

November 16, 2023

Mr. John Loeper, Chairman  
and Planning Board Members  
c/o Mrs. Jaime Felker, Secretary  
Ocean City Planning Board  
115 12<sup>th</sup> Street  
Ocean City, NJ 08226

Re: **Minor Subdivision, Preliminary and Final Major Site Plan, with Variances  
Boardwalk Development Company LLC  
Block 3306, Lot 5  
3332-46 Simpson Ave  
City of Ocean City, Cape May County, NJ  
PBA23-019 (Our File No. OC16-205)**

Dear Chairman Loeper and Planning Board Members:

The following plans and documents have been reviewed for this application:

1. Minor Subdivision, as prepared by Paul Koelling & Associates, LLC, signed by Paul Koelling, PLS, dated 08/18/23, **last revised 10/27/23**
2. Preliminary and Final Site Plan, as prepared and signed by Edwin Howell, consisting of the following:
  - 1 Site Plan, dated 08/11/23, **last revised 10/27/23**
  - 2 Elevations, dated 08/11/23, **last revised 10/27/23**
  - 3 Lighting and Landscaping, dated 08/11/23, **last revised 10/27/23**
  - 4 Soil Erosion and Sediment Control Plan, dated 08/11/23, **last revised 10/27/23**
3. City of Ocean City Development Application
4. City of Ocean City Administrative Completeness Checklist
5. Conformation of Paid Taxes, dated 08/15/23
6. New Lot Numbers from Ocean City Tax Assessor, dated 08/15/23
7. Certified 200' Adjacent Property Owner List, dated 07/25/23
8. Geology and Hydrogeology
9. Plat Requirements – Site Plan - Preliminary and Final
10. Certificate of Title, dated 08/21/23
11. Transmittal from Avery Teitler to Jaime Felker, dated 08/21/23
12. Memo from OC Engineering, dated 8/31/23
13. Memo from OC Zoning, dated 9/7/23
14. Memo from OC Construction, dated 9/8/23
15. **Transmittal from Avery Teitler to Jaime Felker, dated 10/30/23**

**I. Description:**

The applicant proposes to subdivide block 3306 lot 5 into two conforming lots. Proposed lot 5.01 would be 104.69' x 122.50' and lot 5.02 would be 65.31' x 122.50'. Construction of a new miniature golf course is proposed for lot 5.01. There is no current proposed development for lot 5.02. The existing commercial building and improvements are to be removed.

This parcel is located within the 34<sup>th</sup> Street Gateway (GW) zone.

## II. Completeness:

Our office has reviewed the submitted documents for conformance with the Minor Subdivision checklist.

### § 25-1500.5.2. Minor Subdivision Plat Requirements.

a. General Requirements. The plat for a minor subdivision shall be drawn at a scale of not less than twenty feet (20') to the inch, shall conform to the provisions of the New Jersey Map Filing Law, N.J.S.A. 46:23-9.9 et seq., and shall include or be accompanied by the information specified below:

1. All dimensions both linear and angular, of the exterior boundaries of the subdivision, all lots and lands reserved or dedicated for public use shall balance and their descriptions shall close within a limit of error of not more than one (1) part in ten thousand (10,000). **PROVIDED**
2. The minor subdivision shall be based upon a current boundary survey prepared in accordance with N.J.A.C. 13:40-5.1, Preparation of Land Surveys, certified to the subdivider and prepared or recertified not more than twelve (12) months prior to the date of application. **PROVIDED**
3. All topographical data on-site and within twenty five feet (25') of the site. Contours shall be shown at one foot (1') intervals throughout. **NOT PROVIDED-WAIVER**

b. Title Block. A title block shall appear on all sheets and include:

1. Title to read "Minor Subdivision." **PROVIDED**
2. Name of the subdivision, if any. **PROVIDED**
3. Date (of original and all revisions). **PROVIDED**
4. Name, signature, address and license number of the land surveyor who prepared the map and made the survey (the plat shall bear the embossed seal of said land surveyor). **PROVIDED**

c. Detailed Information.

1. A key map (at a scale of not less than one inch (1") equals one thousand feet (1,000') showing the location of the tract to be subdivided with reference to surrounding areas, existing streets which intersect or border the tract, the names of all such streets and any zone district boundaries and City boundary which is within five hundred feet (500') of the subdivision. **PROVIDED**
2. The names of all owners of and property lines of parcels within two hundred feet (200') of the land to be subdivided as shown by the most recent records of the City. **NOT PROVIDED**
3. Tax map sheet, block and lot number(s) of the tract to be subdivided as shown on the latest City Tax Map, the date of which shall also be shown. **PROVIDED**
4. Acreage of the tract being subdivided to the nearest hundredth of an acre. **PROVIDED**
5. Names and addresses of owner and subdivider so designated. **PROVIDED**
6. All zone district boundaries, City borders, existing public easements, tax map lot and block numbers, watercourses, floodways and flood hazard areas within two hundred feet (200'), and the width of the right-of-way of each street within two hundred feet (200') of the subdivision. **PROVIDED**
7. All existing structures, with an indication of those which are to be destroyed or removed, and the front, rear and side yard dimensions of those to remain, referenced to proposed lot lines. **PROVIDED**
8. All proposed public easements or right-of-ways and the purposes thereof. **N/A**
9. The existing systems of drainage of the subdivision and of any larger tract of which it is a part, together with information on how it is proposed to dispose of surface drainage (where required by the Board or City Engineer). **NOT PROVIDED-WAIVER**
10. All proposed lot lines and the areas of all lots in square feet. The areas and dimensions specified shall be shown to the nearest hundredth of a square foot or hundredth of a linear foot. **PROVIDED**
11. North arrow. **PROVIDED**

12. Written and graphic scales. **PROVIDED**
13. A copy of any existing or proposed covenants or deed restrictions applying to the land being subdivided or certification that none exists. Such certification may be in letter form signed by a member of the New Jersey Bar, by a title officer or authorized agent of a title insurance company licensed to do business in New Jersey. **PROVIDED**
14. Proposed lot and block numbers as assigned by the City Tax Assessor in accordance with the digitized lot numbering system specifications promulgated by the New Jersey Division of Taxation. **PROVIDED**
15. Such other information as the Board and/or City Engineer may require or request during the review of the application for classification and approval as a minor subdivision.
16. In those instances where the minor subdivision application requires variance approval pursuant to N.J.S.A. 40:55D-70c, floor plans, elevation drawings and plot plans for each lot and structure depicting building and yard dimensions, architectural details, fenestration and building materials. **PROVIDED**

d. County Planning Board **N/A**

e. Sewerage Availability **NOT PROVIDED-CONDITION OF APPROVAL**

The application is complete based upon our review of the Minor Subdivision checklist.

Our office has reviewed the submitted documents for conformance with the Major Site Plan checklist below.

§ 25-1500.8.2. Preliminary Plat Site Plan Requirements.

a. General Requirements.

1. Any preliminary plat of a site plan presented to the Planning Board or Board of Adjustment for its approval shall be signed and appropriately sealed by an architect, professional engineer, land surveyor and/or professional planner licensed to practice in the State of New Jersey; provided, however, that sanitary sewer, water distribution and storm drainage plans and water and sewage treatment plans may only be signed and sealed by a professional engineer.

**PROVIDED**

2. Site plans shall not be drawn at a scale smaller than one inch equals fifty feet (1"=50') nor larger than one inch equals ten feet (1"=10'). If the size of the site would require the use of sheets larger than thirty inches by forty-two inches (30" x 42") in order to show the entire site on one (1) sheet, the detailed information for the site plan shall be shown in sections on sheets not larger than thirty inches by forty-two inches (30" x 42"), which sheets shall be keyed to an overall plan of the site drawn at a scale of not less than one inch equals two hundred feet (1"=200').

The site plan shall be based on a monumented, current certified boundary survey. The date of the survey and the name of the person making same shall be shown on the map. If twelve (12) months or more has passed since the date of (or date of last recertification of) the survey, it shall be recertified and if necessary, brought up to date.

**PROVIDED**

b. Title Block. The title block shall appear on all sheets and include:

1. Title to read "Preliminary Site Plan."
2. Name of the development, if any.
3. Date (of original and all revisions).
4. Names, signatures, addresses, and license numbers of engineer, architect, land surveyor, or planner who prepared the plan and their embossed seal(s).

5. If the site plan contains more than one (1) sheet, each shall be numbered and titled.

**PROVIDED**

c. A schedule shall be placed on the site plan indicating:

1. The acreage of the tract and site (the portion of the tract involved in the site plan). **PROVIDED**

2. The floor area of the existing and proposed buildings (listed separately). **NOT PROVIDED-WAIVER**

3. The proposed use or uses and the floor area devoted to each use. **PROVIDED**

4. The zone district in which the site is located. **PROVIDED**

5. Tax map sheet, block and lot number of the site, as shown on the latest City tax map, the date of which should also be shown. **PROVIDED**

6. Names and addresses of owner and developer, so designated. **PROVIDED**

7. Proposed and required lot dimensions and front, rear and side setbacks. **PROVIDED**

8. Proposed and required off-street parking spaces. **TO BE DETERMINED**

9. The square footage and the percentage of the site that is:

(a) Occupied by buildings **PROVIDED**

(b) Impervious **PROVIDED**

10. All variances requested.

**PROVIDED**

d. North arrow and written and graphic scales.

**PROVIDED**

e. The tops of the banks and boundaries of the floodways and flood hazard areas of all existing watercourses, where such have been delineated or the limits of alluvial soils where the boundaries of floodways and flood hazard areas have not been determined, and/or such other information as may assist the Board in the determination of floodway and flood hazard area limits.

**N/A**

f. The boundary, nature, and extent of marshes, wetlands, dunes and water areas within the site and within two hundred feet (200') thereof.

**N/A**

g. Existing and proposed manholes, sewer lines, fire hydrants, water lines, utility poles, and all other topographical features of a physical or engineering nature within the site and within fifty feet (50') thereof.

**NOT PROVIDED-WAIVER**

h. All existing structures on the site and within fifty feet (50') thereof, including their use, indicating those to be destroyed or removed and those to remain.

**PROVIDED**

i. Location, use, finished grade level, ground coverage, first floor, front, rear and side setbacks of all existing buildings and other pertinent improvements.

**PROVIDED**

j. Existing and proposed public easement or rights-of-way and the purposes thereof.

**N/A**

k. A grading plan showing existing and proposed grading contours at one foot (1') intervals throughout the tract, or spot elevations if acceptable to the Board Engineer. Datum shall be National Geodetic Vertical Datum (N.G.V.D.) and source of datum shall be noted. In addition to proposed grading

contours, sufficient additional spot elevations shall be shown to clearly delineate proposed grading. Also, a site benchmark shall be labeled on the plan.

