comply in all respects to the requirements of this Ordinance and be provided with adequate drainage and utility systems.

NA

2. Those improvements that will be completed in each stage prior to application for Certificate of Occupancy. The plan should demonstrate that the staging of construction will minimize adverse effects upon occupied buildings in the site and adjoining properties.

NA

ee. Written description of the proposed operations in sufficient detail to indicate the effects of the use in producing traffic congestion, noise, glare, air pollution, fire hazards or safety hazards. The written description shall also include the hours of operation of the use, the number of shifts to be worked, the number of employees in each shift, the number of vehicles to be stored or parked on the site, and provisions to be made for site maintenance.

X

ff. Such other information as the Planning Board and/or City Engineer may request during site plan review.

NA

MISCELLANEOUS REQUIREMENTS THAT MAY BE REQUIRED

1. COST OF IMPROVEMENTS ESTIMATE (SEE 25-1600.1.1A)

Waiver

2. SIGHT TRIANGLE - CORNER PROPERTIES (SEE 25-1700.13.3)

NA

3. SOIL EROSION PLAN (SEE 25-1700.32)

COA

4. OTHER AGENCY REQUIREMENTS

a. County Planning Board (25-1500.8.3B)

NA

b. New Jersey Water Company (25-1500.8.3C)

COA

c. Waterfront Development (CAFRA)

COA

d. Adequacy of Utility Service

COA

25-1500.10.2 Final Plat Requirements.

The final plat shall include all data required for the preliminary plat of the site plan and shall be drawn to incorporate all changes required as a condition of preliminary approval and shall be drawn by persons and to specifications as required for a preliminary plat and shall be titled "Final Plat - Site Plan."

X

Zoning Conformance – On-Boardwalk Zone

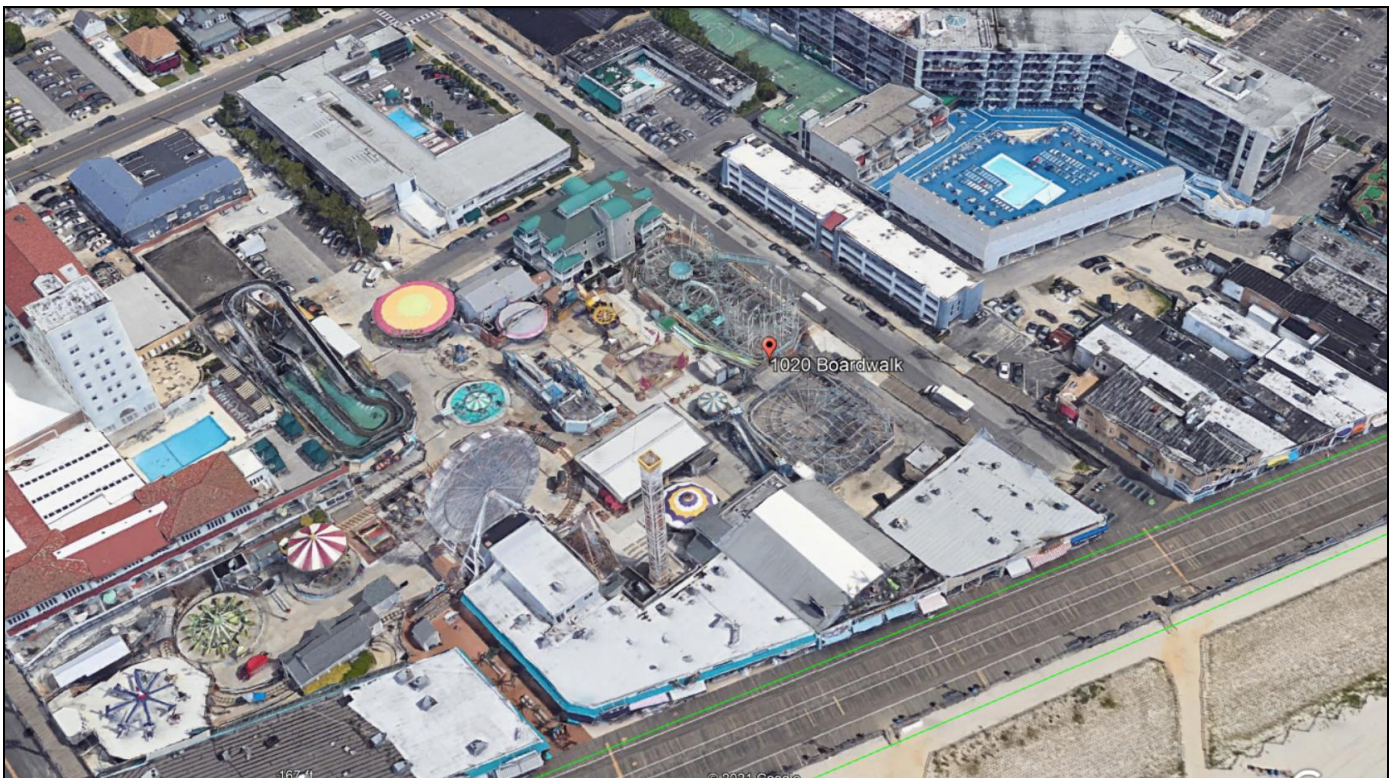
Zone Standard	Zoning Requirement	Proposed Condition	Variance Required?
Use	Arcade, Retail, Food, Amusement	Arcade, Retail, Food, Amusement	No
Minimum Lot Area	3,000 SF	22,234 SF	No
Minimum Lot Frontage	30 FT	79.14 FT	No
Minimum Lot Width	30 FT	79.14 FT	No
Minimum Lot Depth	100 FT	296.45 FT	No
<u>Minimum Front Setback</u>			
1 st Floor	0 FT	0 FT	No
2 nd Floor	10 FT	10 FT	No
Minimum Side Setback	NA	NA	NA
Minimum Rear Setback	25 FT	181 FT	No
<u>Maximum Building Ht. Above Boardwalk</u>			
1-Story	13 FT	14.3 FT	Yes
2½-Stories	25 FT	27.5 FT	Yes
Maximum Habitable Stories	2	TBD	TBD
Maximum Building Coverage	80%	39%	No
Maximum Impervious Coverage	80%	100%	Yes
Maximum Sign Area	336 SF	291.5 SF	No
Minimum Store Width ¹	15 FT	≥ 15 FT	No
Minimum Store Depth¹	50 FT	~ 21.2 FT ~ 20.3 FT	Yes Yes

¹ No structure fronting on the Boardwalk shall be created or remodeled so as to create a store with a width measured from the inside of each interior wall of less than fifteen feet (15') or a depth of less than fifty feet (50').

Summary of Zoning Variances.

1. Maximum First Floor Building Height – 13 feet permitted; 14.3 feet proposed.
2. Maximum Second Floor Building Height – 25 feet permitted; 27.5 feet proposed.
3. Maximum Impervious Coverage – 80% permitted; 100% proposed.
4. Minimum Store Depth – 50 feet required;
 - a. Food Service - approximately 21.2 feet proposed
 - b. Dairy Queen – 20.3 feet proposed.

Aerial Image (prior to fire)



Review Comments.

1. Applicant is required to address both the positive and negative criteria necessary to grant the variances identified above. Applicant may be entitled to relief if he can demonstrate that the purposes of the Municipal Land Use Law would be advanced by allowing a deviation from the Ocean City Zoning Ordinance, and the benefits of the deviation will substantially outweigh any detriment. The applicant must also show that the variances can be granted without substantial detriment to the public

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good and without substantially impairing the intent and purpose of the zone plan and zoning ordinance.

2. The sun angle drawing requires revision to demonstrate compliance with (§25-205.5.5a). Specifically, the 41° angle shall be struck from the horizontal 13 feet above the front property line in a due west direction to illustrate its proximity to the proposed second floor.
3. The September 14, 2021 response letter indicates that trash, recyclables and bulk storage for the subject property occur on adjacent Lot 6. In the event the accommodations on Lot 6 become unavailable in the future, the applicant should address how these materials will be managed.
4. The most recent submission did not include the full set of plans. A complete plan set should be provided prior to the public hearing.
5. Review of site grading, stormwater, utilities and drainage is deferred to the Planning Board Engineer.

Conditions of Approval (Preliminary Major Site Plan).

Approval of an application for development for a preliminary plat of a major site plan by the Planning Board shall be subject to the following conditions being satisfied prior to the signing of the plat.

<u>Conditions of Preliminary Site Plan Approval</u>	<u>Status</u>
Payment of any outstanding real estate taxes.	<u>Satisfied.</u>
Submission of additional prints of the plat map and attachments for distribution, if required.	<u>Pending</u>
Publication of a notice of the decision of the Board by the Administrative Officer (Planning Board or Board of Adjustment Secretary) within the time set forth in Section 25-900.7 of this Ordinance.	<u>Pending</u>
Any other conditions which may be imposed by the Board or may be required by Federal, State, County or municipal law.	<u>Pending</u>
The Board may also condition its preliminary approval upon the applicant providing for certain revisions or additions on the final plat submission.	<u>Pending</u>
Rectify any outstanding financial obligation to the City of Ocean City.	<u>Pending</u>
Provide an estimate of the cost of site improvements, performance and maintenance guarantees as required by the City Code.	<u>Pending</u>

PBA 21-002, 1020 Boardwalk, LLCBlock 1001, Lot 5; 1020 Boardwalk**Conditions of Approval (Final Site Plan).**

Pursuant to Section 25-1500.10.3 Conditions of Approval, any approval of an application for development of a final plat of a site plan shall be subject to the following conditions being satisfied, within the time specified by the Planning Board, prior to signing of the plat or issuance of a Development Permit.

<u>Conditions of Final Site Plan Approval</u>	<u>Status</u>
Payment of any outstanding real estate taxes.	<u>Satisfied.</u>
Submission of additional prints of the plat map and attachments for distribution, if required.	<u>Pending</u>
Publication of a notice of the decision of the Board by the Administrative Officer (Planning Board or Board of Adjustment Secretary) within the time set forth in Section 25-900.7 of this Ordinance.	<u>Pending</u>
Final Cape May County Planning Board approval (if not previously obtained).	<u>Pending</u>
Certification of Soil Erosion & Sediment Control Plan (if not previously obtained).	<u>Pending</u>
Fire Department approval (if not previously obtained).	<u>Pending</u>
Granting of any required construction permits.	<u>Pending</u>
Posting of required performance guarantees.	<u>Pending</u>
Payment of required inspection fees.	<u>Pending</u>
Evidence of a comprehensive general liability insurance policy in an amount not less than three hundred thousand dollars (\$300,000.00) per occurrence indemnifying and saving harmless the City and its agencies, employees and agents from any liability for any acts of the developer or his agents, contractors or employees in implementing of the approved site plan. The insurance policy shall provide for ten (10) days' notice to the City prior to cancellation. It shall be a violation of this Ordinance for any property owner, developer or builder to carry on the construction of the site without having a current valid evidence of insurance on file.	<u>Pending</u>
Any other conditions, which may be imposed by the Board or may be required by Federal, State, or local law.	<u>Pending</u>
A condition setting forth the time within which all other conditions must be satisfied as described in Section 25-900.10.	<u>Pending</u>
Satisfactorily address all conditions of preliminary approval.	<u>Pending</u>
Rectify any outstanding financial obligation to the City of Ocean City	<u>Pending</u>
Obtain written service availability confirmation from all relevant utilities.	

C: Gary Griffith
Robert Green

David Scheidegg
John Halbruner

Michael Fusco
Scott Simpson

ADDENDUM TO ORIGINAL APPLICATION FOR PRELIMINARY AND FINAL
MAJOR SITE PLAN APPROVAL FOR 1020 BOARDWALK, LOT 6, BLOCK 1001,
SAID APPLICATION DATE SEPTEMBER 15, 2021.

The following items have been adjusted during the review process from those set forth in the original, amended Applications, filed with the original amended Plans in this matter. Said Application dated September 15, 2021.

1. The height of the roof of the first floor fronting on the Ocean City Boardwalk has been reduced from 17' to 14.3' to allow that to be considered under "C" Variance criteria;
2. The south side, second floor of the proposed building fronting on the Boardwalk has been adjusted to respect the 10' setback requirements in order to allow the 27.5' proposed height to be processed under "C" type Variance criteria. The severe angle of the Boardwalk from the north to the south side of the property causes the need to move a portion of the proposed second floor back in order to protect the 10' setback requirement from the Boardwalk;
3. The second floor of the building has been adjusted from a square footage standpoint. The required movement and setback of the proposed second floor on its, south Boardwalk side of the property required the removal of some square footage from the proposed second floor. Additionally, it was originally proposed to add approximately a 700 square foot addition to the second floor at the rear of the proposed building, but that proposed expansion has been downsized to approximately 400 square feet in order to prevent any requirement for CAFRA approval. During the hearing of the matter, Bob Green will testify to and catalog the respective adjustments to the originally proposed second story square footage content from that set forth in the original, revised Application of 9/15/21.



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PART II
AMENDED DEVELOPMENT APPLICATION

PLEASE COMPLETE ALL SECTIONS OF THIS APPLICATION

CHECK ONE: ZONING BOARD APPLICATION _____ PLANNING BOARD APPLICATION X

A. Applicant's Name: 1020 Boardwalk, LLC, Scott Simpson, Managing Member

Applicant's Mailing Address: c/o Michael A. Fusco, II, Esquire, 644 West Avenue,
P.O. Box 1066, Ocean City, New Jersey 08226

Applicant's E mail Address: c/o Michael A. Fusco, II, Esq., [michaelfuscoii@fuscolawoffice.com];
one Number (Home) : c/o Michael A. Fusco, II, Esq.; (Work) (609) 398-6742

Attorney for Applicant

Owner's Name: Same as Applicant

Owner's Mailing Address: Same as Applicant

Relationship of applicant to owner: same person.

Location of Premises: 1020 Boardwalk.

Block(s) 1001 Lot(s) 5 Zone: On Boardwalk (ON-BD)
(Tax Map reference)

B. Description the application: Replacement of fire-damaged Arcade Building within the height and footprint of the fire-damaged building.

C. Please check the type(s) of approvals requested:

- | | | | |
|---|---|--|---------------------------------------|
| ☐ Minor Subdivision | ☐ Major Subdivision | ☒ "C" Variance | ☐ "D" Variance |
| ☒ Preliminary Site Plan | ☒ Final Site Plan | ☐ Conditional Use | ☐ Appeal |
| ☐ Interpretation | ☐ Use Variance | ☐ Minor Site Plan | ☐ Amendment |



D. Request is hereby made for permission to construct a new Arcade type building for the Playland Amusement Park within the same parameters of the now removed fire-damaged Arcade Building.

- 1) Said property is: an average depth of 296.45' x 75' irregular and contains 22234 square feet;

(Give dimensions and area)

and has the following structures: There is no "structure" in place on the site at the present time. Following the receipt of a permit from the Construction Department of Ocean City, new pilings have been driven to support what will become a concrete deck on which the new Arcade Building will be constructed, as the fire damaged wooden deck has been removed. The Ocean City Construction Department has issued a permit to place the new concrete deck atop the new pilings.

- 2) Size and setbacks of existing building: Presently, there is no existing building on the site other than the pilings to support the new concrete deck upon which the new Arcade Building to replace the former fire-damaged building will be placed. The height and footprint of the fire-damaged building will be replicated by the proposed new building. The new building will be 6" shorter than the original building was, and there will be a modest "bump out" on the second floor of the new building on the Southwest rear of the new building. The ground footprint of the former building is unchanged by the new building.

FORMER ARCADE BUILDING:

Width of building: 75' in the rear; 79' along the Boardwalk frontage;

Length of building: 127.9' on North side;
105.9' on South Side.