**NOT PROVIDED-WAIVER-CONDITION OF APPROVAL**

**I. On-Site Drainage Plan:**

1. The drainage plan shall be presented in graphic form which shall clearly show the street and lot layout and those items which are pertinent to drainage including existing and proposed contours and spot elevations as previously required.
2. The plan shall outline each area contributing to each inlet.
3. All proposed drainage shall be shown with pipe type and sizes, invert and grate or rim elevations, grades and direction of flow. The direction of flow of all surface waters and of all streams shall be shown.
4. The drainage plan shall be accompanied by complete drainage calculations made in accordance with the standards set forth in this Ordinance.

**NOT PROVIDED-WAIVER**

**m. Off-Site Drainage Plan.** The plat shall also be accompanied by an off-site drainage plan prepared in accordance with the following standards:

1. The plan shall consist of an outline of the entire drainage basin in which the site is located. The terminus of the basin and existing ground contours or other basis for determining basin limits shall be shown.
2. The pertinent off-site existing drainage shall be shown with elevations of inverts and grates to the nearest one-hundredth of a foot (.01').
3. To the extent that information is available and may be obtained from the County or Municipal Engineer, any existing plans or drainage improvements shall be shown.
4. In the event a temporary drainage system is proposed, full plans of that system shall be shown.
5. The off-site drainage plans shall be accomplished by profiles of all proposed drainage, showing existing details, pipe sizes, type, inverts, crowns, slopes; all proposed structures and connections and design hydraulic grade lines for all conduits designed to carry forty (40) or more cubic feet per second. Cross-sections at intervals not exceeding one hundred feet (100') shall be shown for all open channels.

**NOT PROVIDED-WAIVER**

**n. If required by the City Engineer, center line profiles of streets bordering the site, internal roadways, and major circulation aisles showing:**

1. Existing and proposed final grades and slopes.
2. Pipe sizes, slope, type, inverts, and grate or rim elevation of drainage and sanitary sewage facilities.

**NOT PROVIDED-WAIVER**

**o. Boring Logs.** A Soils Engineer's Report shall conform to § 25-1500.7.2x of this Ordinance.

1. Borings shall be spaced evenly throughout the site.
2. One (1) boring shall be made per acre (or portion thereof) in those areas where the water table is found to be less than ten feet (10') below proposed or existing grade.
3. In addition to the above, in those areas where the water table is found to be five feet (5') or less below existing or proposed grade, two (2) additional borings per acre (or portion thereof) will be required if construction of basements is contemplated. Borings shall be located where such basements are proposed.
4. Boring logs shall show soil types and characteristics encountered, groundwater depths, the methods and equipment used, the name of the firm, if any, making the borings and the name of the person in charge of the boring operation. The boring logs shall also show surface elevations to the nearest one-tenth of a foot (.1').

5. Based on the borings, the site plan shall clearly indicate all areas having a water table within two feet (2') of the existing surface of the land, or within two feet (2') of proposed grade; or all areas within which two feet (2') or more of fill is contemplated or has previously been placed.

**NOT PROVIDED-WAIVER**

p. Zone district boundaries and a portion of the Tax Map Sheet shall be reproduced for a minimum distance of five hundred feet (500') surrounding the site upon which the following shall be indicated:

1. The site;
2. Zone district boundaries;
3. Tax map sheet;
4. Lot and block numbers;
5. Name of all owners within two hundred feet (200') of the site;
6. Streets with names;
7. Scale and north arrow.

**PROVIDED**

q. Key Map: A portion of the U.S. Geological Survey map shall be shown (scale 1"=2,000') indicating the following:

1. The site;
2. U.S.G.S. map number;
3. Scale and north arrow.

**PROVIDED**

r. The location, area, dimensions and proposed disposition of any area or areas of the site proposed to be retained as common open space, indicating the facilities to be provided in such areas.

**N/A**

s. The capacity of off-street parking areas and the location and dimensions of all access drives, aisles and parking stalls. The location and treatment of existing and proposed entrances and exits to public rights-of-way, including the possible utilization of traffic signals, channelization, acceleration and deceleration lanes, additional width and any other device necessary for traffic safety and/or convenience, and the estimated average number of passenger vehicles, single unit trucks or buses, and semi-trailers that will enter the site each day.

**PROVIDED**

t. Graphic depiction of the anticipated routes and details of the system of on-site vehicular and pedestrian circulation. If the developer desires to have the appropriate provisions of N.J.S.A. 39:1 et seq. governing motor vehicle operation made applicable to the site, thereby allowing municipal police regulation of traffic control devices, he shall submit a formal request and a detailed plan meeting the requirements of the New Jersey Department of Transportation. The City Engineer will advise the developer regarding the details of such a plan.

**N/A**

u. The location and size of proposed loading docks.

**NOT PROVIDED-WAIVER**

v. Location of curbs and sidewalks.

**PROVIDED**

w. Cross-sections showing the composition of pavement areas, curbs, and sidewalks.

**PROVIDED**

x. Exterior lighting plan, including the location, direction of illumination, amount of illumination expressed in horizontal foot candles, wattage and drawn details of all outdoor lighting standards and fixtures.

**NOT PROVIDED-WAIVER**

y. Landscaping and screening plan showing the location, type, spacing, and number of each type of tree or shrub, the location, type and amount of each type of ground cover to be utilized, and plant list and planting details for trees, shrubs, and/or ground cover.

**PROVIDED**

z. Location of signs and drawn details showing the size, nature of construction, height and content of all signs.

**NOT PROVIDED-WAIVER**

aa. Drawn details of the type of screening to be utilized for refuse and recyclable material, storage areas, outdoor equipment and bulk storage areas.

**NOT PROVIDED-WAIVER**

bb. Floor plans and building elevation drawings of any proposed structure or structures, or existing structures to be renovated.

**PROVIDED**

cc. Location of handicapped facilities including parking spaces and ramps (where applicable).

**PROVIDED**

dd. Sectionalization and Staging Plan. Developers of large uses such as shopping centers, multi-family dwellings, office parks or other such uses proposed to be developed in stages shall submit a sectionalization and staging plan showing the following:

1. The anticipated date for commencing construction of each section or stage. The staging of development on the site shall be such that if development of the site were discontinued after the completion of any stage, the developed portion of the site would comply in all respects to the requirements of this Ordinance and be provided with adequate drainage and utility systems.
2. Those improvements that will be completed in each stage prior to application for Certificate of Occupancy. The plan should demonstrate that the staging of construction will minimize adverse effects upon occupied buildings in the site and adjoining properties.

**N/A**

ee. Written description of the proposed operations in sufficient detail to indicate the effects of the use in producing traffic congestion, noise, glare, air pollution, fire hazards or safety hazards. The written description shall also include the hours of operation of the use, the number of shifts to be worked, the number of employees in each shift, the number of vehicles to be stored or parked on the site, and provisions to be made for site maintenance.

**PROVIDED**

ff. Such other information as the Planning Board and/or City Engineer may request during site plan review.

Section 25-1700.28.9- Design Standards for 34<sup>th</sup> Street Corridor

**25-1500.10.2 Final Plat Major Site Plan Requirements.**

The final plat shall include all data required for the preliminary plat of the site plan and shall be drawn to incorporate all changes required as a condition of preliminary approval and shall be drawn by persons and to specifications as required for a preliminary plat and shall be titled "Final Plat - Site Plan."

The application is complete based upon the noted completeness checklist waivers.

**III. Zoning:**

Based upon our review, we offer the following comments:

The plans indicate that the proposed development is to occur within the 34<sup>th</sup> Street Gateway zone as shown on the current Ocean City zoning map.

Per 25-205.10.2 i., Open air miniature golf courses are a permitted use. Indoor miniature golf courses are specifically prohibited. The zoning officer has determined that the proposed use meets the “open air” zone requirements.

*Zoning Compliance – GW (34<sup>th</sup> Street Gateway) Zone §25-205.10.5*

**PROPOSED LOT 5.01**

<b>PROPOSED LOT 5.01 MINI GOLF</b>	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Variance Required</b>
<b><u>Min. Lot Area (Corner)</u></b>	7,000 SF	20,825 SF	12,825 SF	No
<b><u>Min. Lot Width/Frontage</u></b>	70'	122.5'	122.5'/104.69'	No
<b><u>Min. Lot Depth</u></b>	100'	170'	104.69'/122.5'	No
<b><u>Min. Front Yard Setback(Bldg)</u></b>				
34 <sup>th</sup> St (clubhouse/minigolf)	40'	10.3'	<b>28'+/-/TBD*</b>	<b><u>YES/TBD</u></b>
Simpson Ave (clubhouse/minigolf)	10'	10'	<b>7'+/-/ TBD*</b>	<b><u>YES/TBD</u></b>
<b><u>Min. Rear Yard Setback</u></b>	20'	49.2'	25'	No
<b><u>Min. Side Yard Setback</u></b>	10'	91.5'	15'	No
<b><u>Max. Building Coverage</u></b>	80%	20.5%	28.6%	No
<b><u>Max. Impervious Coverage</u></b>	85%	72.4%	66.0%	No
<b><u>Max. Building Height</u></b>				
Minigolf	25'	23.7'	25'	No
clubhouse	33'		19.1'	No
<b><u>Parking</u></b>	TBD		<b>1</b>	<b><u>TBD</u></b>

TBD/\*= to be determined-see technical comments #3 and 4

**PROPOSED LOT 5.02**

<b>PROPOSED LOT 5.02 Vacant Lot</b>	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Variance Required</b>
<b><u>Min. Lot Area (Interior)</u></b>	6,000 SF	20,825 SF	8,000 SF	No
<b><u>Min. Lot Width/Frontage</u></b>	60'	170'	65.31'	No
<b><u>Min. Lot Depth</u></b>	100'	122.5'	122.5'	No

**IV. Technical Comments:**

1. The minor subdivision plan shall indicate the monuments as set when the mylars are presented for signature. The minor subdivision plan shall reflect the lot numbers (and addresses) as approved by the tax assessor. The minor subdivision plan shall be revised to depict conformance with the Map Filing Law. Coordinate values at a minimum of 3 corners are required. Update zoning chart to reflect only the creation of the lots, not site plan related items.
2. The plans indicate that all existing structures are to be removed. The applicant shall provide written confirmation of same to the Planning Board Secretary prior to signature of the plat.
3. The plans should clearly identify the limits of the proposed buildings. Identify limits of minigolf waterfall feature and the covered porch area of the clubhouse and provide setbacks to all property lines.
4. The county requires a 3' dedication to the 34<sup>th</sup> Street right of way. Identify the new/proposed 34<sup>th</sup> Street property line and any impacts to front yard setbacks.
5. A thru-roof venting system for the commercial first floor space is required. Relief and justification shall be provided.
6. The applicant shall demonstrate that adequate parking for the proposed use is provided. Two (2) parking spaces are proposed.
7. The site plan proposes a Van Accessible ADA parking space. ADA parking signage and striping details shall be provided. The location of the ADA ramp and the ADA compliant accessway to the clubhouse shall be identified and detailed on the plans. Reconfiguration of the parking spaces may be warranted.
8. The plans propose retaining walls. The height of the retaining walls shall be provided. It appears the retaining wall between the clubhouse and the parking lot is approximately 3' high and exceeds ordinance standards. Per 25-1700.8.9 e, the height of the retaining wall shall not exceed half the horizontal distance from the foundation wall of any building on the subject property to the face of the retaining wall, not to exceed 30" measured from grade on the adjacent parcel.

9. Per 25-205.1.6 a. 9., The lowest floor in commercial and mixed-use buildings should be elevated to the greatest extent practical to comply with BFE elevations. The Memo from the Construction Department indicated the proposed structure shall be dry floodproofed to in order to conform to the flood regulations. All mechanical systems shall be located above elevation 11. The elevation view when supplied should also identify the height (above BFE) for all equipment.
10. The plans do not meet the strict interpretation as contained within 25-1700-28.9, "Design Standards for 34<sup>th</sup> Street Corridor". The design standards (pavers, lights, benches and trash/recycling containers) apply to the Simpson Avenue frontage also. The plans shall be amended accordingly, or specific design waivers should be requested.
11. Sections 17-2.4d and 17-2.5d of the Municipal Code, require new Curb and Sidewalk for new residential or commercial development. The plans shall identify the limits of all curb and sidewalk replacement in the right of way along with construction details. Existing and proposed elevations shall be provided. The limits of the sidewalk adjacent to the proposed lot line on Simpson Avenue shall be clarified. Also, the proposed curb in this area shall be amended to eliminate a potential tripping hazard.
12. The material of the 6' tall perimeter fence is proposed to be cedar wood. Fences greater than 4' require consent from adjoining property owner.
13. The plans shall identify ground treatment of the proposed pervious areas. The plan indicates proposed lot coverage as 66%. Therefore, the applicant is indicating that 33% of the site is proposed to be pervious. The maximum permitted lot coverage in the zone is 85%.
14. The plans identify the replacement of the existing ADA ramp at the corner of 34<sup>th</sup> and Simpson and also 34<sup>th</sup> and the alley. An enhanced construction detail and proposed grades for each location shall be provided.
15. All areas that have vehicular traffic shall be 6" thick reinforced concrete.
16. Additional architectural details for the proposed building shall be provided for the board.
17. Per the plans, the top of the proposed gunite waterfalls is approximately 29 feet above the roadway elevation.
18. Trash enclosures shall be situated on a 4" thick concrete base, contain perimeter curb and be screened/fenced. Plans shall be amended accordingly, or relief requested.
19. The bike racks and bicycles appear to be located within the city right of way. A license agreement with the city may be required.
20. All areas that are not to be improved should be noted to receive 5" of topsoil and seed/sod and irrigation.
21. Forms for all site work shall be inspected and approved by our office prior to placement of concrete. A pre-construction conference is required.
22. Signage, landscaping, lighting and 34<sup>th</sup> Street Corridor requirement comments shall be provided by the Board Planner.

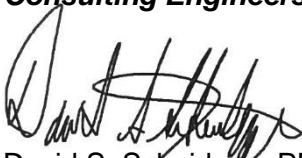
23. The applicant shall provide an Engineer's cost estimate, performance and maintenance guarantees as required by the City Code.
24. Applicant shall obtain all permits and or approvals from the City of Ocean City and other entities having jurisdiction, as applicable.

Any Planning Board approval should be contingent upon approval from all other governmental agencies having jurisdiction. We reserve the right to review any additional information submitted for this matter.

Should you have any questions or require any additional information, please do not hesitate to contact our office.

Sincerely,

**Schaeffer Nassar Scheidegg**  
**Consulting Engineers, LLC**



David S. Scheidegg, PE, PP, CME, CPWM, CFM  
Planning Board Engineer

Cc: *Jaime M. Felker, (via e-mail)*  
*Gary Griffith, Esq. (via e-mail)*  
*Randall Scheule, PP/AICP (via e-mail)*  
*Boardwalk Development Company, LLC, Applicant (via e-mail)*  
*Paul Koelling, PLS, (via e-mail)*  
*Edwin Howell, RA, PP (via e-mail)*  
*Avery Teitler, Esq. (via e-mail)*



SCHEULE

PLANNING SOLUTIONS, LLC

*Community Development*

*Municipal Planning*

*Master Plans*

*Zoning Codes*

*Redevelopment*

## Planner's Report

To: City of Ocean City  
Planning Board Members

From: Randall Scheule, PP/ AICP  
Planning Board Planner

Date: November 16, 2023

Zone: 34<sup>th</sup> Street Gateway Zone

RE: **PBA 23-019, Boardwalk Development Company, LLC (R1)**  
Block 3306, Lot 5, 3332-46 Simpson Avenue  
Public Hearing – Minor Subdivision, Preliminary and Final Major Site Plan, “C” Variances

### Introduction.

This Report is provided to assist the Planning Board in its consideration of the above referenced application and is limited to planning issues. Engineering and legal issues shall be reviewed by the Board Engineer and Board Solicitor, respectively. The comments and recommendations contained herein are based on my review of the information provided to date including the development application, the Redevelopment Plan, the Zoning and Development Code and such other sources as may be noted.

Any resubmission addressing the issues identified in this report shall be accompanied by a point-by-point letter responding to all items, with revisions on the plans *clouded or highlighted* to indicate changes.

### Plans and Documents.

The following plans and documents constituting the above development application have been reviewed and provide the basis for the comments and recommendations which follow.

- Transmittal to Jaime Felker from Avery Teitler, August 21, 2023
- Transmittal to Jaime Felker from Avery Teitler, October 30, 2023
- City of Ocean City Development Application, August 21, 2023
- Certificate of Taxes Paid, August 5, 2023
- Certificate of Title, August 21, 2023
- Minor Subdivision, Paul Koelling, August 18, 2023, last revised October 27, 2023
- Site Plan, (4 sheets), Edwin Howell, August 11, 2023, last revised October 27, 2023 (all sheets)



**Completeness.**

**Minor Subdivision.** This Minor Subdivision application may be deemed complete pending the Planning Board's favorable consideration of the waiver indicated.

**25-1500.5.2 Plat Requirements.**

a. *General Requirements.* The plat for a minor subdivision shall be drawn at a scale of not less than twenty feet (20') to the inch, shall conform to the provisions of the New Jersey Map Filing Law, N.J.S.A. 46:23-9.9 et seq., and shall include or be accompanied by the information specified below:

e. Sewerage Service Availability Waiver

**Preliminary and Final Major Site Plan.** The Preliminary and Final Major Site Plans may be deemed complete subject to approval of the requested checklist waivers.

**25-1500.8.2 Preliminary Plat Requirements**

c. A schedule shall be placed on the site plan indicating:

2. The floor area of the existing and proposed buildings (listed separately). Waiver

6. Names and addresses of owner and developer, so designated. Waiver

9. The square footage and the percentage of the site that is:

(a) Occupied by buildings Waiver

(b) Impervious Waiver

g. Existing and proposed manholes, sewer lines, fire hydrants, water lines, utility poles, and all other topographical features of a physical or engineering nature within the site and within fifty feet (50') thereof. Waiver

k. A grading plan showing existing and proposed grading contours at one-foot (1') intervals throughout the tract, or spot elevations if acceptable to the Board Engineer. Datum shall be National Geodetic Vertical Datum (N.G.V.D.) and source of datum shall be noted. In addition to proposed grading contours, sufficient additional spot elevations shall be shown to clearly delineate proposed grading. Also, a site benchmark shall be labeled on the plan. Waiver

l. *On-Site Drainage Plan:*

1. The drainage plan shall be presented in graphic form, which shall clearly show the street and lot layout and those items, which are pertinent to drainage including existing and proposed contours and spot elevations as previously required. Waiver

2. The plan shall outline each area contributing to each inlet. Waiver

3. All proposed drainage shall be shown with pipe type and sizes, invert and grate or rim elevations, grades and direction of flow. The direction of flow of all surface waters and of all streams shall be shown. Waiver

4. The drainage plan shall be accompanied by complete drainage calculations made in accordance with the standards set forth in this Ordinance. Waiver

***PBA 23-019, Boardwalk Development Company, LLC***  
***Block 3306, Lot 5, 3332-46 Simpson Avenue***

m. *Off-Site Drainage Plan.* The plat shall also be accompanied by an off-site drainage plan prepared in accordance with the following standards:

1. The plan shall consist of an outline of the entire drainage basin in which the site is located. The terminus of the basin and existing ground contours or other basis for determining basin limits shall be shown. Waiver

2. The pertinent off-site existing drainage shall be shown with elevations of inverts and grates to the nearest one-hundredth of a foot (.01'). Waiver

3. To the extent that information is available and may be obtained from the County or Municipal Engineer, any existing plans or drainage improvements shall be shown. Waiver

4. In the event a temporary drainage system is proposed, full plans of that system shall be shown. Waiver

5. The off-site drainage plans shall be accomplished by profiles of all proposed drainage, showing existing details, pipe sizes, type, inverts, crowns, slopes; all proposed structures and connections and design hydraulic grade lines for all conduits designed to carry forty (40) or more cubic feet per second. Cross-sections at intervals not exceeding one hundred feet (100') shall be shown for all open channels. Waiver

n. If required by the City Engineer, centerline profiles of streets bordering the site, internal roadways, and major circulation aisles showing:

1. Existing and proposed final grades and slopes. Waiver

2. Pipe sizes, slope, type, inverts, and grate or rim elevation of drainage and sanitary sewage facilities. Waiver

o. *Boring Logs.* A Soils Engineer's Report shall conform to Section 25-1500.7.2x of this Ordinance.