Height: 28' 02"

Stories: 2

Front: 0

Rear: 181'

Side: 0

Side: 0

% Building Coverage: 39% % Impervious Surface Coverage: 100% (Lot 5 contained the former Arcade Building with the balance of the lot composed of concrete associated with exterior rides).

- 3) Size and setbacks of proposed new structures:

Width of building: 79' on the Boardwalk side/
75' at the rear wall;

Length of structure: 127.9' (+/-) on North side;

Length: 105.9' (+/-) on the South side;

Height: 1st Story: 17'; Second Story: 27.5' (6" shorter than the fire-damaged building).

Stories: 2

Front: 0'

Rear: 181'

Side: 0';

Side: 0;

% Building Coverage: 39% % Impervious Surface Coverage: 100%, as the new building will replicate the size of the old building and the balance of Lot 5 will remain fully concreted.

- 4) Date property acquired and prevailing zoning at time of acquisition: circa 1941; / Unknown
- 5) Has there been any previous appeal, requests or applications to this or any other City Boards, Construction Official, or other City Official involving these premises? YES NO X *None as far as the current owner is aware with respect to the former Arcade Building. It is unknown to Scott Simpson if his father, the former owner of the site made any Applications to either the Ocean City Zoning or Planning Board with respect to the site. Scott Simpson did have a prior Site Plan Application to the City, not associated with the Arcade Building, but with the exterior rides area to the rear and South of the Arcade Building site. That Site Plan Application resulted in approval as all of the desired new rides were installed and are in operation.



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- 6) When variance approvals are requested:
- a) Describe the exceptional conditions of property preventing application from complying with Zoning Ordinance.
 - b) Supply a statement of facts showing why relief can be granted without substantial detriment to the public good and will not substantially impair the intent and purpose of the zone plan and zoning ordinance.

The following "C" type Variances for construction of the new building appear to be required:

Second floor minimum front yard setback proposed to be at 0' as opposed to the required 10'; maximum building height above the Boardwalk, 2 1/2 stories proposed to be 27.5', some 6" shorter than the previous building, while the Zoning requirement is 25'; maximum impervious surface coverage with the construction of the new building will be at the former 100%, when 80% is the permitted maximum, and minimum store width and depth Variances are required for the two proposed store areas on the North and South side of the main Boardwalk entrance to the Arcade Building. Finally, Variances required are for two of the three proposed signs that will be re-installed on the Boardwalk side of the new building. The Dairy Queen Store sign will be substantially replicated in accordance with current Dairy Queen signage requirements, and that sign was conforming to Zoning requirements and is expected to remain such when replaced. Playland's Castaway Cove sign will be replicated, but it is in excess of permissible sign size being 191 square feet as opposed to the permissible 106 square feet. The former Hamburger Construction Company will no longer exist, as the former owner thereof has retired. The Owner/Applicant requests a Variance to allow a new sign to be installed on the Boardwalk side of that store which would be no larger than the size of the former Hamburger Construction Company sign which was 60 square feet as opposed to the permissible 45 square feet. The Owner/Applicant will request a Variance to be able to place a sign which will not be any larger than the size of the former Hamburger Construction Company sign.

Should the Planning Board determine during its review that any other Variances and/or Engineering Design Waivers are required, the Owner/Applicant would seek those variances and waivers during the hearing.

The fire damaged building which occupied the site from the 1940s was not fully destroyed and did not exceed the 75% destruction limit set in the Zoning Ordinance, specifically, the front wall, while damaged, remained, as did the two side walls and the rear wall. The wooden deck under the former building was damaged, but substantially remained. All of the substructure holding up the deck of the former building also remained. The Owner/Applicant could have chosen to restore the fire damaged building, but made the decision to construct a replacement building which would meet today's Codes and Standards as opposed to attempting to retrofit a repaired former building to address today's Code requirements.

The request for the noted variances fall within "C1" and "C2" criteria. The "C1" element is that the reconstruction of this building is caused by a unique circumstance, namely, a substantial fire which substantially damaged the former building. But/for that fire, the former building would still be in existence and all of the noted variance situations would continue to exist with that building as previously existing non-conforming conditions. As the Applicant chose to remove all of that old building and replace it, the former existing non-conforming conditions were lost, and variance relief is required in order to build the new building in place of the old building. As indicated, however, the new building will be some 6" shorter in height than the old building.

The "C2" criteria are met, as it is respectfully submitted that the Playland's Castaway Cove property, in toto, including the former Arcade Building which is to be replicated, is a key element not only to the Ocean City Boardwalk, but also to the City of Ocean City. It is currently one of two amusement park type facilities on the Boardwalk, the other being "Wonderland" which is located at 6th Street and the Boardwalk. The subject property is located in the heart of the Boardwalk, just South of 10th Street and has been an "institution" on the Ocean City Boardwalk since the 1940s. It has been well maintained and frequently updated with new and improved rides and

arcade games within the former arcade building. It is respectfully submitted it is a significant draw, not only to the City of Ocean City, but also the Ocean City Boardwalk, generating significant family enjoyment, particularly for younger children, throughout its existence. It is respectfully submitted it is a necessary element to maintain the overall attractiveness of Ocean City and its Boardwalk. There is also no measurable detriment of any kind by permitting the former structure to be substantially replicated by this new structure, which new structure will also be in accordance with today's Codes and Standards, making it a safer and more secure building than the original building which dated back to the 1940s.

The Owners/Applicant is also requesting a number of waivers from the Preliminary and Final Site Plan Approval Checklist which will be catalogued, as well as the basis therefore, in a separate sheet attached to this Application.



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7) All applicants must complete the following, as applicable:

Type of construction: (frame, stone, brick, cement) Block, concrete and steel frame.

Present use of existing building(s) and premises: Location is currently devoid of any building and, as yet, even the deck for the proposed new building, even though such deck has been permitted by the Ocean City Construction Department.

Describe any deed restrictions affecting this property: N/A

Existing and proposed number of dwelling units: There are no existing dwelling units and none are proposed.

Existing and proposed square footage of professional office: None.

Existing and proposed gross floor area: The former gross floor area for the fire-damaged building which has been removed, comprised of a full first floor and partial second floor, was 10,760 square feet (+/-). The proposed floor area is 14,329 square feet, the additional space being the result of a new "full" second floor in the new building, as well as a "bump-out" of the second floor of the new building on the Southwest corner of the new building. As previously indicated, the footprint of the new building is the same as the old building, but the new building will contain a full second floor which will include a new "bump-out" on the Southwest corner of the new building, so while the second floor of the old building was less than 1000 square feet, the new, full second floor, including the "bump-out", will be some 7406 square feet. The first floor will remain as it was at 6923 square feet.

Existing and proposed parking spaces: There are 0 existing parking spaces and none are required in the "On Boardwalk" Zone.

Existing and proposed number of lots: 1 Exists and 1 will remain.

Portion of lot being subdivided: None

Purpose for which lots will be utilized: The former use of the building was for food services, arcade games, access and egress from the Boardwalk to and from the rides at the rear and South of the property and for office spaces for ownership and management. All those uses will remain, and, as previously indicated, the office space on the second floor will be enlarged internally and will include a second floor "bump out" on the second floor of the building on the Southwest rear corner, but, as previously indicated, the footprint of the proposed new building will be identical to the footprint of the former building.

Facilities for solid waste and recyclables: Will continue to be used as currently used and has been used for many years.

A photograph(s) of the land and building(s) involved in the application. Photos of the fire-damaged building will be available for review, if desired, at the time of the full Planning Board Meeting to display that not only did a substantial portion of the former building remain, but that the proposed structure is substantially replicating the former structure from an overall size standpoint.

Names, addresses and E-mail of all expert witness proposed to be used: Robert D. Green, P.E., 1512 Atkinson Avenue, Somers Point, New Jersey 08244; Office Phone: 609-926-5182; Cell Phone: 609-602-6390; Email: [bobsgreen1@yahoo.com].

8) If the applicant is a corporation or partnership, the names and addresses of all stockholders or partners owning 10% or greater interest in said corporation or partnership shall be set forth in accordance with P.L. 1977 Ch. 336. Scott Simpson is the sole Member of the LLC holding title in the property.



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ESCROW FEES SUBMITTED

FINANCIAL RESPONSIBILITY STATEMENT

Section 25-1300.15.2 Amounts Specified Are Estimates, of the Ocean City Zoning Ordinance, 88-27, Volume II, reads as follows:

The amounts specified for escrow deposits are estimates, and it is recognized additional escrow fees may be necessary in particular applications. In the event that more than the amount specified for escrow is required in order to pay the reasonable costs incurred, the applicant, shall prior to being permitted to move forward in the approval procedure, or prior to being permitted to move forward in the approval procedure, or prior to obtaining Certificates of Occupancy for any portion of the application project, pay all additional required sums.

I have read Section 25-1300.15.2 and understand that additional escrow fees may be charged at a later date. I herewith agree to pay these additional charged fees. If I fail to pay these fees when requested, I understand that the City will also charge reasonable attorney's fees for the collection of these fees.

Please Print Clearly

1020 Boardwalk, LLC, Scott Simpson, Sole Member

A New Jersey Limited Liability Company

(Name)

(609) 231-8005

(Daytime Phone)

Email: ssocfun@gmail.com

1020 Boardwalk, Box 358

Ocean City, NJ 08226

(Billing Address)

Michael A. Fusco, II, Esquire,
(Signature) attorney for applicant

9/15/21
(Date)

Note: The application will be deemed incomplete if all information above is not fully completed.



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MICHAEL A. FUSCO, II, ESQUIRE

Being duly sworn

(Name of Applicant or Attorney Representing)

according to law hereby certifies that the information presented in this application is true and accurate.

Michael A. Fusco, Esquire

Signature of Applicant/Attorney

If applicant is not the owner of the property, have owner sign below or file with application a letter signed by the owner consenting to this application.

The foregoing application is hereby consented to this _____ day of _____, 2021.

(Signature of property owner)

(Address)

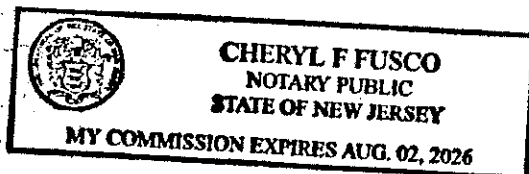
(Telephone Number)

Sworn and subscribed before me:

This 15th day of September 2021

Cheryl F. Fusco

Signature of Person authorized to take oaths - Notary





PART III

ADMINISTRATIVE COMPLETENESS

APPLICATION CHECKLIST

(Please submit with your application document)

NAME OF APPLICANT: 1020 Boardwalk, LLC, Scott Simpson, Managing Member

NAME OF OWNER: SAME AS APPLICANT

NAME OF PROFESSIONAL(S): Robert D. Green, P.E.

Required Documents

- a) One original & 5 copies of the application WITH the completed Checklist X
- b) One original & 5 copies of the required plat meeting requirements set forth in Chapter 1500 of the City Ordinance X
- c) Required Application Fees as set forth in Chapter XXX of the City Code X
- d) Copy of CAFRA application or written explanation of why one isn't needed X*
***No CAFRA Application or Permit is required as per the included letter from Michael Lucey, Principal of Waters Edge Environmental, LLC, given the circumstances under which the former building was destroyed, and the proposed building is to be constructed.**
- e) Copy of NJDEP Wetlands application or written explanation of why one isn't needed X*
***THERE ARE NO WETLANDS EITHER ON THE SITE OR IN CLOSE PROXIMITY TO THE SITE.**
- f) Current signed and sealed Survey of property (less than 1 year old) X
- g) Other submittals required by Board Professionals (if any) **WILL BE SUPPLIED WHEN AND IF REQUIRED.**
- h) Written description and justification for Waivers & Variances X
- i) Certified list of persons to whom notice must be sent, as compiled by the proper administrative officer of the appropriate municipality (Tax Assessor). X
- j) Proof from the Tax Collector that real estate taxes and local Assessments have been paid to date X
- k) (For Subdivisions only) A Certificate of Title N/A



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DIVISION OF PLANNING
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PLAT REQUIREMENTS

SITE PLAN- PRELIMINARY §25-1500.8.2 and FINAL §25-1500.10.2

NAME OF APPLICANT: 1020 Boardwalk, LLC, Scott Simpson, Managing Member

NAME OF OWNER: Same as Applicant

BLOCK: 1001 LOT: 5 ADDRESS: 1020 Boardwalk

Legend P NP W

25-1500.8.2 Preliminary Plat Requirements

a. General Requirements.

1. Any preliminary plat of a site plan presented to the Planning Board or Board of Adjustment for its approval shall be signed and appropriately sealed by an architect, professional engineer, land surveyor and/or professional planner licensed to practice in the State of New Jersey; provided, however, that sanitary sewer, water distribution and storm drainage plans and water and sewage treatment plans may only be signed and sealed by a professional engineer.

P

2. Site plans shall not be drawn at a scale smaller than one inch equals fifty feet (1"=50') or larger than one inch equals ten feet (1"=10'). If the size of the site would require the use of sheets larger than thirty inches by forty-two inches (30" x 42") in order to show the entire site on one (1) sheet, the detailed information for the site plan shall be shown in sections on sheets not larger than thirty inches by forty-two inches (30" x 42"), which sheets shall be keyed to an overall plan of the site drawn at a scale of not less than one inch equals two hundred feet (1"=200').

P

The site plan shall be based on a monumented, current certified boundary survey. The date of the survey and the name of the person making same shall be shown on the map. If twelve (12) months or more has passed since the date of (or date of last recertification of) the survey, it shall be recertified and if necessary, brought up to date.

P

b. Title Block. The title block shall appear on all sheets and include:

1. Title to read "Preliminary Site Plan" and "Final Site Plan".
2. Name of the development, if any.
3. Date (of original and all revisions).
4. Names, signatures, addresses, and license numbers of engineer, architect, surveyor, or ^{land} planner who prepared the plan and their embossed seal(s).
5. If the site plan contains more than one (1) sheet, each shall be numbered and titled.

P

P

P

P

P



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- c. A schedule shall be placed on the site plan indicating:
- | | |
|--|---|
| 1. The acreage of the tract and site (the portion of the tract involved in the site plan). | P |
| 2. The floor area of the existing and proposed buildings (listed separately). | P |
| 3. The proposed use or uses and the floor area devoted to each use. | P |
| 4. The zone district in which the site is located. | P |
| 5. Tax map sheet, block and lot number of the site, as shown on the latest City tax map, the date of which should also be shown. | P |
| 6. Names and addresses of owner and developer, so designated. | |
| 7. Proposed and required lot dimensions and front, rear and side setbacks. | P |
| 8. Proposed and required off-street parking spaces. | P |
| 9. The square footage and the percentage of the site that is: | |
| (a) Occupied by buildings | P |
| (b) Impervious | P |
| 10. All variances requested. | P |
- d. North arrow and written and graphic scales.
- e. The tops of the banks and boundaries of the floodways and flood hazard areas of all existing watercourses, where such have been delineated or the limits of alluvial soils where the boundaries of floodways and flood hazard areas have not been determined, and/or such other information as may assist the Board in the determination of floodway and flood hazard area limits.
- f. The boundary, nature, and extent of marshes, wetlands, dunes and water areas within the site and within two hundred feet (200') thereof.
- g. Existing and proposed manholes, sewer lines, fire hydrants, water lines, utility poles, and all other topographical features of a physical or engineering nature within the site and within fifty feet (50') thereof.
- h. All existing structures on the site and within fifty feet (50') thereof, including their use, indicating those to be destroyed or removed and those to remain.
- i. Location, use, finished grade level, ground coverage, first floor, front, rear and side setbacks of all existing buildings and other pertinent improvements.
- j. Existing and proposed public easement or rights-of-way and the purposes thereof.