1. Borings shall be spaced evenly throughout the site. Waiver

2. One (1) boring shall be made per acre (or portion thereof) in those areas where the water table is found to be less than ten feet (10') below proposed or existing grade. Waiver

3. In addition to the above, in those areas where the water table is found to be five feet (5') or less below existing or proposed grade, two (2) additional borings per acre (or portion thereof) will be required if construction of basements is contemplated. Borings shall be located where such basements are proposed. Waiver

4. Boring logs shall show soil types and characteristics encountered, groundwater depths, the methods and equipment used, the name of the firm, if any, making the borings and the name of the person in charge of the boring operation. The boring logs shall also show surface elevations to the nearest one-tenth of a foot (.1'). Waiver

5. Based on the borings, the site plan shall clearly indicate all areas having a water table within two feet (2') of the existing surface of the land, or within two feet (2') of proposed grade; or all areas within which two feet (2') or more of fill is contemplated or has previously been placed. Waiver

u. The location and size of proposed loading docks. Waiver

w. Cross-sections showing the composition of pavement areas, curbs, sidewalks. Waiver

***PBA 23-019, Boardwalk Development Company, LLC***  
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- x. Exterior lighting plan, including the location, direction of illumination, amount of illumination expressed in horizontal foot candles, wattage and drawn details of all outdoor lighting standards and fixtures. Waiver
- y. Landscaping and screening plan showing the location, type, spacing, and number of each type of tree or shrub, the location, type and amount of each type of ground cover to be utilized, and plant list and planting details for trees, shrubs, and/or ground cover. Waiver
- z. Location of signs and drawn details showing the size, nature of construction, height and content of all signs. Waiver
- aa. Drawn details of the type of screening to be utilized for refuse and recyclable material, storage areas, outdoor equipment and bulk storage areas. Waiver

**MISCELLANEOUS REQUIREMENTS THAT MAY BE REQUIRED**

- 1. COST OF IMPROVEMENTS ESTIMATE (SEE 25-1600.1.1A) Waiver
- 2. SIGHT TRIANGLE - CORNER PROPERTIES (SEE 25-1700.13.3) X
- 3. SOIL EROSION PLAN (SEE 25-1700.32) X
- 4. OTHER AGENCY REQUIREMENTS
  - a. County Planning Board (25-1500.8.3B) X
  - b. New Jersey Water Company (25-1500.8.3C) Waiver
  - c. Waterfront Development (CAFRA) NA
  - d. Adequacy of Utility Service Waiver

**25-1500.10.2 Final Plat Requirements.**

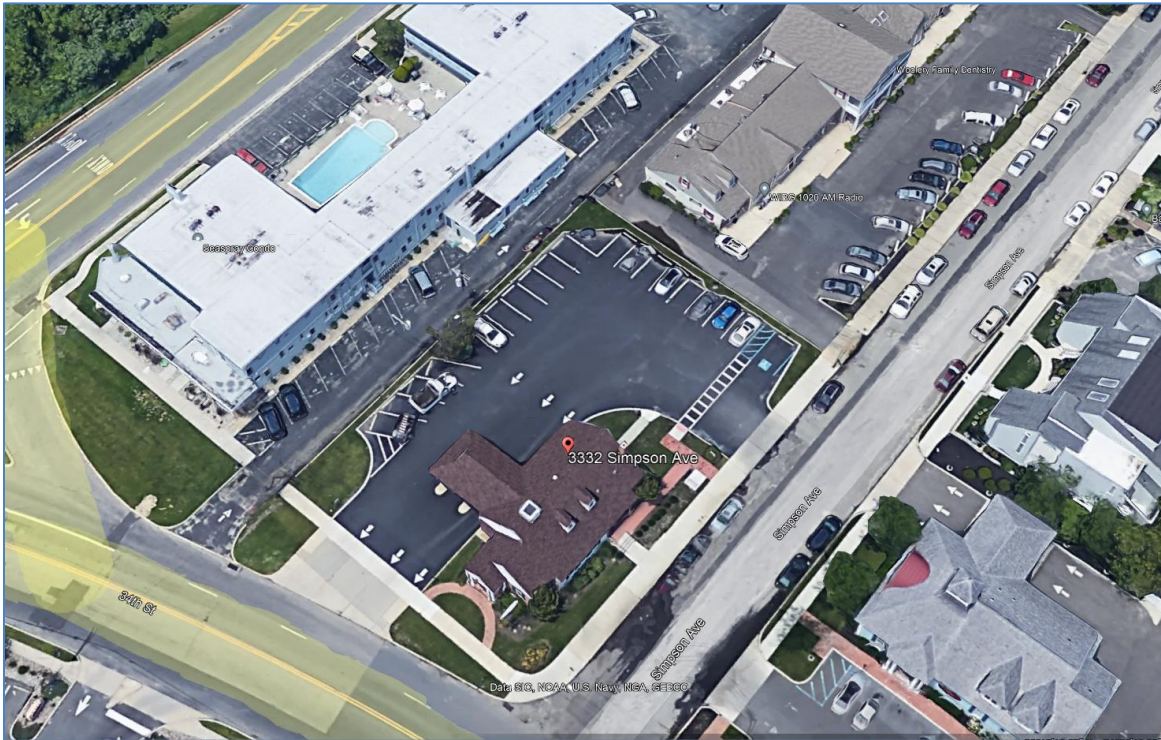
The Final Major Site Plan is complete.

The final plat shall include all data required for the preliminary plat of the site plan and shall be drawn to incorporate all changes required as a condition of preliminary approval and shall be drawn by persons and to specifications as required for a preliminary plat and shall be titled "Final Plat - Site Plan."

Refer to Preliminary Site Plan Checklist.

***PBA 23-019, Boardwalk Development Company, LLC  
Block 3306, Lot 5, 3332-46 Simpson Avenue***

**Google Earth Aerial**



**34<sup>th</sup> Street Gateway Zone**

<b>Zone Standard</b>	<b>Zoning Requirement</b>	<b>Existing Conditions</b>	<b>Proposed Conditions</b>	<b>Variance Required?</b>
Use	Professional offices Open air miniature golf	Bank	Open air miniature golf	No
Minimum Lot Area		20,825 SF		
Lot 5.01	7,000 SF		8,000 SF	No
Lot 5.02	6,000 SF		12,825 SF	No
Min. Lot Width		122.5 FT		
Lot 5.01	70 FT		65.31 FT	No
Lot 5.02	60 FT		104.69 FT	No
Min. Lot Frontage		122.5 FT		
Lot 5.01	60 FT		65.31 FT	No
Lot 5.02	70 FT		104.69 FT	No
Min. Lot Depth		170 FT		
Lot 5.01	100 FT		122.50 FT	No
Lot 5.02			122.50 FT	No
Minimum Front Setback, Clubhouse				
34 <sup>th</sup> Street	40 FT	10.3 FT	33.54 FT	Yes
Simpson Avenue	10 FT	10 FT	~ 7 FT	Yes
Minimum Front Setback, Falls structure				
34 <sup>th</sup> Street	40 FT	10.3 FT	~ 2 FT	Yes
Simpson Avenue	10 FT	10 FT	> 10 FT	No
Minimum Side Setback	10 FT	49.2 FT	15 FT	No
Lot 5.02				
Minimum Rear Setback (Vacated alley)	20 FT	91.5 FT	25 FT	No
Maximum Structure Height <sup>1</sup>	25 FT	NA	25 FT	No
Maximum Building Height	21/33 FT	23.7 FT	19.1 FT	No

<sup>1</sup> Maximum structure height applies only to open-air miniature golf courses.

**PBA 23-019, Boardwalk Development Company, LLC**  
**Block 3306, Lot 5, 3332-46 Simpson Avenue**

@ BFE+1' <sup>2</sup>				
Maximum Building Coverage	80%	25.8%	28.6%	No
Max. Impervious Coverage	85%	91.5%	66.0%	No
Minimum Glass % 34 <sup>th</sup> Street Simpson Avenue	45%	Not indicated	49.3% 24%	No Yes
Minimum Comm. Ceiling Height	10 FT	Not indicated	8 FT	Yes
Vent System	Required	Not indicated	Not provided	Yes
Number of Parking Spaces	Not specified in Code <sup>3</sup>	Not indicated	2	Note 3
Minimum Parking Setbacks	4 FT	Not indicated	≥ 4 FT	No

**Summary of Variances.**

1. **Minimum Front Setback to Clubhouse (34<sup>th</sup> Street)** - 40 feet required, 33.54 feet proposed.
2. **Minimum Front Setback to Clubhouse (Simpson Ave.)** - 10 feet required, approx. 7 feet proposed.
3. **Minimum Front Setback to Waterfall (34<sup>th</sup> Street)** - 40' required, approx. 2 feet proposed.
4. **Minimum Glass Percentage (Simpson Ave.)** - 45% required; 24% proposed.
5. **Minimum Commercial Ceiling Height** - 10 feet required; 8 feet proposed.
6. **Mechanical Venting System** - none proposed.
7. **Trash Enclosure in northerly Side Yard** - Not permitted.

**Review Comments.**

**Minor Subdivision.**

1. The subdivision plan should be revised as follows:
  - a. Lot width and frontage for Lot 5.02 is 104.69'.
  - b. Lot depth for Lot 5.02 is 122.5'.
  - c. Minimum required front setback from 34<sup>th</sup> Street for Lot 5.02 is 40'.

<sup>2</sup> Applicant required to confirm minimum slope on club house roof.

<sup>3</sup> For unspecified uses, applicant is required to demonstrate that adequate spaces are provided.

Major Site Plan.

1. Applicant intends to retain pylon sign currently on the property with no change to any dimensional characteristics. Any relocation or enlargement of this sign will require variance approval. As a condition of any approval, a detail of the sign should be added to the plan.

Where pylon signs are permitted, the ordinance requires landscaping at the base equal to at least 50% of the sign area. The plans should be revised to address this landscaping requirement, or a waiver requested.

2. The location and screening (including details) of any HVAC units proposed for the clubhouse shall be shown on plan.
3. The plans shall identify the curb (or retaining wall) shown within the 34<sup>th</sup> Street right-of-way adjacent to hole #18.
4. The plans shall clarify the fence type proposed adjacent to the alley; labels for Type A and Type C fence are shown.
5. The final plan shall include a detail for fence Type C.
6. The proposed trash enclosure is located within the required side yard which is not permitted by ordinance. Variance approval is required.
7. Approval of a design waiver is required from §25-1700.31.5 for the proposed trash enclosure due to its location and the need for curbing to separate the enclosure from the parking area.
8. To more fully address the Design Standards (§25-1700.28.9) the plans should be revised as follows:
  - a. 1 bench is required for each 50 linear feet of frontage on Simpson Avenue
  - b. Trash and litter receptacles, averaging 1 per each 50 linear feet of frontage (Simpson Avenue).
  - c. The 14' wide beds shall be planted with groundcover Royal Purple Liriope, *Liriope muscarii*, "Royal Purple"; four inch (4") pots, twelve inches (12") on-center, three inches (3") of shredded bark mulch or licorice root.
  - d. The 14-foot wide planting bed is required to be a minimum of 4-feet in width.

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9. The plans should be revised to address the landscape screen requirements for the parking area (§25-205.10.8.c.1).
10. The plans shall include plant certification and warranty information as required by §25-1700.38 of the City Code.
11. The site plan should be revised to address the following:
  - a. Add the appropriate lot number
  - b. Identify lot width and Lot Frontage for Lot 5.02 as 104.69'
  - c. Identify Lot Depth for Lot 5.02 as 122.50'
  - d. Add dimensional information regarding the proposed clubhouse, and setback to porch from Simpson Avenue
  - e. To note maximum structure height as 25' above BFE+1 and proposed conformance thereto.
12. The transmittal indicates the clubhouse contains two stories. The elevation on the plan does not depict two stories.
13. Applicant is required to address both the positive and negative criteria necessary to grant the variances identified above. Applicant may be entitled to relief if he can demonstrate that the purposes of the Municipal Land Use Law would be advanced by allowing a deviation from the Ocean City Zoning Ordinance, and the benefits of the deviation will substantially outweigh any detriment. The applicant must also show that the variances can be granted without substantial detriment to the public good and without substantially impairing the intent and purpose of the zone plan and zoning ordinance.
14. Review of site grading, stormwater and utilities is deferred to the Board Engineer.



**Conditions of Approval (Minor Subdivision).**

1. Prior to recording the plat, the plans shall be revised as required to address conditions noted in this Report and as may be imposed by the Planning Board.
2. Prior to recording the plat, applicant shall reimburse the City of Ocean City for all reasonable charges resulting from the review of this application.
3. Prior to recording the plat, applicant shall pay tax map update fee as required by the City Code.
4. Prior to recording the plat, applicant shall provide confirmation of service availability from all utilities.
5. Prior to recording the plat, applicant shall provide an Engineer’s cost estimate, and performance guarantees as required by the City Code.
6. Applicant shall obtain all permits and approvals as may be required prior to demolition and/or construction.

**Conditions of Approval (Preliminary Major Site Plan).**

Approval of an application for development for a preliminary plat of a major site plan by the Planning Board shall be subject to the following conditions being satisfied prior to the signing of the plat.

<b><u>Conditions of Preliminary Site Plan Approval</u></b>	<b><u>Status</u></b>
Payment of any outstanding real estate taxes.	<u>Satisfied</u>
Submission of additional prints of the plat, map, attachments for distribution, if required.	<u>Pending</u>
Publication of a notice of the decision of the Board by the Administrative Officer (Planning Board or Board of Adjustment Secretary) within the time set forth in Section 25-900.7 of this Ordinance.	<u>Pending</u>
Any other conditions which may be imposed by the Board or may be required by Federal, State, County or municipal law.	<u>Pending</u>
The Board may also condition its preliminary approval upon the applicant providing for certain revisions or additions on the final plat submission.	<u>Pending</u>
Rectify any outstanding financial obligation to the City of Ocean City.	<u>Pending</u>
Provide an estimate of the cost of site improvements, performance and maintenance guarantees as required by the City Code.	<u>Pending</u>

***PBA 23-019, Boardwalk Development Company, LLC  
Block 3306, Lot 5, 3332-46 Simpson Avenue***

Provide the Planning Board Attorney and Engineer with a draft version of a deed consolidating the two subject lots.	<u>Pending</u>
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**Conditions of Approval (Final Site Plan).**

Pursuant to Section 25-1500.10.3 Conditions of Approval, any approval of an application for development of a final plat of a site plan shall be subject to the following conditions being satisfied, within the time specified by the Planning Board, prior to signing of the plat or issuance of a Development Permit.

<b><u>Conditions of Final Site Plan Approval</u></b>	<b><u>Status</u></b>
Payment of any outstanding real estate taxes.	<u>Satisfied</u>
Submission of additional prints of the plat map and attachments for distribution, if required.	<u>Pending</u>
Publication of a notice of the decision of the Board by the Administrative Officer (Planning Board or Board of Adjustment Secretary) within the time set forth in Section 25-900.7 of this Ordinance.	<u>Pending</u>
Final Cape May County Planning Board approval (if not previously obtained).	<u>Pending</u>
Certification of SESC Plans (if not previously obtained).	<u>Pending</u>
Fire Department approval (if not previously obtained).	<u>Pending</u>
Granting of any required construction permits.	<u>Pending</u>
Posting of required performance guarantees.	<u>Pending</u>
Payment of required inspection fees.	<u>Pending</u>
Evidence of a comprehensive general liability insurance policy in an amount not less than three hundred thousand dollars (\$300,000.00) per occurrence indemnifying and saving harmless the City and its agencies, employees and agents from any liability for any acts of the developer or his agents, contractors or employees in implementing of the approved site plan. The insurance policy shall provide for ten (10) days' notice to the City prior to cancellation. It shall be a violation of this Ordinance for any property owner, developer or builder to carry on the construction of the site without having a current valid evidence of insurance on file.	<u>Pending</u>
Any other conditions, which may be imposed by the Board or may be required by Federal, State, or local law.	<u>Pending</u>
A condition setting forth the time within which all other conditions must be satisfied as described in Section 25-900.10.	<u>Pending</u>
Satisfactorily address all conditions of preliminary approval.	<u>Pending</u>
Rectify any outstanding financial obligation to the City of Ocean City.	<u>Pending</u>
The use of property for a restaurant or any other commercial use that meets the requirements of the Zoning Ordinance shall not be prohibited or limited at any time or by any means including, but not limited to conditions contained within a	

*PBA 23-019, Boardwalk Development Company, LLC*  
*Block 3306, Lot 5, 3332-46 Simpson Avenue*

master deed or deed restriction. Restaurants are subject to the requirements of Certificate of Occupancy, Mercantile License, Certificate of Zoning Compliance or other instrument. The allowance for the use of property for a restaurant, as provided in this section, shall be memorialized in the decision and resolution approving the site plan and shall be promptly recorded thereafter.	
--	--

C: Gary Griffith  
David Scheidegg  
Avery Teitler  
Edwin Howell  
Paul Koelling  
Boardwalk Development Company, LLC

# TEITLER & TEITLER, LLC

ATTORNEYS AT LAW

August 21, 2023

618 WEST AVENUE, SUITE 201  
OCEAN CITY, NJ 08226

**VIA HAND DELIVERY**

Jaime Felker, Secretary  
Planning Board of Ocean City  
Henry Knight Building  
115 12<sup>th</sup> Street  
Ocean City, New Jersey 08226

(609) 814-9995

FAX (609) 398-4017

AUG 21 '23 RCW

RE: 3332-46 Simpson Avenue  
Lot: 5 Block: 3306

Dear Mrs. Felker:

I herewith enclose the Application of Boardwalk Development Company, LLC, owner of the above Property, for minor subdivision approval, preliminary and final major site plan approval and variance relief to subdivide the existing 20,825 square foot parcel of Property and construct a new miniature golf course on the newly created southerly lot. Specifically, the Applicant requests minor subdivision approval to create two fully conforming lots, proposed Lot 5.01 measuring 122.50 feet by 104.69 feet and proposed Lot 5.02 measuring 122.50 feet by 65.31 feet. No development is currently proposed for new Lot 5.02. Further, no CAFRA or NJDEP Wetlands Permits are required for this Application. Finally, please accept this correspondence as a request for a waiver for providing soil boring logs and a loading dock under Section 25-300.12.4.1 of the Ordinance. The site is relatively small which obviates the need for soil borings and a loading dock is not required for this use.

Enclosed please find a check in the amount of \$5,500.00. Also enclosed are six (6) copies of the Application with six (6) copies of the Preliminary Site Plan prepared by Edwin Howell, Minor Subdivision prepared by Paul Koelling, confirmation of paid taxes, tax lot designation from the tax assessor, 200-foot list, U.S.G.S. Map, Geology and Hydrogeology excerpt (regarding soil borings), plat requirements and Certificate of Title.

I thank you very much for your attention and consideration to this matter. If you have any questions, please do not hesitate to contact me.

Very truly yours,

  
Avery S. Teitler

cc: Client (via email with enclosures)  
Edwin Howell (via email with enclosures)  
Paul Koelling (via email with enclosures)

enclosures





**D. Request is hereby made for permission to (erect, alter, convert, use) A MINATURE GOLF COURSE**

1) Said property is: 170 FOOT BY 122.50 FOOT  
 (Give dimensions and area)  
 and has the following structures: BANK OF AMERICA BUILDING

2) Size and setbacks of existing building: TO BE DEMOLISHED

Width of building: _____	Length of building: _____
Height: _____	Stories: _____
Front: _____	Rear: _____
Side: _____	Side: _____
% Building Coverage: _____	% Impervious Surface Coverage: _____

3) Size and setbacks of proposed building and/or addition: N/A 324 SQ FT CLUB HOUSE ONLY

Width of building: _____	Length of building: _____
Height: _____	Stories: _____
Front: _____	Rear: _____
Side: _____	Side: _____
% Building Coverage: _____	% Impervious Surface Coverage: _____

4) Date property acquired and prevailing zoning at time of acquisition: 6/29/2023, SAME ZONE

5) Has there been any previous appeal, requests or applications to this or any other City Boards, Construction Official, or other City Official involving these premises? YES \_\_\_\_\_ NO XX

UNKNOWN

"If yes, state the nature, date and the disposition of said matter include a copy of the Resolution, a copy of the building permit or any other pertinent information previously submitted"



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DIVISION OF PLANNING  
115 12<sup>th</sup> Street  
OCEAN CITY, NJ 08226  
609-399-6111 \* FAX 609-399-8419

- 6) When variance approvals are requested:
- Describe the exceptional conditions of property preventing application from complying with Zoning Ordinance. SEE ATTACHED
  - Supply a statement of facts showing why relief can be granted without substantial detriment to the public good and will not substantially impair the intent and purpose of the zone plan and zoning ordinance. SEE ATTACHED

- 7) All applicants must complete the following, as applicable:

Type of construction: (frame, stone, brick, cement) FRAME

Present use of existing building(s) and premises: SHUTTERED BANK OF AMERICA

Describe any deed restrictions affecting this property: UNKNOWN

Existing and proposed number of dwelling units: 0 & UNKNOWN

Existing and proposed square footage of professional office: N/A

Existing and proposed gross floor area: 1,200 +/- & 324 (CLUB HOUSE)

Existing and proposed parking spaces: 18 & 7

Existing and proposed number of lots: 1 & 2

Portion of lot being subdivided: 104.694 FOOT BY 122.50

Purpose for which lots will be utilized: MINATURE GOLF COURSE

Facilities for solid waste and recyclables. YES

A photograph(s) of the land and building(s) involved in the application.