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k. A grading plan showing existing and proposed grading contours at one foot (1') intervals throughout the tract, or spot elevations if acceptable to the Board Engineer. Datum shall be National Geodetic Vertical Datum (N.G.V.D.) and source of datum shall be noted. In addition to proposed grading contours, sufficient additional spot elevations shall be shown to clearly delineate proposed grading. Also, a site bench mark shall be labeled on the plan.

P

l. *On-Site Drainage Plan:*

1. The drainage plan shall be presented in graphic form which shall clearly show the street and lot layout and those items which are pertinent to drainage including existing and proposed contours and spot elevations as previously required.

W*

2. The plan shall outline each area contributing to each inlet.

W

3. All proposed drainage shall be shown with pipe type and sizes, invert and grate or rim elevations, grades and direction of flow. The direction of flow of all surface waters and of all streams shall be shown.

W

4. The drainage plan shall be accompanied by complete drainage calculations made in accordance with the standards set forth in this Ordinance.

W

m. *Off-Site Drainage Plan.* The plat shall also be accompanied by an off-site drainage plan prepared in accordance with the following standards:

1. The plan shall consist of an outline of the entire drainage basin in which the site is located. The terminus of the basin and existing ground contours or other basis for determining basin limits shall be shown.

W

2. The pertinent off-site existing drainage shall be shown with elevations of inverts and grates to the nearest one-hundredth of a foot (.01').

W

3. To the extent that information is available and may be obtained from the County or Municipal Engineer, any existing plans or drainage improvements shall be shown.

W

4. In the event a temporary drainage system is proposed, full plans of that system shall be shown.

W

5. The off-site drainage plans shall be accomplished by profiles of all proposed drainage, showing existing details, pipe sizes, type, inverts, crowns, slopes; all proposed structures and connections and design hydraulic grade lines for all conduits designed to carry forty (40) or more cubic feet per second. Cross-sections at intervals not exceeding one hundred feet (100') shall be shown for all open channels.

P

*Justification for the requested Waivers is contained in a separate letter prepared by Mr. Green which is submitted with this Application.



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n. If required by the City Engineer, center line profiles of streets bordering the site, internal roadways, and major circulation aisles showing:

1. Existing and proposed final grades and slopes.

N/A

2. Pipe sizes, slope, type, inverts, and grate or rim elevation of drainage and sanitary sewage facilities.

N/A

o. *Boring Logs.* A Soils Engineer's Report shall conform to Section 25-1500.7.2x of this Ordinance.

W

1. Borings shall be spaced evenly throughout the site.

W

2. One (1) boring shall be made per acre (or portion thereof) in those areas where the water table is found to be less than ten feet (10') below proposed or existing grade.

W

3. In addition to the above, in those areas where the water table is found to be five feet (5') or less below existing or proposed grade, two (2) additional borings per acre (or portion thereof) will be required if construction of basements is contemplated. Borings shall be located where such basements are proposed.

W

4. Boring logs shall show soil types and characteristics encountered, groundwater depths, the methods and equipment used, the name of the firm, if any, making the borings and the name of the person in charge of the boring operation. The boring logs shall also show surface elevations to the nearest one-tenth of a foot (.1').

W

5. Based on the borings, the site plan shall clearly indicate all areas having a water table within two feet (2') of the existing surface of the land, or within two feet (2') of proposed grade; or all areas within which two feet (2') or more of fill is contemplated or has previously been placed.

W

p. Zone district boundaries and a portion of the Tax Map Sheet shall be reproduced for a minimum distance of five hundred feet (500') surrounding the site upon which the following shall be indicated:

P

1. The site;

P

2. Zone district boundaries;

P

3. Tax map sheet;

P

4. Lot and block numbers;

P

5. Name of all owners within two hundred feet (200') of the site;

P

6. Streets with names;

P

7. Scale and north arrow.

P



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q. *Key Map:* A portion of the U.S. Geological Survey map shall be shown (scale 1"=2,000') indicating the following:

P

P

P

1. The site;
2. U.S.G.S. map number;
3. Scale and north arrow.

r. The location, area, dimensions and proposed disposition of any area or areas of the site proposed to be retained as common open space, indicating the facilities to be provided in such areas.

N/A

s. The capacity of off-street parking areas and the location and dimensions of all access drives, aisles and parking stalls. The location and treatment of existing and proposed entrances and exits to public rights-of-way, including the possible utilization of traffic signals, channelization, acceleration and deceleration lanes, additional width and any other device necessary for traffic safety and/or convenience, and the estimated average number of passenger vehicles, single unit trucks or buses, and semi-trailers that will enter the site each day.

N/A

t. Graphic depiction of the anticipated routes and details of the system of on-site vehicular and pedestrian circulation. If the developer desires to have the appropriate provisions of N.J.S.A. 39:1 et seq. governing motor vehicle operation made applicable to the site, thereby allowing municipal police regulation of traffic control devices, he shall submit a formal request and a detailed plan meeting the requirements of the New Jersey Department of Transportation. The City Engineer will advise the developer regarding the details of such a plan.

N/A

u. The location and size of proposed loading docks.

W

v. Location of curbs and sidewalks.

N/A

w. Cross-sections showing the composition of pavement areas, curbs, and sidewalks.

N/A

x. Exterior lighting plan, including the location, direction of illumination, amount of illumination expressed in horizontal foot candles, wattage and drawn details of all outdoor lighting standards and fixtures.

W

y. Landscaping and screening plan showing the location, type, spacing, and number of each type of tree or shrub, the location, type and amount of each type of ground cover to be utilized, and plant list and planting details for trees, shrubs, and/or ground cover.

W

z. Location of signs and drawn details showing the size, nature of construction, height and content of all signs.

P

aa. Drawn details of the type of screening to be utilized for refuse and recyclable material, storage areas, outdoor equipment and bulk storage areas.

W



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bb. Floor plans and building elevation drawings of any proposed structure or structures, or existing structures to be renovated.

P

cc. Location of handicapped facilities including parking spaces and ramps (where applicable).

N/A

dd. *Sectionalization and Staging Plan*. Developers of large uses such as shopping centers, multi-family dwellings, office parks or other such uses proposed to be developed in stages shall submit a sectionalization and staging plan showing the following:

1. The anticipated date for commencing construction of each section or stage. The staging of development on the site shall be such that if development of the site were discontinued after the completion of any stage, the developed portion of the site would comply in all respects to the requirements of this Ordinance and be provided with adequate drainage and utility systems.

N/A

2. Those improvements that will be completed in each stage prior to application for Certificate of Occupancy. The plan should demonstrate that the staging of construction will minimize adverse effects upon occupied buildings in the site and adjoining properties.

N/A

ee. Written description of the proposed operations in sufficient detail to indicate the effects of the use in producing traffic congestion, noise, glare, air pollution, fire hazards or safety hazards. The written description shall also include the hours of operation of the use, the number of shifts to be worked, the number of employees in each shift, the number of vehicles to be stored or parked on the site, and provisions to be made for site maintenance.

P

ff. Such other information as the Planning Board and/or City Engineer may request during site plan review.

Will be provided when and if requested

MISCELLANEOUS REQUIREMENTS THAT MAY BE REQUIRED

1. COST OF IMPROVEMENTS ESTIMATE (SEE 25-1600.1.1A)

W

2. SIGHT TRIANGLE - CORNER PROPERTIES (SEE 25-1700.13.3)

N/A

3. SOIL EROSION PLAN (SEE 25-1700.32)

In progress and appropriate Permit will be obtained

4. OTHER AGENCY REQUIREMENTS

N/A

a. County Planning Board (25-1500.8.3B)

b. New Jersey Water Company (25-1500.8.3C)

In progress and will be provided when received

c. Waterfront Development (CAFRA)

N/A as per attached letter from Waters Edge, LLC

d. Adequacy of Utility Service

In progress *

25-1500.10.2 Final Plat Requirements.

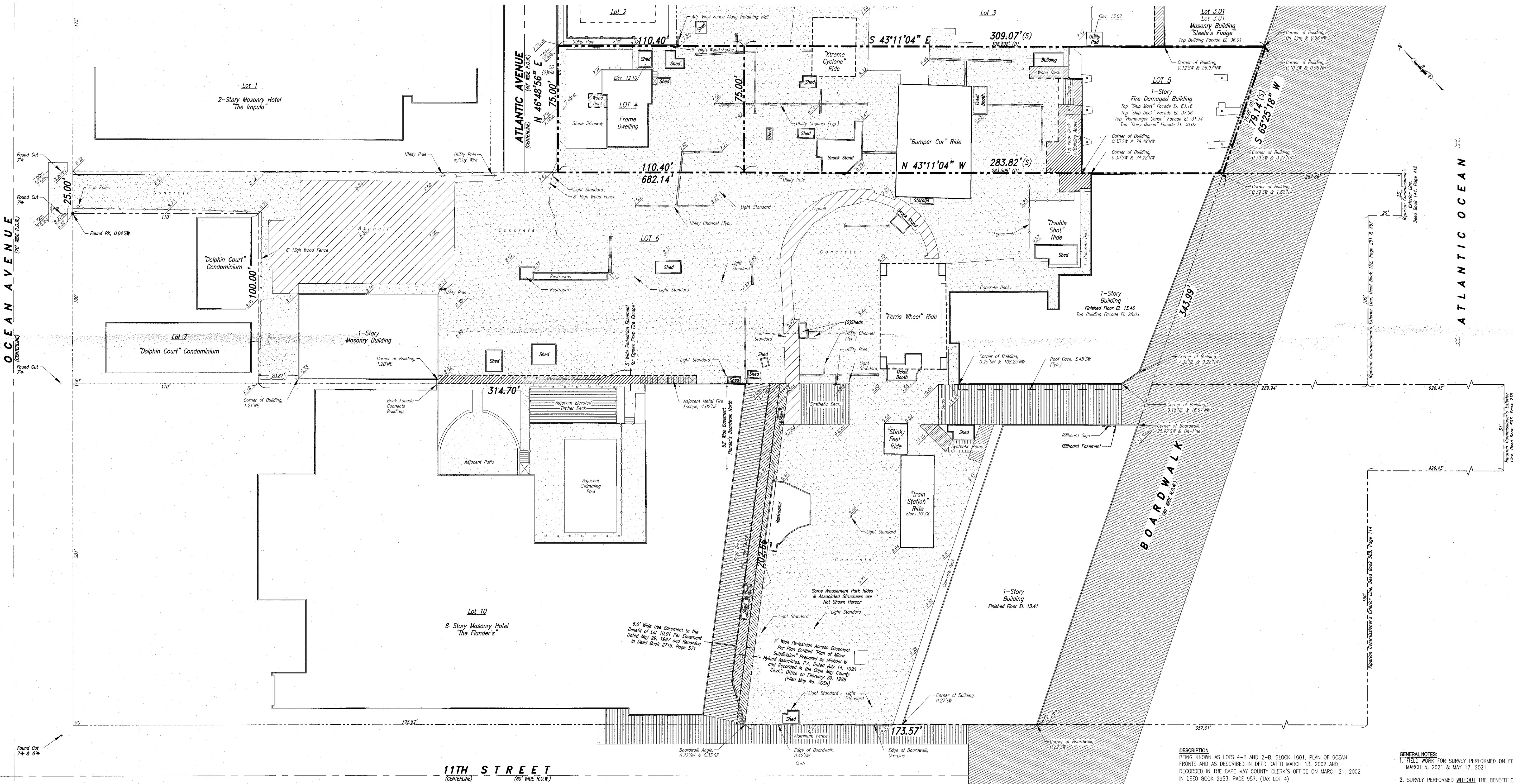
The final plat shall include all data required for the preliminary plat of the site plan and shall be drawn to incorporate all changes required as a condition of preliminary approval and shall be drawn by persons and to specifications as required for a preliminary plat and shall be titled "Final Plat - Site Plan."

P

(*Electric Availability Letter has been received by Atlantic City Electric and is included with this Application; Additional letters are being obtained from South Jersey Gas Company and New Jersey American Water Company. A permission letter is being obtained from the adjoining owner of the Lot on which the large rollercoaster is located to allow a new 4" water line to be run across that property to provide service for the sprinkler system which will be installed in the new building.

BUILDING FACADE HEIGHT SUMMARY

Facade Description	Facade Elev.	Boardwalk Elev.	Facade Height Above Boardwalk
LOT 5			
Ship Deck	37.56	13.3±	24.2±
Hamburger Construction Co.	31.34	13.3±	18.0±
Dairy Queen	30.07	13.3±	16.8±
LOT 3.01			
Steele's Fudge	36.01	13.3±	22.7±
LOT 10			
Multiple Stores	28.00	13.3±	14.7±



SURVEY LEGEND	
(S) =	(Survey) PROPERTY OUTBOUND PER FIELD SURVEY PERFORMED BY HYLAND DESIGN GROUP, INC. ON JUNE 4, 2013
(D) =	(Deed) PROPERTY OUTBOUND PER DEED TO SCOTT SIMPSON FROM SCOTT SIMPSON AND DONALD E. CHEATLE, CO-EXECUTORS FOR THE ESTATE OF DWIGHT L. SIMPSON DATED JULY 28, 2011 AND RECORDED IN THE CAPE MAY COUNTY CLERK'S OFFICE ON SEPTEMBER 9, 2011 IN DEED BOOK 3467, PAGE 323

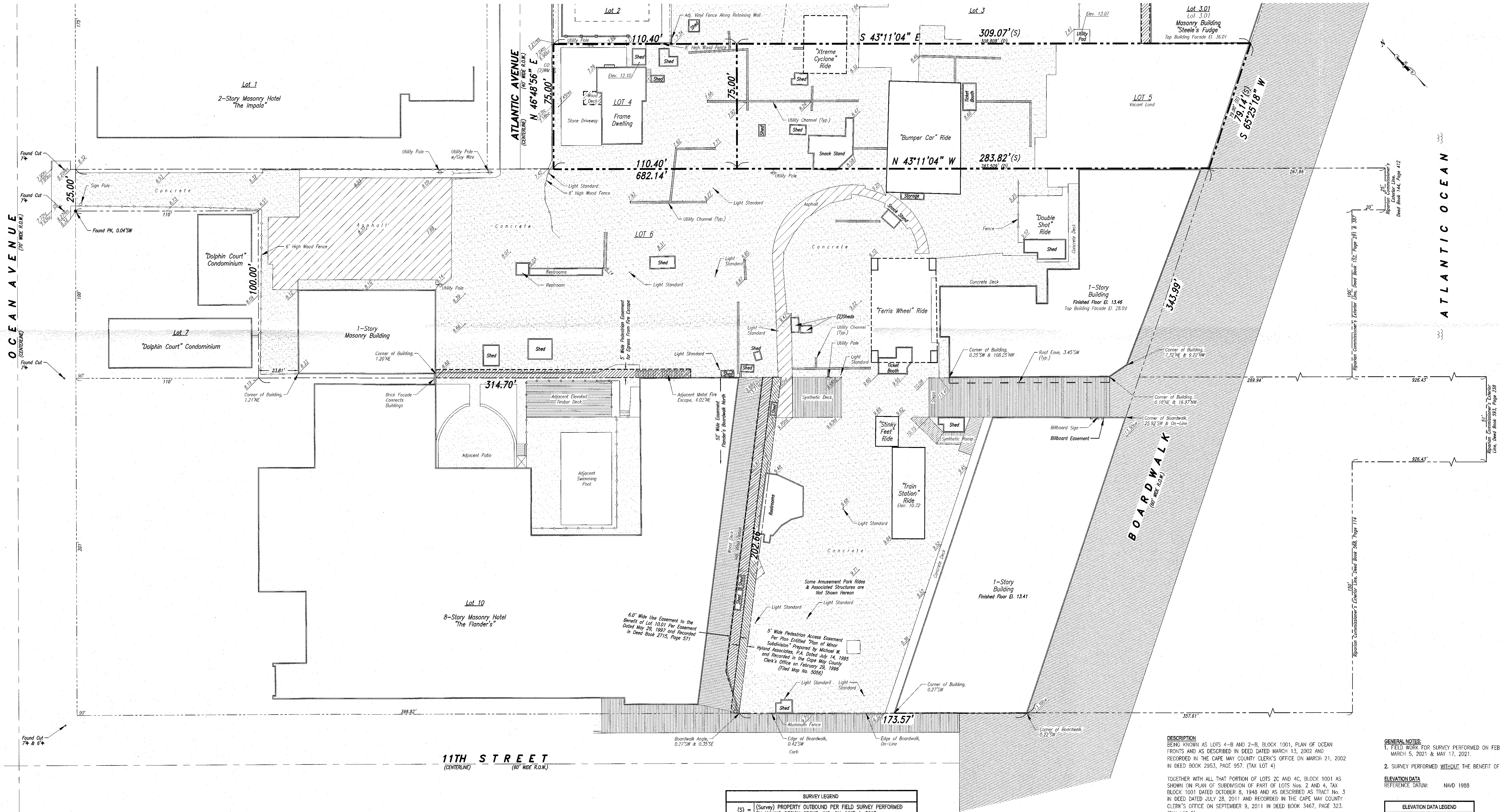
DESCRIPTION
BEING KNOWN AS LOTS 4-B AND 2-B, BLOCK 1001, PLAN OF OCEAN FRONTS AND AS DESCRIBED IN DEED DATED MARCH 13, 2002 AND RECORDED IN THE CAPE MAY COUNTY CLERK'S OFFICE ON MARCH 21, 2002 IN DEED BOOK 2953, PAGE 957. (TAX LOT 4)