Names, addresses and E-mail of all expert witness proposed to be used: EDWIN N. HOWELL, R.A.,  
P.P.6 OTTER LANE, EGG HARBOR TOWNSHIP, NJ 08234, 609-398-5246

- 8) If the applicant is a corporation or partnership, the names and addresses of all stockholders or partners owning 10% or greater interest in said corporation or partnership shall be set forth in accordance with P.L. 1977 Ch. 336.

(If applicable, attach list)



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 OCEAN CITY, NJ 08226  
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**ESCROW FEES SUBMITTED**  
**FINANCIAL RESPONSIBILITY STATEMENT**

Section 25-1300.15.2 Amounts Specified Are Estimates [Ord. #04-13, § 8], of the Ocean City Zoning Ordinance, 88-27, Volume II, reads as follows:

The amount specified for escrow deposits are estimates, and it is recognized additional escrow fees may be necessary in particular applications. In the event that more than the amount specified for escrow is required in order to pay the reasonable costs incurred, the applicant shall, prior to being permitted to move forward in the approval procedure, pay all additional required sums. In the event a negative escrow balance develops prior to obtaining Certificate of Occupancy for any portion of the project, applicant/owner shall pay all additional required sums.

.....  
 I have read Section §25-1300.15.2 and understand that additional escrow fees may be charged at a later date. I herewith agree to pay these additional charged fees. If I fail to pay these fees when requested, I understand that the City will also charge reasonable attorney's fees for the collection of these fees.

**Please Print Clearly**

MARK BENEVENTO \_\_\_\_\_

609-742-0689 \_\_\_\_\_

(Name)

(Daytime Phone)

822 BOARDWALK, SUITE D, OCEAN CITY, NJ 08226 \_\_\_\_\_

(Billing Address)

(Signature)

(Date)

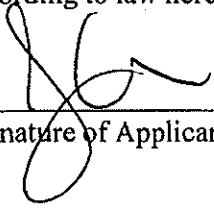
Note: The application will be deemed **incomplete** if all information above is not fully completed.



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609-399-6111 \* FAX 609-399-8419

AVERY S. TEITLER Being duly sworn  
(Name of Applicant or Attorney Representing)

according to law hereby certifies that the information presented in this application is true and accurate.

  
\_\_\_\_\_  
Signature of Applicant/Attorney

If applicant is not the owner of the property, have owner sign below or file with application a letter signed by the owner consenting to this application.

The foregoing application is hereby consented to this \_\_\_\_\_ day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
(Signature of property owner)

822 BOARDWALK, SUITE D, OCEAN CITY, NJ 08226  
(Address)

609-742-0689  
(Telephone Number)

Sworn and subscribed before me:

This \_\_\_\_\_ day of \_\_\_\_\_ 2023

Signature of Person authorized to take oaths - Notary



CITY OF OCEAN CITY  
 DIVISION OF PLANNING  
 115 12<sup>th</sup> Street  
 OCEAN CITY, NJ 08226  
 609-399-6111 \* FAX 609-399-8419

**PART III**

**ADMINISTRATIVE COMPLETENESS**

**APPLICATION CHECKLIST**

(Please submit with your application document)

NAME OF APPLICANT: BOARDWALK DEVELOPMENT COMPANY, LLC  
 NAME OF OWNER: SAME  
 NAME OF PROFESSIONAL(S): EDWIN N. HOWELL

**Required Documents**

- a) One original & 5 copies of the application WITH the completed Checklist X
- b) One original & 5 copies of the required plat meeting requirements set forth in Chapter 1500 of the City Ordinance X
- c) Required Application Fees as set forth in Chapter XXX of the City Code X
- d) Copy of CAFRA application or written explanation of why one isn't needed N/A
- e) Copy of NJDEP Wetlands application or written explanation of why one isn't needed N/A
- f) Current signed and sealed Survey of property (less than 1 year old) X
- g) Other submittals required by Board Professionals (if any) N/A
- h) Written description and justification for Waivers & Variances X
- i) Certified list of persons to whom notice must be sent, as compiled by the proper administrative officer of the appropriate municipality (Tax Assessor). X
- j) Proof from the Tax Collector that real estate taxes and local Assessments have been paid to date X
- k) (For Subdivisions only) A Certificate of Title X

### **ANSWERS TO QUESTION 6 (a) and (b)**

Applicant, Boardwalk Development Company, LLC, owner of the subject Property, requests preliminary and final major site plan approval, minor subdivision approval and variance relief to construct a miniature golf course on the proposed southerly lot at the Property. No development is proposed for the northerly lot. The proposed miniature golf course is a permitted use in the Gateway Zone. However, given the size and configuration of the Property, variance relief is required. Specifically, the Application requires variance relief for sign size and location, floor to ceiling height for the club house and transparent window percentage.

The requested variances can be granted under the (c)(2) criteria as several purposes of zoning will be met. The signage will provide more visibility to the Property, alerting patrons to the existence of the miniature golf course from a distance. This will provide an important safety feature, especially in the summer months. In addition, the proposed signs will create an aesthetically pleasing structure and a desirable visual environment. The same aesthetic arguments can be advanced regarding the club house variances (which are extremely minor in nature). Testimony and evidence will be provided to demonstrate that given the nature of the Property allowing the requested variances will allow for a more pleasing appearance and enhance safety. As a result, granting the requested variance relief presents little or no detriment to the public good and will not impair the intent and purpose of the zone plan and zoning ordinance.



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DIVISION OF PLANNING  
115 12<sup>th</sup> Street  
OCEAN CITY, NJ 08226  
609-399-6111 \* FAX 609-525-2496

**PART VI - FORMS**

**FORM A**

**CONFIRMATION OF PAID TAXES**

[24 HOUR NOTICE MAY BE REQUIRED]

TO BE COMPLETED BY APPLICANT AND RETURNED TO THE TAX COLLECTION OFFICE

NAME: BOARDWALK DEVELOPMENT COMPANY

BLOCK: 3306 LOT: 5

STREET ADDRESS: 3332-46 SIMPSON AVENUE

.....  
TO BE COMPLETED BY TAX COLLECTION OFFICE

Taxes current as of June 30 2023

Taxes paid through June 30 2<sup>nd</sup> quarter 20 23

Remarks: \_\_\_\_\_

Terence D Graff  
Terence Graff  
Tax Collector

8/15/23  
Date

THIS STATEMENT IS NOT AN OFFICIAL TAX SEARCH

AVERY S. TEITLER, ESQ.  
618 WEST AVENUE, SUITE 201  
OCEAN CITY, NJ 08226 (F) 609-398-4017

## **Avery Teitler Law**

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**From:** Megan A. McAfee <MMcAfee@OCNJ.US>  
**Sent:** Tuesday, August 15, 2023 3:48 PM  
**To:** Nicole Mayfield  
**Subject:** Re: Boardwalk Development Subdivision 3332-46 Simpson Ave

Nicole,

Hey, the smaller lot 65.31x122.50 will be lot 5.01 and the larger lot 104.69x122.50 will be lot 5.02.

Respectfully,

Megan McAfee, CTA  
Deputy Tax Assessor  
Department of Finance/Tax Assessment Division  
City of Ocean City  
861 Asbury Avenue  
City Hall-Room 107  
Ocean City, NJ 08226  
609-525-9374  
MMcAfee@OCNJ.US

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**From:** Nicole Mayfield <nmayfield@teitlerlaw.com>  
**Sent:** Tuesday, August 15, 2023 2:41 PM  
**To:** Megan A. McAfee  
**Subject:** RE: Boardwalk Development Subdivision 3332-46 Simpson Ave

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.  
My client still doesn't know what he is doing with the other lot, can you give me the proposed lot numbers and when he decides what he is doing I will let you know?

Nicole

**From:** Megan A. McAfee <MMcAfee@OCNJ.US>  
**Sent:** Thursday, August 10, 2023 3:28 PM  
**To:** Nicole Mayfield <nmayfield@teitlerlaw.com>  
**Subject:** Re: Boardwalk Development Subdivision 3332-46 Simpson Ave

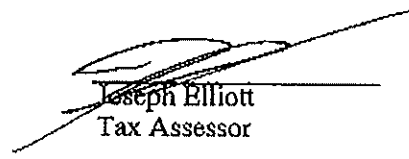
Hey Nicole,  
What will be built on the new lots, singles etc?

THE CITY OF OCEAN CITY  
TAX ASSESSMENT OFFICE  
861 ASBURY AVE, RM 107  
OCEAN CITY, NJ 08226  
609-525-9374 (TELE #)  
609-391-0650 (FAX #)

APPLICANT C/O AVERY S. TEITLER (200' LIST)  
BLOCK NUMBER 3306  
LOT NUMBER 5  
PROPERTY LOCATION 3332-46 SIMPSON AVE, OCEAN CITY NJ

I HEREBY CERTIFY THAT THE ATTACHED LIST IS A TRUE COPY OF THE OWNERS OF RECORD AS INDICATED BY THE CORRESPONDING BLOCK AND LOT ON THE TAX MAP OF THE CITY OF OCEAN CITY. 1,2

DATE 7/25/23

  
Joseph Elliott  
Tax Assessor

1. This report was developed using digital data from the Remington and Vernick, Engineers Geographic Information System. This report is a secondary product and has not been verified by Remington and Vernick Engineers
2. The attached report was developed using digital data from the Remington and Vernick Engineers GIS system to establish the properties that fall within the 100 foot criteria, within the 200 foot criteria, or within the contiguous property criteria. In addition, the owner names, address, etc. (as defined by the 100', the 200' criteria or the contiguous property criteria) data was taken from the Vital Municipal Tax Assessor Report Generator. The information contained in the attached report is subject to the accuracy limitations of said programs and subject to the accuracy of the information contained therein as of the date of the report generation.