TOGETHER WITH ALL THAT PORTION OF LOTS 2C AND 4C, BLOCK 1001 AS SHOWN ON PLAN OF SUBDIVISION OF PART OF LOTS Nos. 2 AND 4, TAX BLOCK 1001 DATED OCTOBER 8, 1948 AND AS DESCRIBED AS TRACT No. 3 IN DEED DATED JULY 28, 2011 AND RECORDED IN THE CAPE MAY COUNTY CLERK'S OFFICE ON SEPTEMBER 9, 2011 IN DEED BOOK 3467, PAGE 323. (TAX LOT 5)

ALSO BEING KNOWN AS LOTS 4 & 5 BLOCK 1001 AS SHOWN ON SHEET No. 15 OF THE CURRENT OFFICIAL TAX MAP OF THE CITY OF OCEAN CITY.

GENERAL NOTES:
1. FIELD WORK FOR SURVEY PERFORMED ON FEBRUARY 26, 2021, MARCH 5, 2021 & MAY 17, 2021.
2. SURVEY PERFORMED WITHIN THE BENEFIT OF A TITLE REPORT.

ELEVATION DATA LEGEND	
Existing Elevation	EXISTING ELEVATION
1d	TOP OF DECK
1w	BOARDWALK ELEVATION



SURVEY OF PREMISES

GRAPHIC SCALE: 1" = 30'

SURVEY LEGEND	
(S) =	(Survey) PROPERTY OUTBOUND PER FIELD SURVEY PERFORMED BY HYLAND DESIGN GROUP, INC. ON JUNE 4, 2013
(D) =	(Deed) PROPERTY OUTBOUND PER DEED TO SCOTT SIMPSON FROM SCOTT SIMPSON AND DONALD E. CHATELLE, CO-EXECUTORS FOR THE ESTATE OF DAVID L. SIMPSON DATED JULY 28, 2011 AND RECORDED IN THE CAPE MAY COUNTY CLERK'S OFFICE ON SEPTEMBER 9, 2011 IN DEED BOOK 3467, PAGE 323

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ELEVATION DATA	
REFERENCE DATUM: NAVD 1988	
ELEVATION DATA LEGEND	
EXISTING ELEVATION	
TOP OF DECK	
BOARDWALK ELEVATION	

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Project Team:

I declare that, to the best of my professional knowledge and belief, this map or plan is the result of a field survey made on the date shown, by me or under my direct supervision, in accordance with the rules and regulations promulgated by the "State Board of Professional Engineers and Land Surveyors". This property is subject to documents of record. Underground improvements, easements, rights, restrictions, right of ways, exceptions or covenants not visible or unknown to the surveyor are not shown. The illustration of any mapped or regulated environmental constraints that may be within the jurisdictional limits of federal, state and/or local regulatory agencies affecting the subject property are not included as part of contract with the client unless specifically shown.

Thomas R. Deneka
Thomas R. Deneka
NJ Professional Land Surveyor No. 35828

Project:

Location:
1020 Boardwalk
Block: 1001 Lot: 4 & 5
City of Ocean City
Cape May County
New Jersey

Client:

Simpson, Scott

No.	Description	Date
1.	Initial Issuance	03-09-21
2.	Building Facade Elevations	03-22-21
3.	Add Steel Beams & Concrete Blocks	05-19-21
4.	Survey Updated	11-19-21

Drawn By: R.F.R. Checked By: T.R.D.
Project No. 1424.01

Survey of Premises

NEIGHBORS & UTILITIES WITHIN 200 FT. RADIUS

Adjacent Property Listing Tax District 08 Ocean City

Property ID	Property Location	Class	Owner's Name & Address	
72.01 1	18th to East Surf Road OB72.00 L1	15C	City of Ocean City 861 Asbury Ave Ocean City, NJ	08226
901 22	986 A-H Boardwalk OB901 L16L2	4A	986 Boardwalk, LLC 650 New Road Linwood, NJ	08221
901 24.01	719 TENTH ST OB 901, L161L1, PART	15C	City of Ocean City 861 Asbury Ave Ocean City, NJ	08226
1001 1	1001-1011 Ocean Ave. OB1001 L1A	4A	10th Street Partners, LLC 4009 Landis Avenue Sea Isle City, NJ	08243
1001 3	1000 Boardwalk Rear OB1001 L1C2	4A	PANAB, LLC 118 Country Club Dr Linwood, NJ	08221
1001 3.01	1000 Boardwalk Rear OB 1001 L1D, 1DZ	4A	PANAB, LLC 118 Country Club Dr Linwood, NJ	08221
1001 4	1015 Atlantic Avenue OB1001, L2.B, 4B	2	Castaway Cove 7 Dirt Road Marmora, NJ	08223
1001 5	1020 Boardwalk OB 1001, L2C	1	1020 Boardwalk LLC PO Box 358 Ocean City, NJ	08226

CONDOMINIUMS

PLEASE CONTACT THE PRESIDENT OF CONDO ASSOCIATION FOR PROPERTIES

B 901 L 24	801 TENTH ST	WILD DUNES 801 10TH STREET OCEAN CITY, NJ 08226	(28 UNITS)
B 1001 L 2	1001 ATLANTIC AVE.	EBB TIDE 1001 ATLANTIC AVE. OCEAN CITY, NJ 08226	(8 UNITS)
B 1001 L 6	1168 BOARDWALK	1168 BOARDWALK ASSOC. OCEAN CITY, NJ 08226	(14 UNITS)
B 1001 L 10	719 11TH STREET	FLANDERS (COMM/RES) 719 11TH STREET OCEAN CITY, NJ 08226	(123 UNITS)

Utilities

South Jersey Gas Company
Corporate Headquarters
1 South Jersey Plaza
Folsom, NJ 08037

Verizon Engineering Dept
10 Tansboro Road Flr 2
Berlin, NJ 08009

CAo May Co. Municipal Utilities Authority
Attn: Corporate Secretary
1523 Route 9 North
Cap May Court House, NJ 08210

New Jersey American Water
James Runzer, Manager
3215 Fire Road
Egg Harbor Twp., NJ 08234-5957

Comcast Cable
Attn: Gregory Smith, Project Manager
901 West Leeds Avenue
Absecon, NJ 08201

Atlantic City Electric Company
5100 Harding Highway Suite 399
Mays Landing, NJ 08330

USGS MAP
GRID ZONE
DESIGNATION 18S
SCALE= 1 IN : 2,000 FT



OCEAN CITY ZONING SCHEDULE							
CATEGORY	UNIT	PERMITTED OR REQUIRED	BEFORE FIRE		PROPOSED	STATUS	REMARKS
ZONE DISTRICT	--	ON BD- ON BOARDWALK	SAME	C	SAME	C	NO CHANGE
USE DESIGNATION	--	RETAIL, FOOD VENDORS, AMUSEMENTS, & STORAGE	TWO STORY	C	TWO STORY	C	RIDE MECH/ELEC CONTROL, ROOM ABOVE 2ND FLOOR OFFICES
LOT AREA	SF	2,250	22,234	C	22,234	C	(309.07+283.82)/2=296.45 X 75= 22,234 SF
LOT FRONTAGE	FT	30	79.14	C	79.14	C	--
LOT DEPTH	FT	100	296.45	C	296.45	C	AVERAGE
LOT WIDTH	FT	30	75	C	75	C	--
FRONT SETBACK 1 STORY	FT	0 AT BOARDWALK	0	C	0	C	--
FRONT SETBACK 2 STORY	FT	10 AT 2ND FLOOR	0 TO 25 2ND FLR	C	10 TO 25 2ND FLR	C	--
REAR SETBACK	FT	25	181	C	181	C	--
SIDE SETBACK	FT	0	0	C	1/3 = (4")	C	--
SECOND SIDE SETBACK	FT	0	0	C	1/3 = (4")	C	--
BUILDING HEIGHT ON-BD 1 STORY	FT	13 ONE STORY	18.0 = 18'-0"	C	14.3 = 14'-3 1/2"	V	--
BUILDING HEIGHT ON-BD 2 STORY	FT	25 TWO STORY / 10 SETBACK	28.16 = 28'-2"	C	27.5 = 27'-6"	V	C VARIANCE
BUILDING HT. ON-BD > 2 STORY	FT	25 TWO STORY / 10 SETBACK	--	C	35.0 = 35'-0"	C	PART OF FUTURE NEW RIDE
PARKING REQUIREMENTS	#	NONE	NONE	C	NONE	C	--
FLOOR AREA RATIO	%	N/A	N/A	C	N/A	C	--
BUILDING COVERAGE	%	80	35.3 (7,845 SF)	C	38.6 (8,575 SF)	C	BLDG. COVERAGE 8,481 SF BLDG / 22,234 SF LOT = 38%
IMPERVIOUS LOT COVER.	%	80	100	C	100	V	--

0 - CONFORMS
ENC - EXISTING NONCONFORMING
NC - NONCONFORMING
NIC - NO CHANGE
N/A - NOT APPLICABLE
SF - SQUARE FEET
CF - CUBIC FEET
V - VARIANCE

USGS:
ARCADE WITH HO RAMP AT BOARDWALK LEVEL 8,575 SF
2ND FLOOR: OFFICES, STORAGE & BATHROOMS 7,021 SF

NOTE: THE CENTENNIAL BUILDING AND OTHERS ALONG BOARDWALK HAVE HIGHER STOREFRONTS THAN WAS EXISTING AT PLAYLAND (1941-42) BUILDING

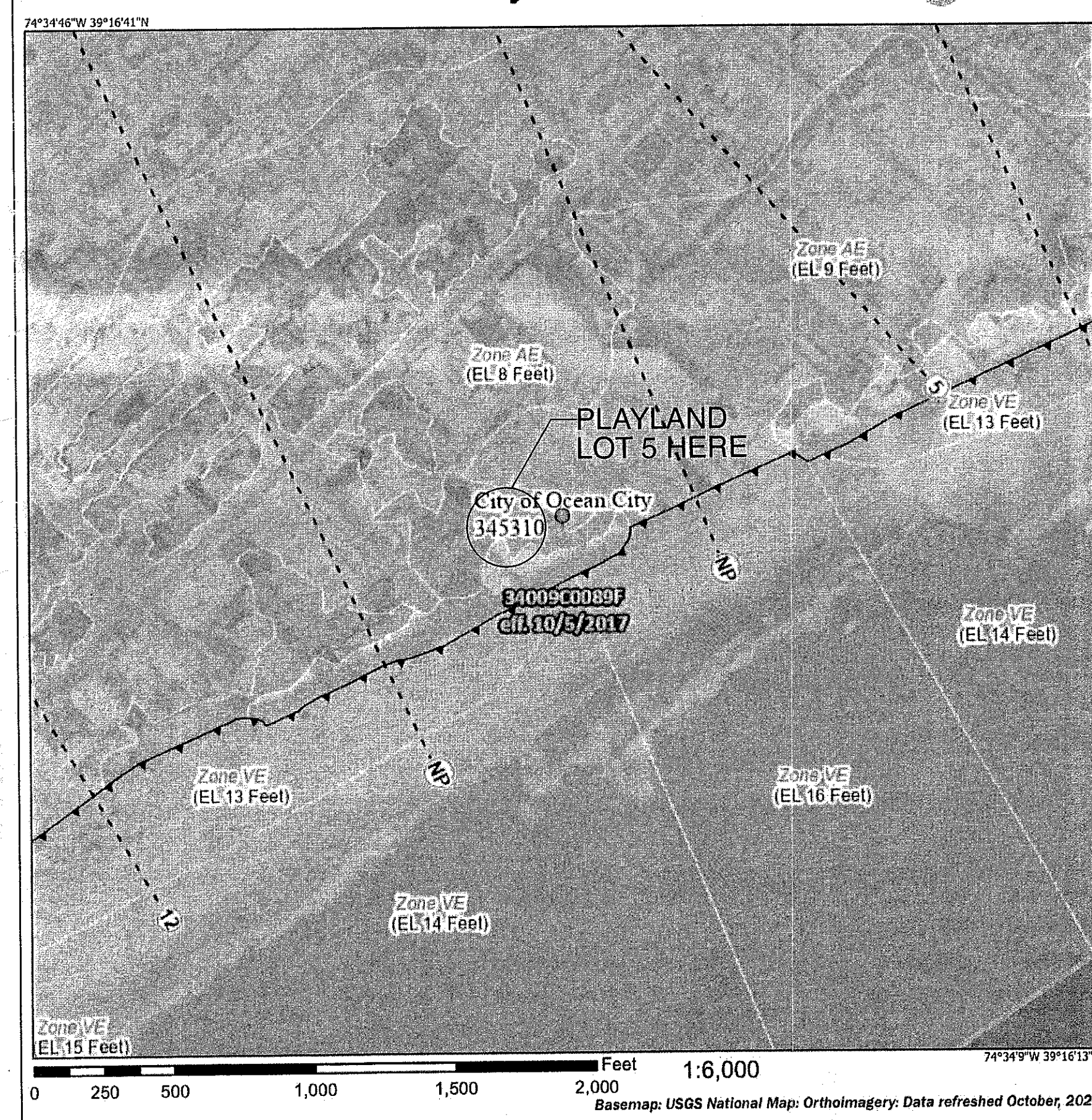
SIGN SCHEDULE

SIGN SIZE BASED ON 15% OF FRONTAGE AREA	SIGN #	STORE	SIGN SIZE BEFORE FIRE	PROPOSED SIGN AREA TOTAL IN SF	PROPOSED SIGN SIZE SEE COLOR PHOTOS	VARIANCE STATUS
20 FT X 14.3 FT = 286 SF 15% = 42.9 SF	#1	DAIRY QUEEN	40.5 SF	40.5 SF	2 FT X 14 FT + 2'-6" X 5' (IN MIDDLE)	C
41.5 FT X 14.3 FT = 593 SF 15% = 89	#2	PLAYLAND'S CASTAWAY COVE	191 SF	118.5 SF	3.3 FT X 35.9 FT	V
17.7 FT X 14.3 FT = 253 SF 15% = 38 SF	#3	RETAIL STORE	60 SF	36 SF	3.3 FT X 10.9 FT	C
TOTAL SIGN AREA PERMITTED 79.14 FT X 14.3 FT = 1,131.7 SF 15% = 169.8 SF			291.5 SF	195 SF	TOTAL SIGN AREA PROPOSED = 195 SF	C

1. ALL 3 SIGNS ARE BACKLIT

FEMA MAP

National Flood Hazard Layer FIRMette



Legend

- SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT
- SPECIAL FLOOD HAZARD AREAS**
- Without Base Flood Elevation (BFE) Zone A, V, X
 - With BFE or Depth Zone AE, A1, A2, A3, V1, V2, X1, X2
 - Regulatory Floodway
- OTHER AREAS OF FLOOD HAZARD**
- Area of Minimal Flood Hazard Zone X
 - Effective LOMR
 - Area of Undetermined Flood Hazard Zone D
- OTHER AREAS**
- Channel, Culvert, or Storm Sewer
- GENERAL STRUCTURES**
- Levee, Dike, or Floodwall
- OTHER FEATURES**
- Cross Sections with 1% Annual Chance Water Surface Elevation
 - Coastal Tract
 - Base Flood Elevation Line (BFE)
 - Limit of Study
 - Jurisdiction Boundary
 - Coastal Tract Baseline
 - Profile Baseline
 - Hydrographic Feature
- MAP PANELS**
- Digital Data Available
 - No Digital Data Available
 - Unmapped
- The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.
- This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.
- The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 6/23/2021 at 7:44 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.
- This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmapped areas cannot be used for regulatory purposes.