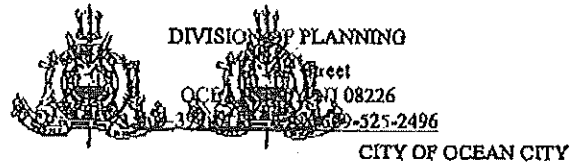
Jul. 25. 2023 12:22PM

No. 0478 P. 2

RECEIVED

JUL 25 2023

TAX ASSESSMENT OFFICE



**FORM B**  
**REQUEST FOR ADDRESSES WITHIN 200'**

Submit to Tax Assessment Office  
(861 Asbury Avenue)

Applicant BOARDWALK DEVELOPMENT COMPANY, LLC

Block: 3306

Lot: 5

Property Address: 3336 SIMPSON AVENUE

I authorize the Tax Assessor's Office to compile a listing of property owners and mailing addresses located within a 200-foot radius of the above-mentioned property.

Authorized Signature

Please call me when the list is complete at. 609-814-9995

Please mail the list to the following address:

AVERY S. TEITLER, ESQ.

618 WEST AVENUE, SUITE 201

OCEAN CITY, NJ 08226 (P) 609-398-4017

TAXING DISTRICT 09	ADJACENT OCEAN CITY	PROPERTY LISTING	PAGE 1
		COUNTY 05	CAPE MAY
PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS
3305 1	101 34TH ST OB3305,L177,A-179B	4A	STORDY SAVINGS BANK 506 S MAIN ST CAPE MAY COURT HOUSE, NJ 08210
3305 2 C1	3325A SIMPSON AVE OB3305,L175,176	2	BRAULINGER, ARNO J 25 HUNTINGTON FARM DR GLEN MILLS, PA 19342
3305 2 C2	3325C SIMPSON AVE OB3305,L175,176	2	SANTELLA, JOSEPH & DENISE 1756 ASHBROOKE AVE GARNET VALLEY, PA 19060
3305 2 C3	3325B SIMPSON AVE OB3305,L175,176	2	STOLARSKI, EDWARD J & PATRICIA C- 20 GARNET CIRCLE CONSHOHOCKEN, PA 19428
3305 2 C4	3325E SIMPSON AVE OB3305,L175,176	2	RHOADES, LORI K 326 WINDOVER DRIVE NORRISTOWN, PA 19403
3305 2 C5	3325D SIMPSON AVE OB3305,L175,176	2	MEYER, CHRISTOPHER S & JANICE L 312 METSGER WAY CHALFONT, PA 18914
3305 2 C6	3325F SIMPSON AVE OB3305,L175,176	2	TOMLIN, STEPHANIE 3331 SIMPSON AVE OCEAN CITY, NJ 08226
3305 3	3323 SIMPSON AVE OB3305 L173	4A	BACHICH, R & E T/A BACHICH ASSOC 3323 SIMPSON AVE SUITE 4 OCEAN CITY, NJ 08226
3305 4 C1	3309-11 SIMPSON AVE OB3305 L172	2	TRAUNER FAMILY LIMITED PARTNERSHIP 5151 LATROBE DR WINDERMERE, FL 34786
3305 4 C2	3309-11 SIMPSON AVE OB3305 L172	2	PRASAD, RAJEEV 1618 KNOLLWOOD RD BETHLEHEM, PA 18015
3305 15 C1	3324-26 HAVEN AVE	2	PETRON, STEPHEN A & KATHLEEN 668 MILLIKEN CT PERKASIE, PA 18944
3305 15 C2	3324-26 HAVEN AVE	2	BILODEAU, PAUL E & LISA D 2836 KENNEDY RD WILMINGTON, DE 19810
3305 16 C1	3328-30 HAVEN AVE OB3305 L236	2	FRASER, PATRICIA 3328 HAVEN AVE OCEAN CITY, NJ 08226
3305 16 C2	3328-30 HAVEN AVE OB3305 L236	2	ROTHWELL, SUZY B 4 SPRING LANE PIPERSVILLE, PA 18947

TAXING DISTRICT	ADJACENT OCEAN CITY	PROPERTY LISTING	PAGE 2
PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS
3305 17 C1	3332-34 HAVEN AVE L18 OB3305 L237A	2	MACH, EDWARD & LORRAINE 4489 E ALLEN ST PHILA, PA 19137
3305 17 C2	3332-34 HAVEN AVE L18 OB3305 L237A	2	COARY, KRISTEN 356 WHEAT SHEAF WAY COLLEGEVILLE, PA 19426
3305 19	109 34TH ST OB3305 L23B	4A	NEW CASTLE AVENUE LLC 102 LARCH CIRCLE, STE 301 NEWPORT, DE 19804
3306 5	3332-46 SIMPSON AVE OB3306, L117-120	4A	FLEET NATIONAL BANK CORP RT ESTAT NC1-001-03-81, 101 N TRYON CHARLOTTE, NC 28255
3350.01 17	BAY AVE AND 34TH ST OB3350 L1	15C	CITY OF OCEAN CITY 861 ASBURY AVE OCEAN CITY, NJ 08226
3405 3	3401-23 SIMPSON AVE 3.01	4A	SOUTHMONT ASSOCIATES OF OC & CVS INC, 1 CVS DR, MC2320 WOONSOCKET, RI 02895
3405 4	110 34TH ST OB3405 L221A	4A	THREE FOUR CORP & WAWA INC BALTIMORE PIKE WAWA, PA 19063
3406 1	3428 SIMPSON AVE OB3406 L1B	4A	OC 34 ASSOCIATES, LLC & PARDIGH TAX PO BOX 800729 DALLAS, TX 75380.0729
3406 2	34TH ST & BAY AVE OB3406 L75A	15C	CAPE MAY COUNTY CENTRAL MAIL ROOM CAPE MAY COURTHOUSE, NJ 08210

**CONDOMINIUM'S**

**\*PLEASE CONTACT PROPERTY MANAGEMENT/PRESIDENT OF CONDO ASSOCIATION:**

B - 3306 L - 1	3313 BAY AVE.	SEASPRAY CONDOS 3313 BAY AVENUE OCEAN CITY, NJ 08226	(32 UNITS)
B - 3306 L - 4	3308-30 SIMPSON AVE	TRADERS LANE 3308-30 SIMPSON AVENUE OCEAN CITY, NJ 08226	(14 UNITS)

UTILITIES COMPANIES LISTED BELOW MUST ALSO BE NOTIFIED:

SOUTH JERSEY GAS COMPANY  
CORPORATE HEADQUARTERS  
1 SOUTH JERSEY PLAZA  
FOLSOM, NJ 08037

VERIZON ENGINEERING DEPT  
10 TANSBORO RD FLR 2  
BERLIN, NJ 08009

CAPE MAY CO. MUNICIPAL UTILITIES AUTHORITY  
ATTN: CORPORATE SECRETARY  
1523 ROUTE 9 NORTH  
CAPE MAY COURT HOUSE, NJ 08210

NEW JERSEY AMERICAN WATER CO.  
JAMES RUNZER, MANAGER  
3215 FIRE RD  
EGG HARBOR TWP, NJ 08234-5857

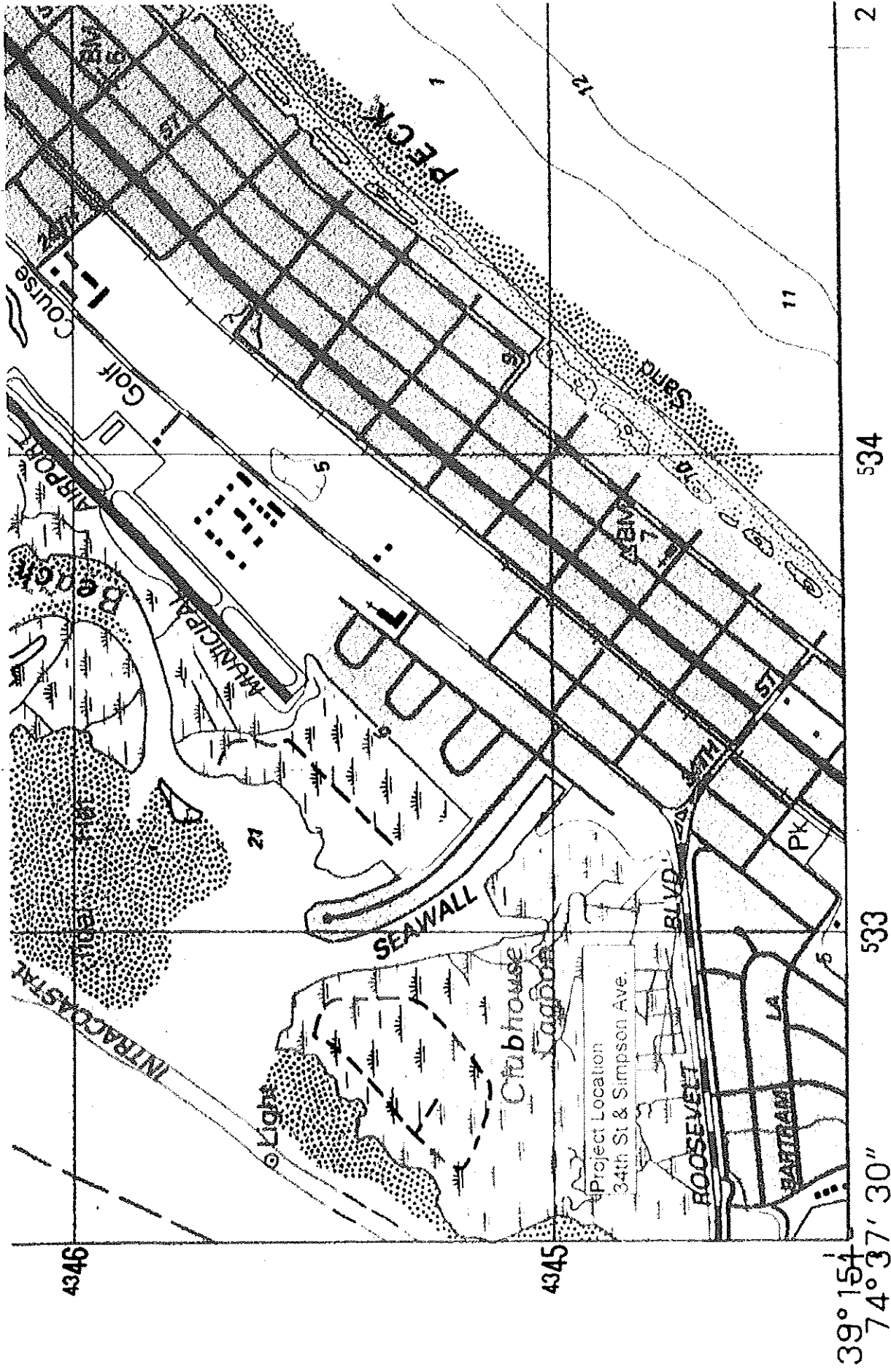
COMCAST CABLE  
ATTN: GREGORY SMITH, PROJECT MANAGER  
901 WEST LEEDS AVE  
ABSECON, NJ 08201

ATLANTIC CITY ELECTRIC COMPANY  
5100 HARDING HIGHWAY SUITE 399  
MAYS LANDING, NJ 08330

TO ALL APPLICANTS:

PLEASE BE ADVISED THAT IT IS THE APPLICANT'S BURDEN TO DETERMINE WHETHER THE  
CAPE MAY COUNTY PLANNING BOARD AND/OR THE COMMISSIONER OF THE NJ  
DEPARTMENT OF TRANSPORTATION MUST BE PROVIDED NOTICE IN ACCORDANCE  
WITH NJSA 40:56D-12

Rev: 2/10/2017



Produced by the United States Geological Survey

CITY

## 2.0 GEOLOGY AND HYDROGEOLOGY

The Site is located in the Coastal Plain Physiographic Province, which consists of unconsolidated sands, silts and clays that dip gently to the southeast (NJGS, 2016). According to New Jersey Department of Environmental Protection, GeoWeb Map Viewer, the Site is located on salt marsh and estuarine deposits of Holocene age. The general lithology in this area is comprised of brown, dark-brown, gray and black silt, sand, peat, clay and minor pebble gravel. Abundant organic matter (peat) was deposited in salt marshes, estuaries and tidal channels during the Holocene sea-level rise. Based on the USGS Ocean City, NJ quadrangle, the Site is situated on a barrier island between Peck Bay to the north and west and the Atlantic Ocean to the east. It can be assumed the direction of groundwater flow is variable and subject to tidal influence.