City of Ocean City
Portion of FEMA Map
#345310 Zone VE Zone X
Adjacent to Zone AE EL. 9.0

Applicant: 1020 Boardwalk, LLC
Ocean City, New Jersey 08226
a New Jersey Limited
Liability Company

Signatures

Planning Board Chairman: _____

Planning Board Secretary: _____

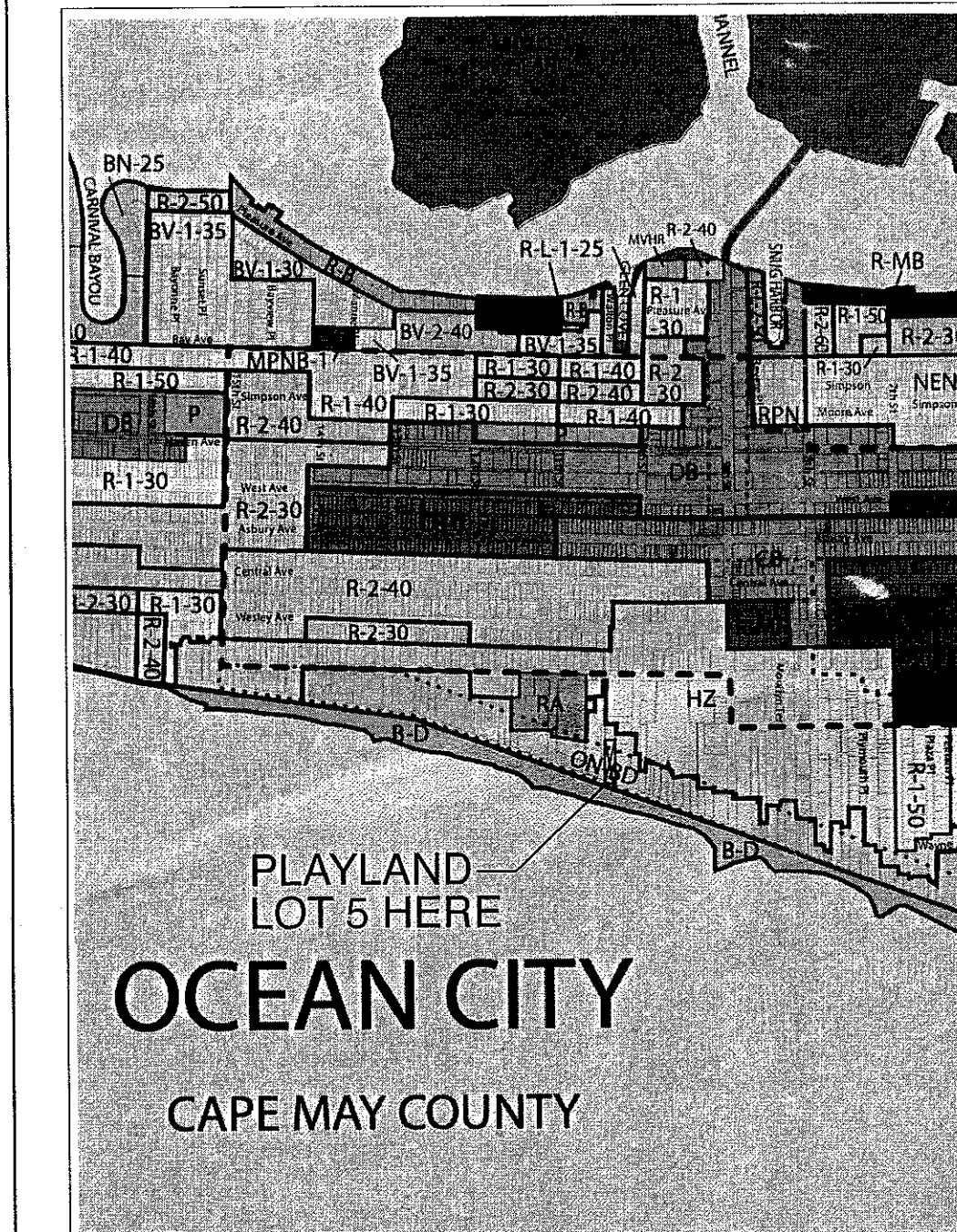
Planning Board Engineer: _____

Planning Board Planner: _____

DRAWING INDEX ALTERNATES

- Z-1 Neighbors List, Maps, Zoning, Signs, Photos & Index
- Z-2 Playland Boardwalk Front Photo
- SP-1 Aerial Site Plan
- SP-2 Site Plan w/drainage & Details
- S-1 First & Second Floor Plan
- S-2 Building Sections
- S-3 Boardwalk Front Elevation
- S-4 South Elevation
- S-5 West Elevation
- S-6 North Elevation
- S Survey

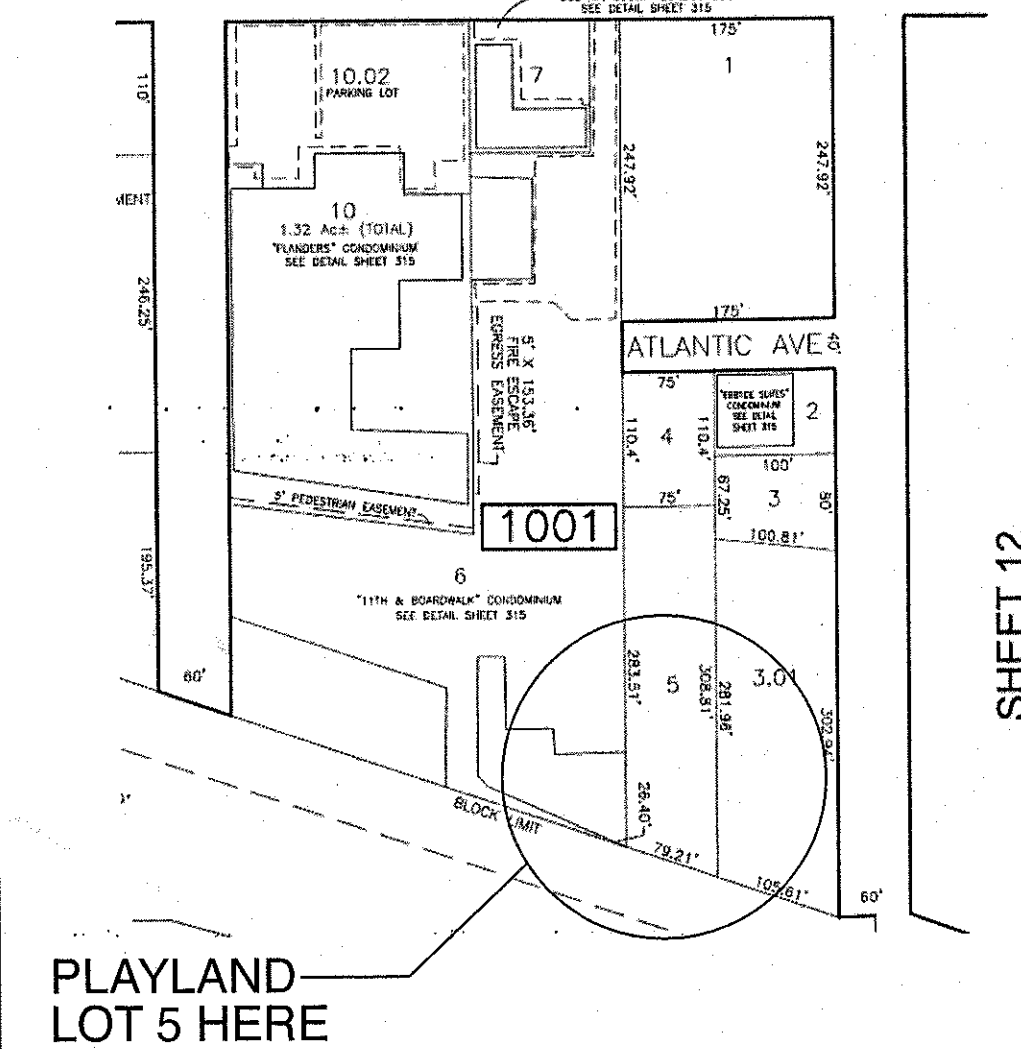
ZONING MAP



ZONING DISTRICT MAP

- Marine Village Harbor
- Marion Park Neighborhood
- Neighborhood Business
- North End Neighborhood
- Neel Neighborhood
- Ocean City Homes Neighborhood
- On-Boardwalk
- Public
- Residential - One Family

TAX MAP



PLAYLAND LOT 5 HERE

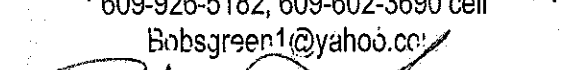
THIS MAP WAS FORMALLY
CERTIFIED BY THE
DIVISION OF TAXATION ON
DECEMBER 14, 2006, SIGNED
BY SANTO C. DIDONATO, CTA AND
ASSIGNED SERIAL NUMBER 903

TAX MAP
CITY OF OCEAN CITY
ARNOLD W. BARNETT
PROFESSIONAL ENGINEER AND LAND SURVEYOR
NEW JERSEY LICENSE NO. 1009
2015 STATE LICENSE RENEWAL
HARRINGTON, NEW JERSEY 08040
COUNTY OF OCEAN

REVISION: PER 9/7/21 PLANNING
SUB-BOARD COMMITTEE MEETING

COVER SHEET

MOUNTAIN RIDE REMOVED
MAINTAIN MINIMUM 10 FT SETBACK
FROM BOARDWALK ON 2ND STORY.
REVISE 1ST STORY BLDG. HEIGHT FROM
17 FT TO 14.3 FT & REVISE SIGN AREAS
TO COMPLY WITH ZONING 10/25/21

R. D. Green Engineering		Preliminary & Final Site Plan			
Structural, Foundation, Marine & Site Plan Engineering 1512 Atkinson Avenue, Somers Point, NJ 08244 USA 609-926-5182, 609-602-3690 cell Rdsgreen1@yahoo.com		Playland's Castaway Cove Arcade Building Reconstruction 1020 Boardwalk Ocean City, New Jersey 08226 Block 1001, Lots 5			
					
Robert Douglas Green, P.E.					
PROFESSIONAL ENGINEER NJ LIC#ENSE #24GF074637		Z-1			

Robert Douglas Green, P.E.
PROFESSIONAL ENGINEER
NJ LICENSE #24GE026637



PLAYLAND'S CASTAWAY COVE

PLAYLAND'S FRONT FACADE BEFORE FIRE
SEE S-3 FOR PROPOSED RECONSTRUCTION

REVISION: PER 9/7/21 PLANNING
SUB-BOARD COMMITTEE MEETING

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& Site Plan Engineering
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rdsgreen1@yahoo.com
Robert Douglas Green
Robert Douglas Green, P.E.
PROFESSIONAL ENGINEER
NJ LICENSE #24GE026637

Preliminary & Final Site Plan
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Arcade Building Reconstruction
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Ocean City, New Jersey 08226
Block 1001, Lots 5

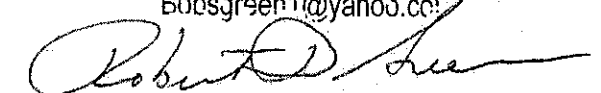
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	TAC	AS SHOWN		Z-2
SET DWG. NO.	CALC. BY	DATE		
	CHECKED BY	09/14/2021		

PLAYLAND'S PROPERTY OUTLINE



REVISION: PER 9/7/21 PLANNING
SUB-BOARD COMMITTEE MEETING

PLAYLAND'S AERIAL VIEW

R. D. Green Engineering Structural, Foundation, Marine & Site Plan Engineering 1512 Atkinson Avenue, Somers Point, NJ 08244 USA 609-926-5182, 609-602-3690 cell Bobsgreen1@yahoo.com  Robert Douglas Green, P.E. PROFESSIONAL ENGINEER NJ. LICENSE #24GE026637		Preliminary & Final Site Plan Playland's Castaway Cove Arcade Building Reconstruction 1020 Boardwalk Ocean City, New Jersey 08226 Block 1001, Lots 5			
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SET DWG. NO.	CALC. BY RDG	AS SHOWN DATE 09/14/2021		SP-1	

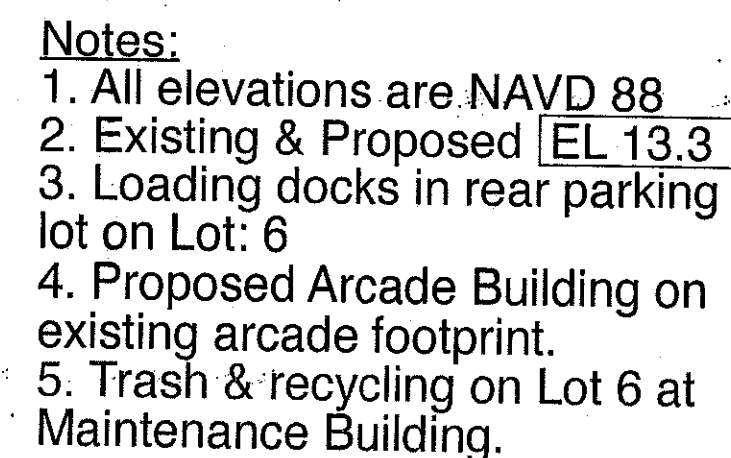


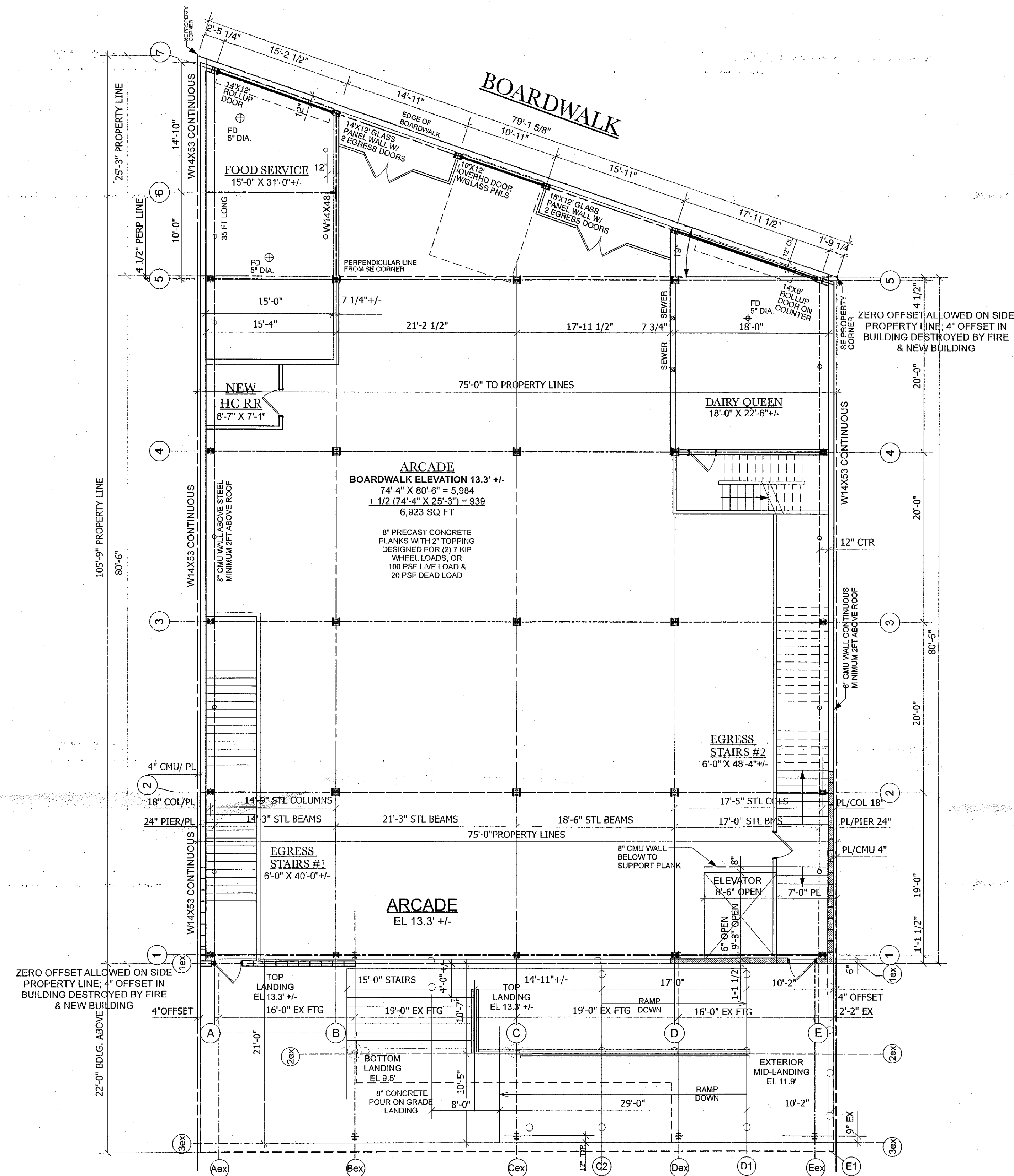
SCALE: 3/4" = 1'-0"

NOTE: NO NEW CURBS OR SIDEWALKS



SCALE- 1/2" = 1'-0"

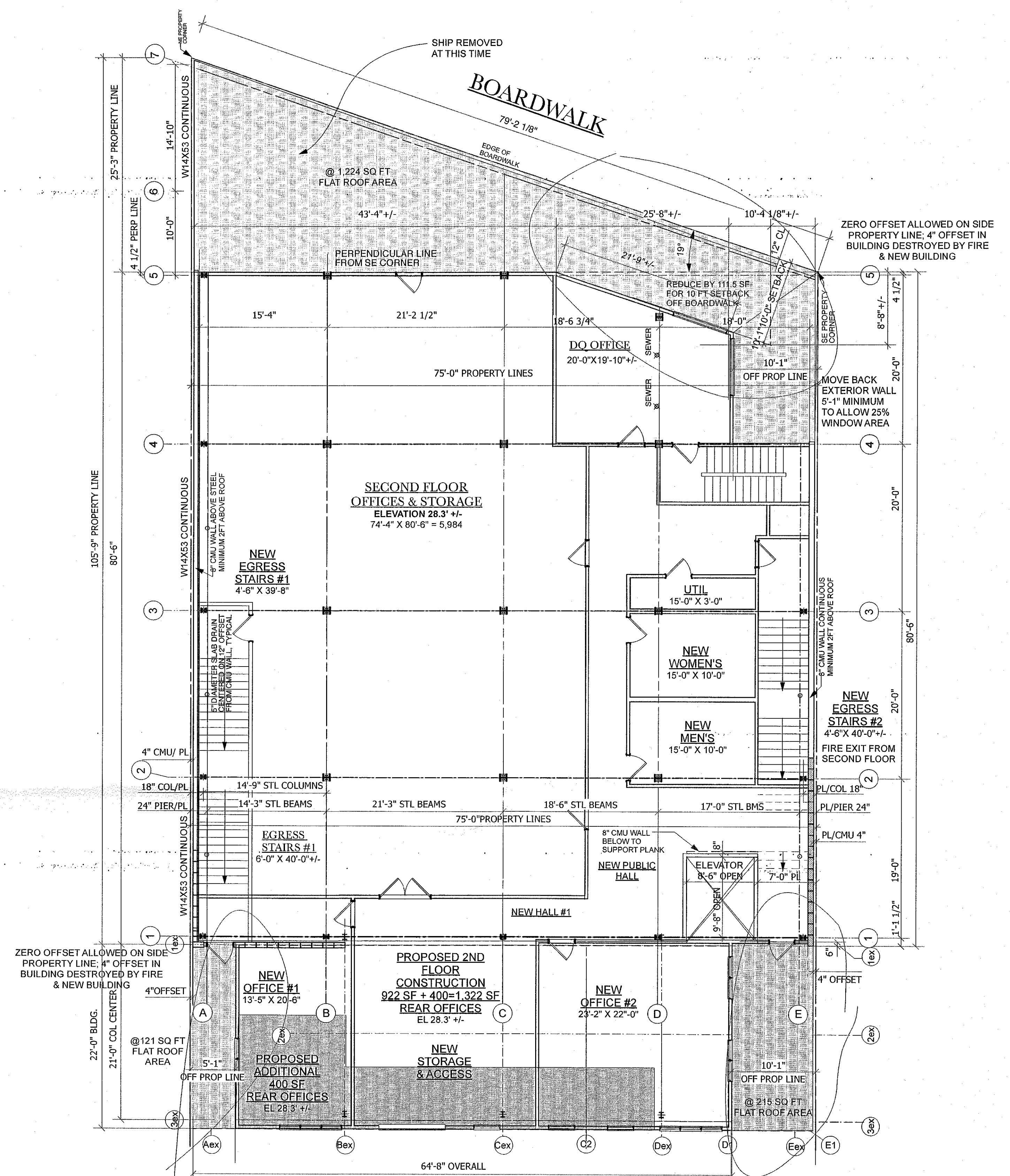




NOTE: PROPOSED BUILDING FOOTPRINT SHALL BE THE SAME AS THE PRIOR BUILDING BEFORE BEING DESTROYED BY FIRE

PROPOSED BOARDWALK LEVEL ARCADE FLOOR PLAN

SCALE: 1/8" = 1'-0"



NOTE: PROPOSED BUILDING FOOTPRINT SHALL BE THE SAME AS THE PRIOR BUILDING BEFORE BEING DESTROYED BY FIRE PLUS 400 SF ADDITIONAL

PROPOSED SECOND LEVEL OFFICES & STORAGE FLOOR PLAN

SCALE: 1/8" = 1'-0"

REMOVED MOUNTAIN & RIDE

REVISION: PER 10/12/21 PLANNING SUB-BOARD COMMITTEE MEETING

MAINTAIN MINIMUM 10 FT SETBACK FROM BOARDWALK ON 2ND STORY. REVISE 1ST STORY BLDG. HEIGHT FROM 17 FT TO 14.3 FT & REVISE SIGN AREAS TO COMPLY WITH ZONING 10/26/21

REVISION: PER 10/25/21 PLANNING SUB-BOARD COMMITTEE MEETING

REVISION: PER 9/7/21 PLANNING SUB-BOARD COMMITTEE MEETING

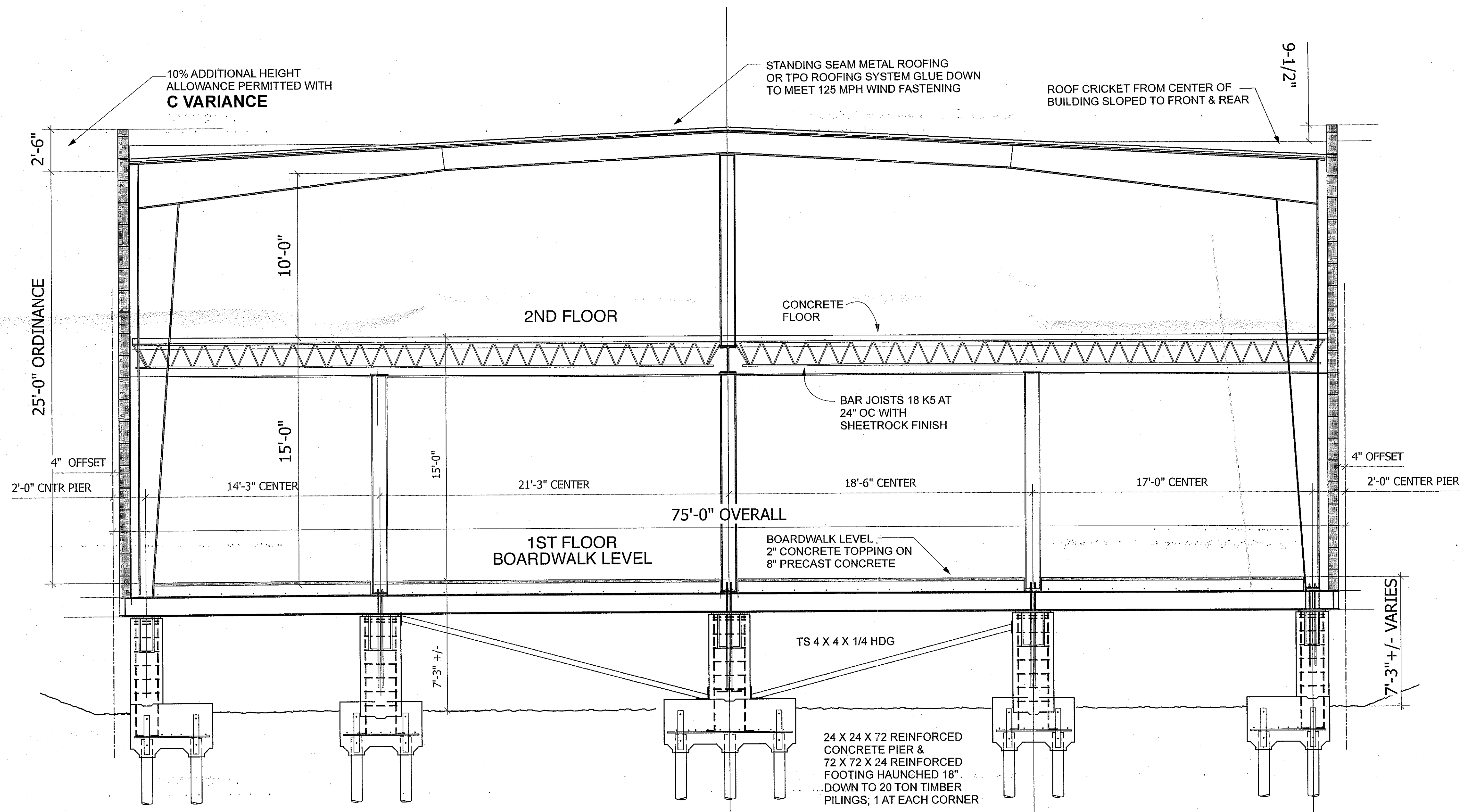
R. D. Green Engineering
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1512 Atkinson Avenue, Somers Point, NJ 08244 USA
609-926-5182, 609-602-3690 cell
rdgreen1@yahoo.com

Robert Douglas Green
Robert Douglas Green, P.E.
PROFESSIONAL ENGINEER
NJ LICENSE #24GE026637

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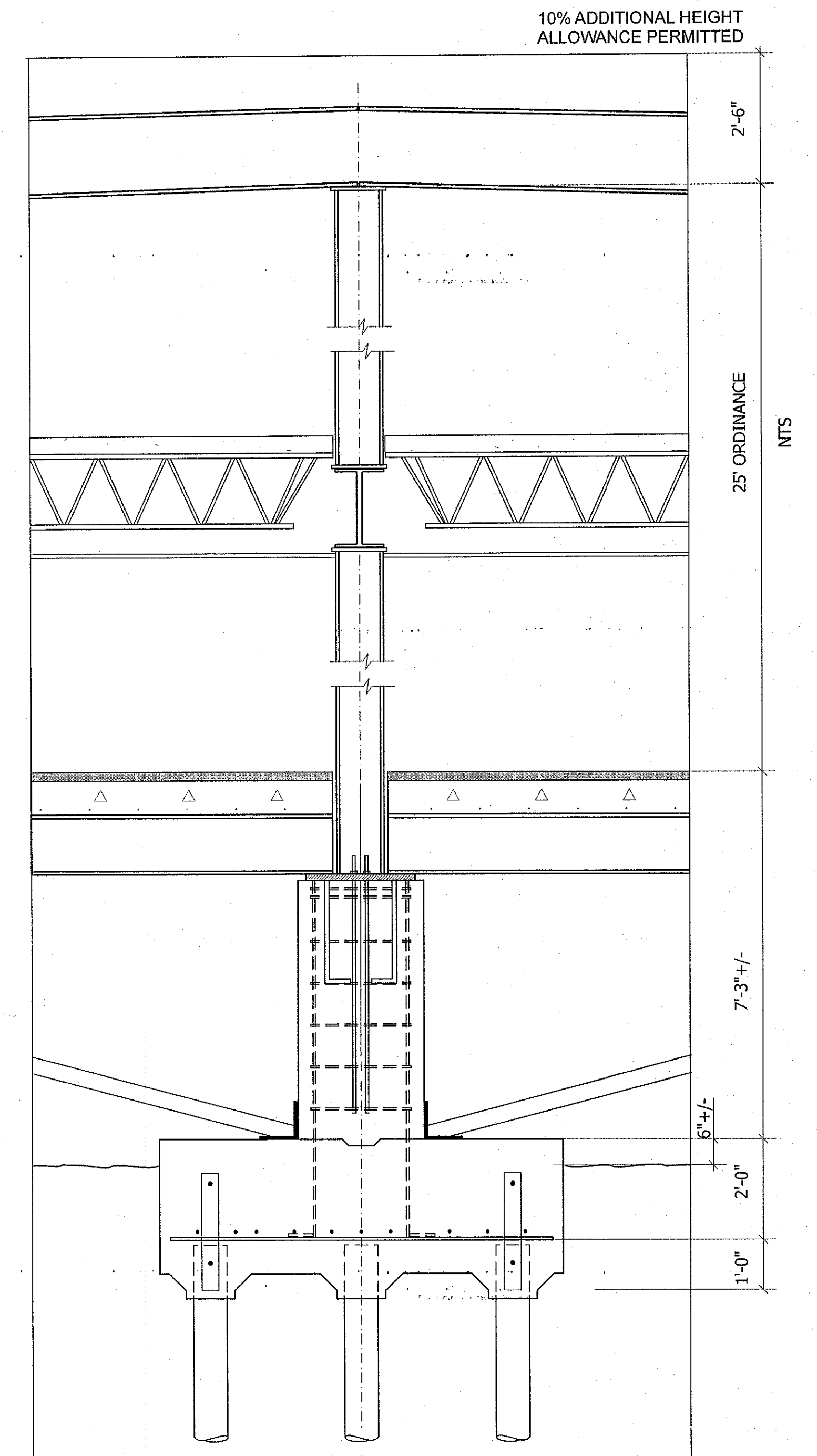
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	TAC	AS SHOWN		
SET DWS. NO.	CALC. BY	DATE		
	CHECKED BY	09/14/2021		
	RDG			

S-1



**SECTION THRU BUILDING
VIEW FROM BOARDWALK**

SCALE: 1/4" = 1'-0"



TYPICAL SECTION C-3
SCALE: 3/4" = 1'-0"

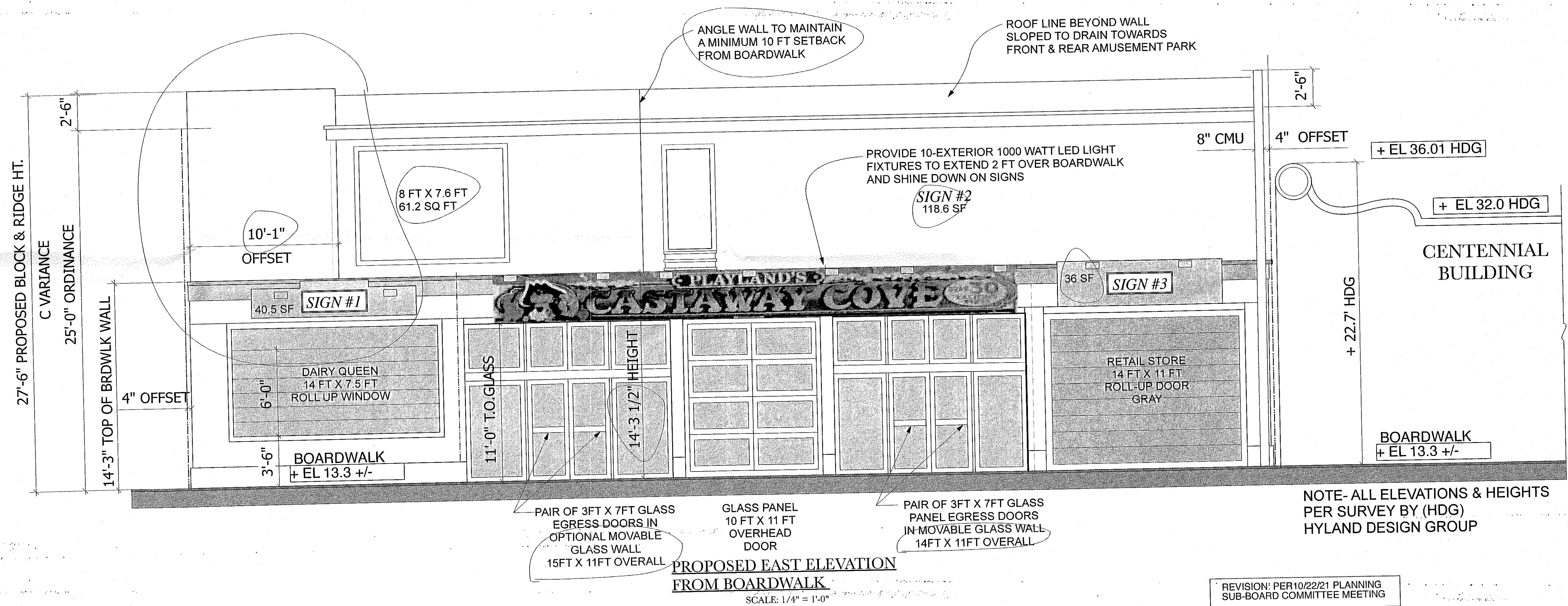
REMOVED MOUNTAIN & RIDE

REVISION: PER 9/7/21 PLANNING
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rdgreen1@yahoo.com
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SET DWG. NO.	CALC. BY RDG	DATE 09/14/2021		S-2



REVISION: PER 10/22/21 PLANNING SUB-BOARD COMMITTEE MEETING

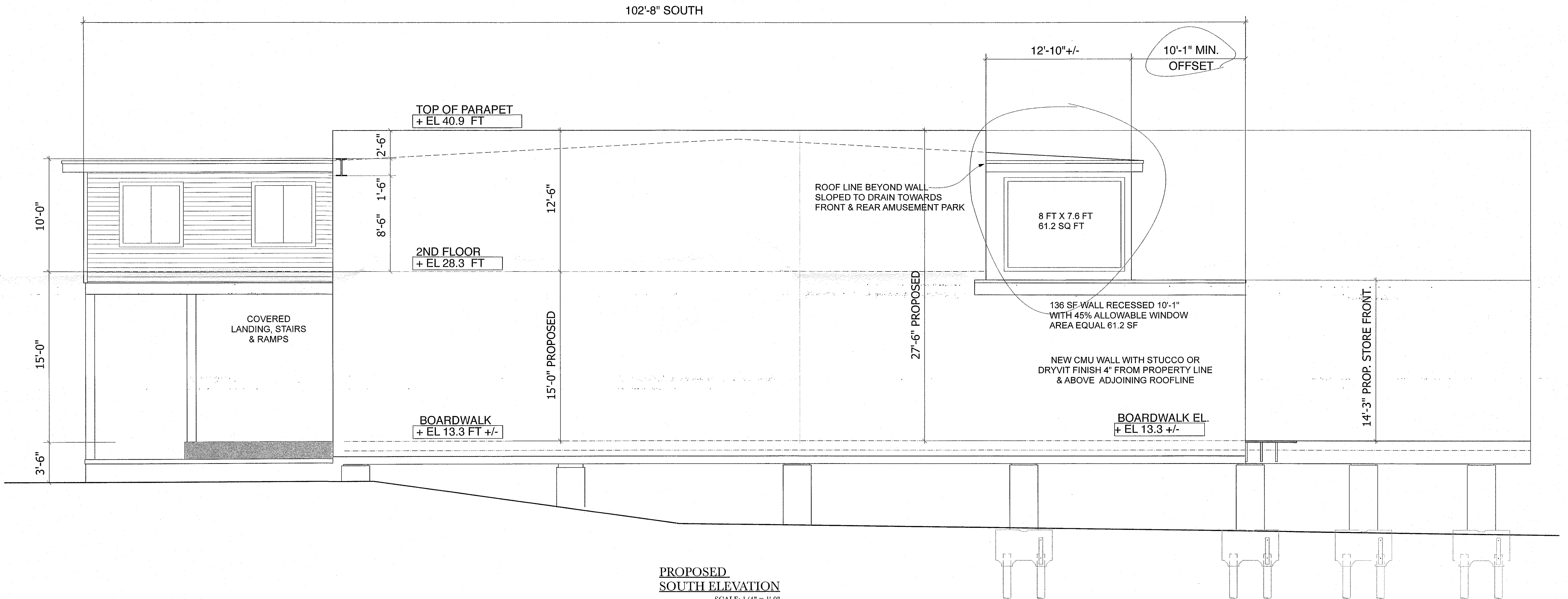
MAINTAIN MINIMUM 10 FT SETBACK FROM BOARDWALK ON 2ND STORY. REVISE 1ST STORY BLDG. HEIGHT FROM 17 FT TO 14.3 FT & REVISE SIGN AREAS TO COMPLY WITH ZONING 10/26/21
REMOVED MOUNTAIN & RIDE

REVISION: PER 9/7/21 PLANNING SUB-BOARD COMMITTEE MEETING

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rbsgrgreen1@yahoo.com
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FIELD BOOK	DRAWING BY TAC	SCALE AS SHOWN	PROJECT NO.	FILE DRAWING NO.
SET DWS. NO.	CALC. BY RDG	DATE 09/14/2021		S-3



REVISION: PER 10/22/21 PLANNING
SUB-BOARD COMMITTEE MEETING

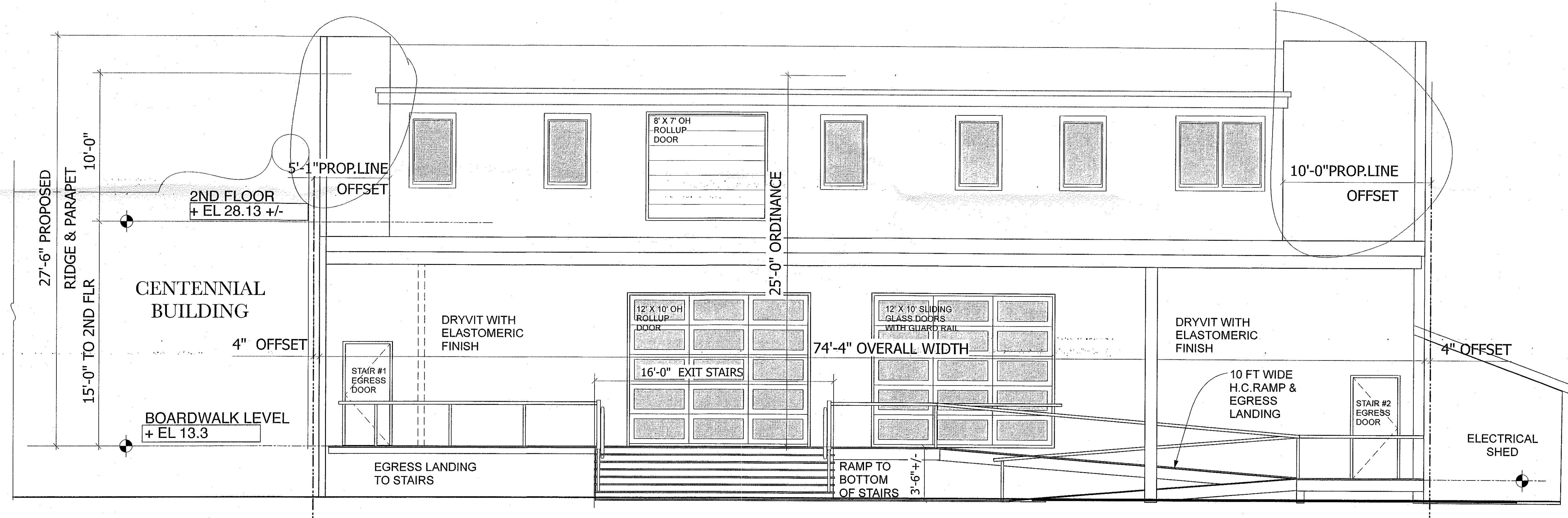
REMOVED MOUNTAIN & RIDE
MAINTAIN MINIMUM 10 FT SETBACK
FROM BOARDWALK ON 2ND STORY.
REVISE 1ST STORY BLDG. HEIGHT FROM
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FIELD BOOK	DRAWING BY	SCALE	PROJECT NO.	FILE DRAWING NO.
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SET DWG. NO.	CALC. BY	DATE		
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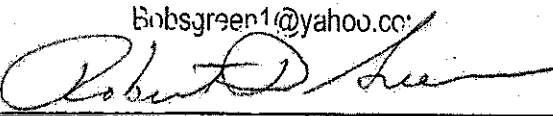
**PROPOSED WEST ELEVATION
FROM AMUSEMENT PARK**
SCALE: 1/4" = 1'-0"

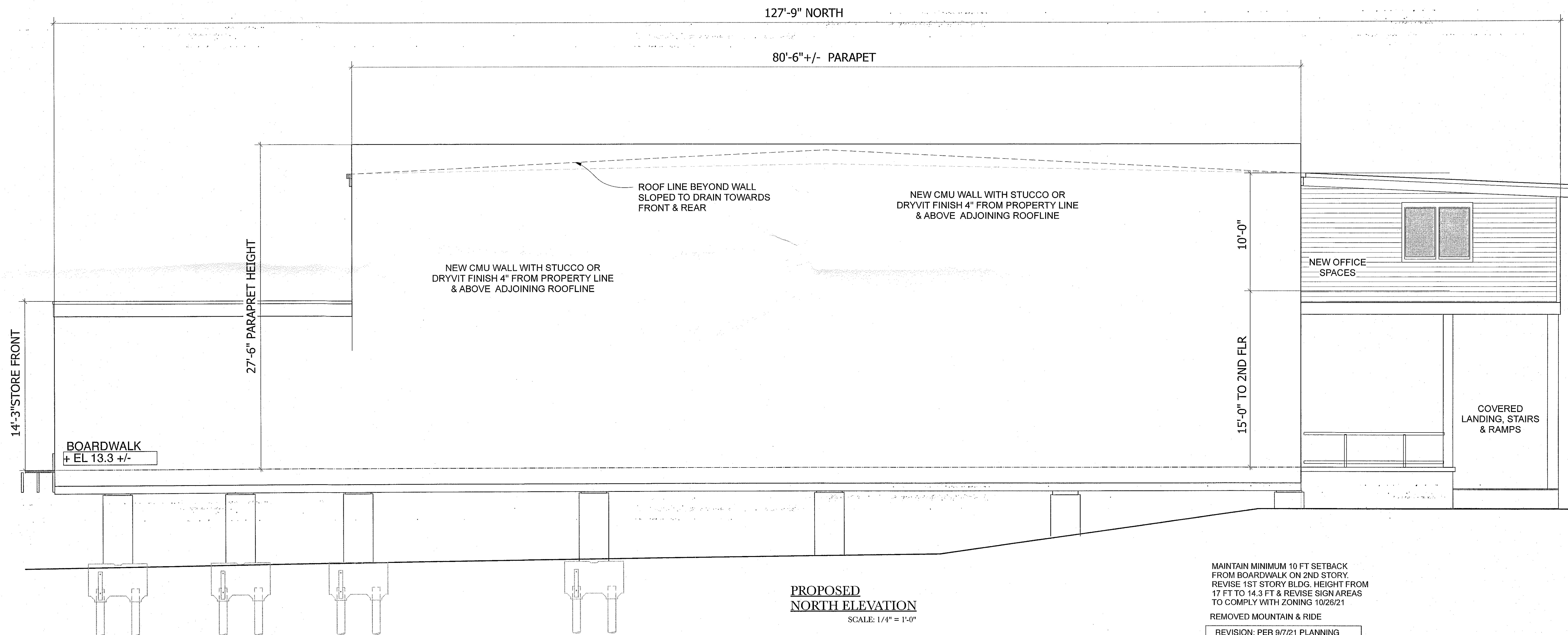
REVISION: PER 10/22/21 PLANNING
SUB-BOARD COMMITTEE MEETING

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FROM BOARDWALK ON 2ND STORY.
REVISE 1ST STORY BLDG. HEIGHT FROM
17 FT TO 14.3 FT & REVISE SIGN AREAS
TO COMPLY WITH ZONING 10/26/21

REMOVED MOUNTAIN & RIDE

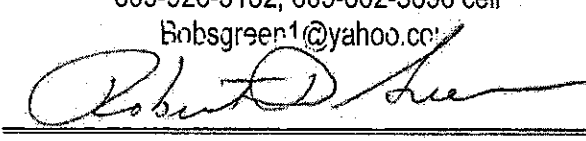
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SUB-BOARD COMMITTEE MEETING

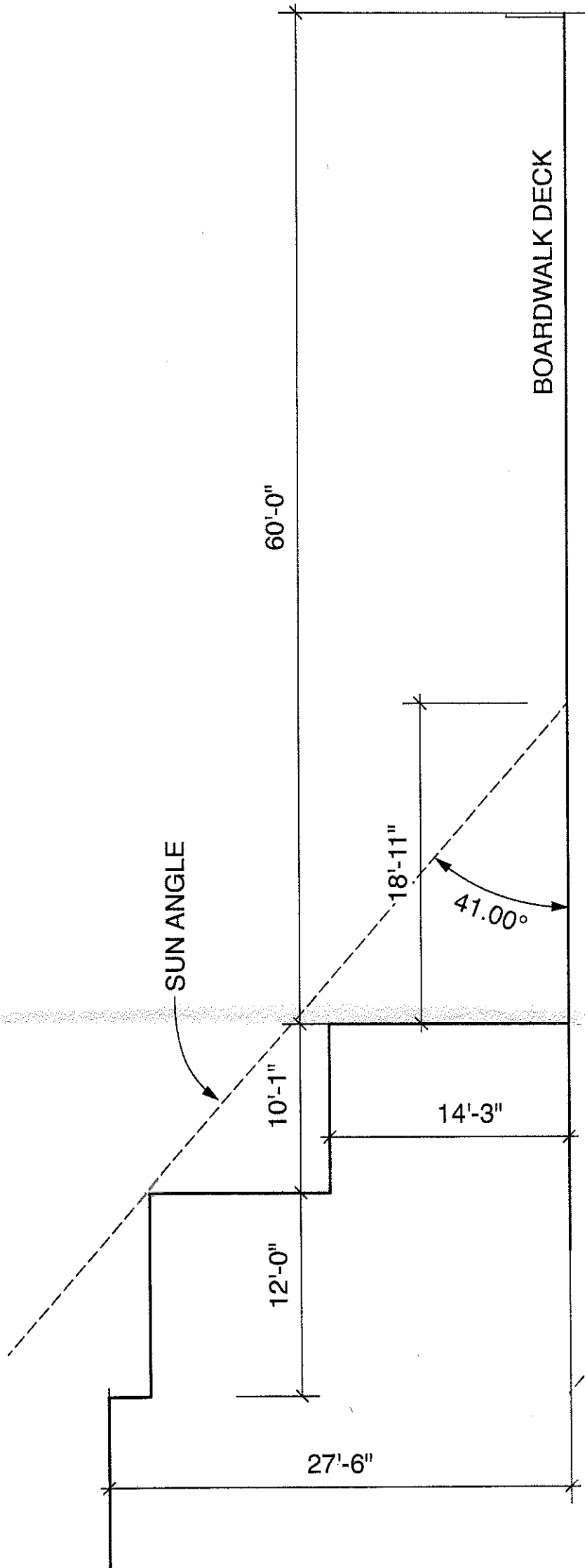
R. D. Green Engineering Structural, Foundation, Marine & Site Plan Engineering 1512 Atkinson Avenue, Somers Point, NJ 08244 USA 609-926-5182, 609-602-3690 cell bntsgreen1@yahoo.com  Robert Douglas Green, P.E. PROFESSIONAL ENGINEER NJ LICENSE #24GE026637		Preliminary & Final Site Plan Playland's Castaway Cove Arcade Building Reconstruction 1020 Boardwalk Ocean City, New Jersey 08226 Block 1001, Lots 5			
FIELD BOOK	DRAWING BY TAC	SCALE AS SHOWN	PROJECT NO.	FILE DRAWING NO.	
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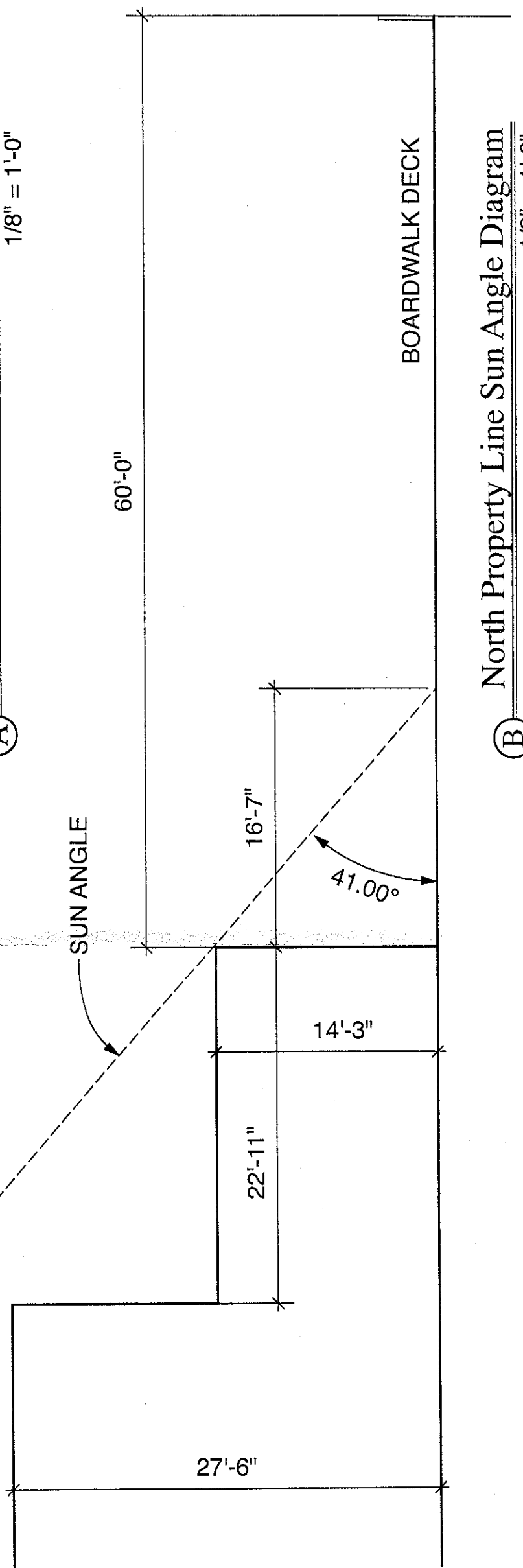
MAINTAIN MINIMUM 10 FT SETBACK FROM BOARDWALK ON 2ND STORY. REVISE 1ST STORY BLDG. HEIGHT FROM 17 FT TO 14.3 FT & REVISE SIGN AREAS TO COMPLY WITH ZONING 10/26/21

REMOVED MOUNTAIN & RIDE
REVISION: PER 9/7/21 PLANNING SUB-BOARD COMMITTEE MEETING

R. D. Green Engineering <i>Structural, Foundation, Marine & Site Plan Engineering</i> 1512 Atkinson Avenue, Somers Point, NJ 08244 USA 609-926-5182, 609-602-3690 cell rdgreen1@yahoo.com  Robert Douglas Green, P.E. PROFESSIONAL ENGINEER NJ LICENSE #24GE026637		Preliminary & Final Site Plan Playland's Castaway Cove Arcade Building Reconstruction 1020 Boardwalk Ocean City, New Jersey 08226 Block 1001, Lots 5		
FIELD BOOK	DRAWING BY TAC	SCALE AS SHOWN	PROJECT NO.	FILE DRAWING NO.
SET DWG. NO.	CALC. BY DATE	DATE		
	CHECKED BY RDG	09/14/2021		S-6



South Property Line Sun Angle Diagram
1/8" = 1'-0"



North Property Line Sun Angle Diagram
1/8" = 1'-0"

REVISION: PER 10/22/21 PLANNING
SUB-BOARD COMMITTEE MEETING

Preliminary & Final Site Plan

R. D. Green Engineering
Structural, Foundation, Marine
& Site Plan Engineering
1512 Atkinson Avenue, Somers Point, NJ 08244 USA
609-926-5182, 609-602-3690 cell
Bobsgreen1@yahoo.com

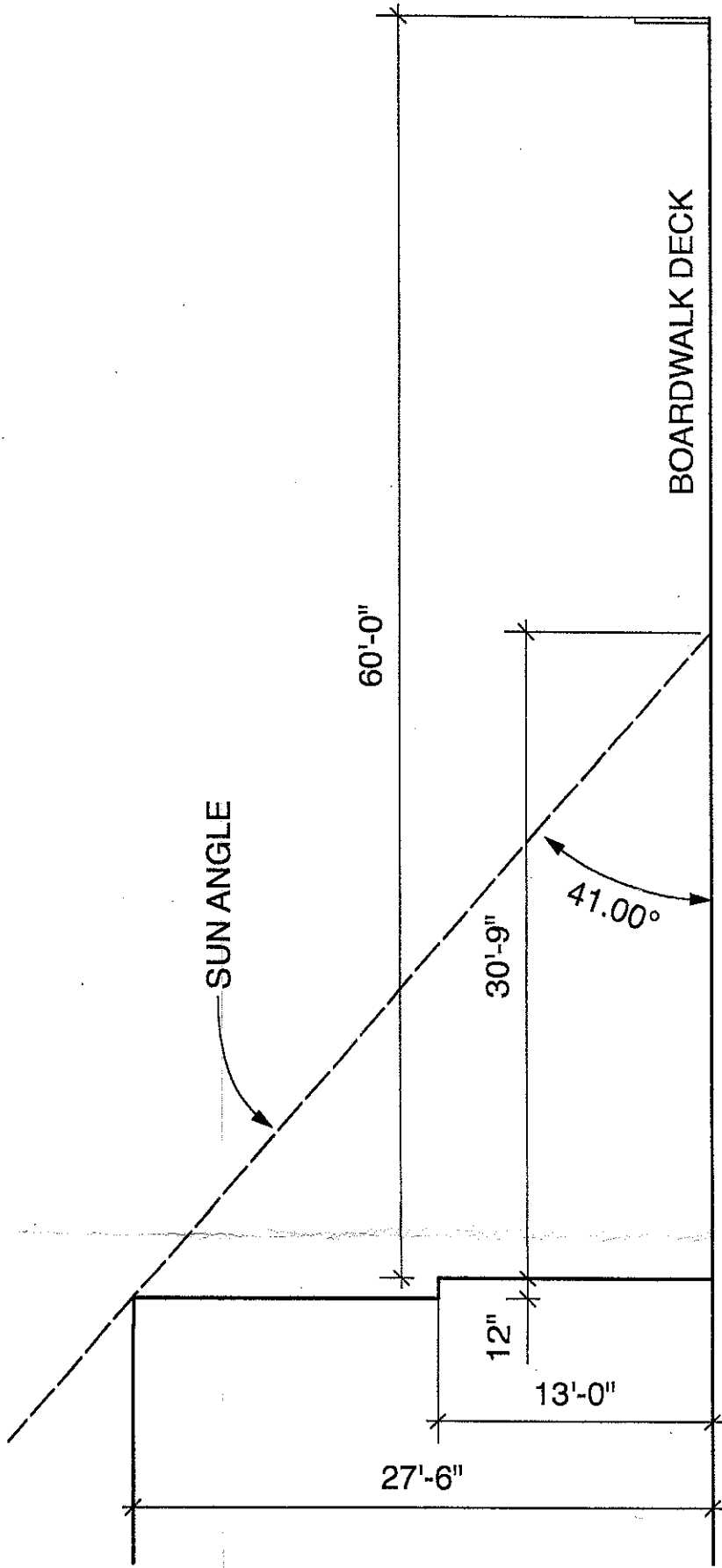
Robert Douglas Green
Robert Douglas Green, P.E. 10/24/21

PROFESSIONAL ENGINEER
N.J. LICENSE #24GE026637

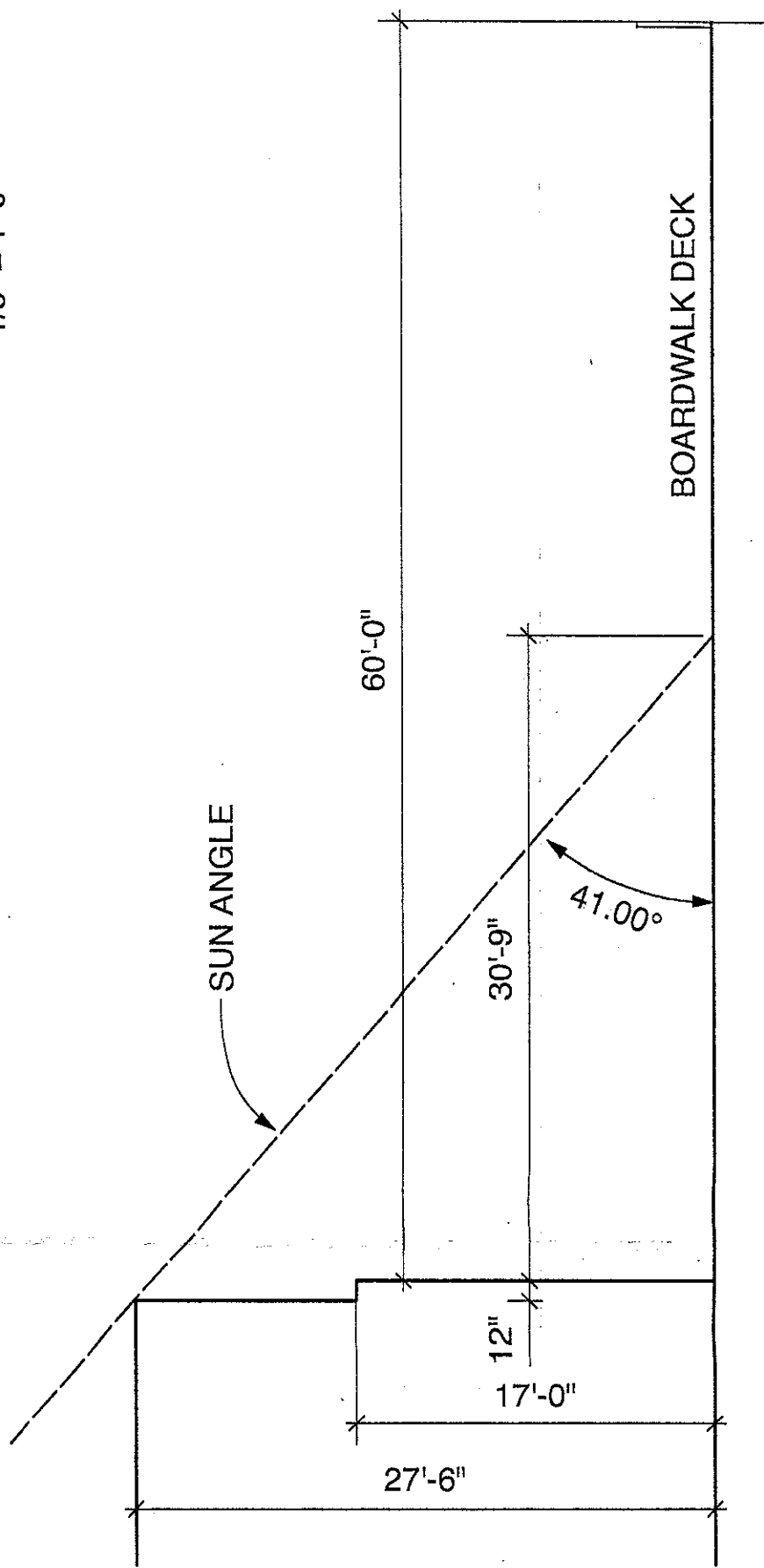
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FIELD BOOK	DRAWING BY	SCALE	PROJECT NO.	FILE DRAWING NO.
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SET DWG. NO.	CALC. BY	DATE		
	CHECKED BY	10/22/2021		
	RDG			

S-7



© South Property Line Sun Angle Diagram
1/8" = 1'-0"



© South Property Line Sun Angle Diagram
1/8" = 1'-0"

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Robert Douglas Green, P.E. PROFESSIONAL ENGINEER N.J. LICENSE #24GE026637		FIELD BOOK SET DWG. NO.	DRAWING BY TAC CALC. BY CHECKED BY RDG	SCALE AS SHOWN DATE 07/13/2021
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