During this Limited Phase II ESA, backfill material was encountered to depths ranging from approximately 2 feet below ground surface (bgs) along the estimated limits of the excavation to depths of approximately 5 feet bgs within the UST excavation, and generally consists of yellow brown to orange brown well-graded sand with silt, gravel, and glass. The horizontal limits of the backfill material is shown on Figure 2. Native soil underlying the backfill material consists of medium to dark gray, poorly-graded sand with trace pebble gravel to depths of 10 feet bgs, the total depth explored. Organic marsh deposits were encountered at a depth of approximately 8 feet bgs and varied in thickness between 0.3 to 2 feet.

Groundwater was generally encountered at a depth of 5 feet bgs, with the exception of the pipeline trench, where groundwater was encountered at approximately 2 feet bgs. The shallow perched zone within the pipeline trench is likely due to the "bathtub" effect caused by the higher permeability fill material compared to the waterlogging nature of the underlying peat layer.



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 DIVISION OF PLANNING  
 115 12<sup>th</sup> Street  
 OCEAN CITY, NJ 08226  
 609-399-6111 \* FAX 609-399-8419

**PLAT REQUIREMENTS**

**SITE PLAN- PRELIMINARY §25-1500.8.2 and FINAL §25-1500.10.2**

NAME OF APPLICANT: Boardwalk Development Co., LLC

NAME OF OWNER: Boardwalk Development Co., LLC

BLOCK: 3306 LOT: 5(A) ADDRESS: 3332-48 Simpson Ave.

**25-1500.8.2 Preliminary Plat Requirements**

To be determined, subdivision to be decided

a. *General Requirements.*

1. Any preliminary plat of a site plan presented to the Planning Board or Board of Adjustment for its approval shall be signed and appropriately sealed by an architect, professional engineer, land surveyor and/or professional planner licensed to practice in the State of New Jersey; provided, however, that sanitary sewer, water distribution and storm drainage plans and water and sewage treatment plans may only be signed and sealed by a professional engineer.

X

2. Site plans shall not be drawn with North oriented to the top of the page, at a scale smaller than one inch equals fifty feet (1"=50') nor larger than one inch equals ten feet (1"=10'). If the size of the site would require the use of sheets larger than thirty inches by forty-two inches (30" x 42") in order to show the entire site on one (1) sheet, the detailed information for the site plan shall be shown in sections on sheets not larger than thirty inches by forty-two inches (30" x 42"), which sheets shall be keyed to an overall plan of the site drawn at a scale of not less than one inch equals two hundred feet (1"=200').

X

The site plan shall be based on a monumented, current certified boundary survey. The date of the survey and the name of the person making same shall be shown on the map. If twelve (12) months or more has passed since the date of (or date of last recertification of) the survey, it shall be recertified and if necessary, brought up to date.

X

b. *Title Block.* The title block shall appear on all sheets and include:

1. Title to read "Preliminary Site Plan."

X

2. Name of the development, if any. **Thunder Falls Adventure Golf**

X

3. Date (of original and all revisions).

X

4. Names, signatures, addresses, and license numbers of engineer, architect, land surveyor, or planner who prepared the plan and their embossed seal(s).

X

5. If the site plan contains more than one (1) sheet, each shall be numbered and titled.

X



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c. A schedule shall be placed on the site plan indicating:

- |   |                      |
|---|----------------------|
| 1. The acreage of the tract and site (the portion of the tract involved in the site plan).  | <u>X</u>             |
| 2. The floor area of the existing and proposed buildings (listed separately).   | <u>X</u>             |
| 3. The proposed use or uses and the floor area devoted to each use.   | <u>X</u>             |
| 4. The zone district in which the site is located.  | <u>X</u>             |
| 5. Tax map sheet, block and lot number of the site, as shown on the latest City tax map, the date of which should also be shown.  | <u>X</u>             |
| 6. Names and addresses of owner and developer, so designated.   | <u>X</u>             |
| 7. Proposed and required lot dimensions and front, rear and side setbacks.  | <u>X</u>             |
| 8. Proposed and required off-street parking spaces.   | <u>X</u>             |
| 9. The square footage and the percentage of the site that is:   |                      |
| (a) Occupied by buildings   | <u>X</u>             |
| (b) Impervious  | <u>X</u>             |
| 10. All variances requested.  | <u>X</u>             |
| d. North arrow and written and graphic scales.  | <u>X</u>             |
| e. The tops of the banks and boundaries of the floodways and flood hazard areas of all existing watercourses, where such have been delineated or the limits of alluvial soils where the boundaries of floodways and flood hazard areas have not been determined, and/or such other information as may assist the Board in the determination of floodway and flood hazard area limits. | <u>NA</u>            |
| f. The boundary, nature, and extent of marshes, wetlands, dunes and water areas within the site and within two hundred feet (200') thereof.   | <u>NA</u>            |
| g. Existing and proposed manholes, sewer lines, fire hydrants, water lines, utility poles, and all other topographical features of a physical or engineering nature within the site and within fifty feet (50') thereof. Utility locations are being located at the site and will be added to plans once the mark out is completed  | <u>Will be added</u> |
| h. All existing structures on the site and within fifty feet (50') thereof, including their use, indicating those to be destroyed or removed and those to remain.   | <u>X</u>             |
| i. Location, use, finished grade level, ground coverage, first floor, front, rear and side setbacks of all existing buildings and other pertinent improvements.   | <u>X</u>             |
| j. Existing and proposed public easement or rights-of-way and the purposes thereof.   | <u>None</u>          |



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- k. A grading plan showing existing and proposed grading contours at one foot (1') intervals throughout the tract, or spot elevations if acceptable to the Board Engineer. Datum shall be North American Vertical Datum (NAVD88) and source of datum shall be noted. In addition to proposed grading contours, sufficient additional spot elevations shall be shown to clearly delineate proposed grading. Also, a site bench mark shall be labeled on the plan. X
- l. *On-Site Drainage Plan:* Not Required - Post construction impervious coverage is less than pre-construction
1. The drainage plan shall be presented in graphic form which shall clearly show the street and lot layout and those items which are pertinent to drainage including existing and proposed contours and spot elevations as previously required. NA
  2. The plan shall outline each area contributing to each inlet. NA
  3. All proposed drainage shall be shown with pipe type and sizes, invert and grate or rim elevations, grades and direction of flow. The direction of flow of all surface waters and of all streams shall be shown. NA
  4. The drainage plan shall be accompanied by complete drainage calculations made in accordance with the standards set forth in this Ordinance. NA
- m. *Off-Site Drainage Plan.* The plat shall also be accompanied by an off-site drainage plan prepared in accordance with the following standards:
1. The plan shall consist of an outline of the entire drainage basin in which the site is located. The terminus of the basin and existing ground contours or other basis for determining basin limits shall be shown. NA
  2. The pertinent off-site existing drainage shall be shown with elevations of inverts and grates to the nearest one-hundredth of a foot (.01'). NA
  3. To the extent that information is available and may be obtained from the County or Municipal Engineer, any existing plans or drainage improvements shall be shown. NA
  4. In the event a temporary drainage system is proposed, full plans of that system shall be shown. NA
  5. The off-site drainage plans shall be accomplished by profiles of all proposed drainage, showing existing details, pipe sizes, type, inverts, crowns, slopes, all proposed structures and connections and design hydraulic grade lines for all conduits designed to carry forty (40) or more cubic feet per second. Cross-sections at intervals not exceeding one hundred feet (100') shall be shown for all open channels. NA



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n. If required by the City Engineer, center line profiles of streets bordering the site, internal roadways, and major circulation aisles showing:

1. Existing and proposed final grades and slopes.

NA

2. Pipe sizes, slope, type, inverts, and grate or rim elevation of drainage and sanitary sewage facilities.

NA

o. *Boring Logs.* A Soils Engineer's Report shall conform to Section 25-1500.7.2x of this Ordinance.

X

1. Borings shall be spaced evenly throughout the site.

X

2. One (1) boring shall be made per acre (or portion thereof) in those areas where the water table is found to be less than ten feet (10') below proposed or existing grade.

X

3. In addition to the above, in those areas where the water table is found to be five feet (5') or less below existing or proposed grade, two (2) additional borings per acre (or portion thereof) will be required if construction of basements is contemplated. Borings shall be located where such basements are proposed.

X

4. Boring logs shall show soil types and characteristics encountered, groundwater depths, the methods and equipment used, the name of the firm, if any, making the borings and the name of the person in charge of the boring operation. The boring logs shall also show surface elevations to the nearest one-tenth of a foot (.1').

X

5. Based on the borings, the site plan shall clearly indicate all areas having a water table within two feet (2') of the existing surface of the land, or within two feet (2') of proposed grade; or all areas within which two feet (2') or more of fill is contemplated or has previously been placed.

X

p. Zone district boundaries and a portion of the Tax Map Sheet shall be reproduced for a minimum distance of five hundred feet (500') surrounding the site upon which the following shall be indicated:

1. The site;

X

2. Zone district boundaries;

X

3. Tax map sheet;

X

4. Lot and block numbers;

X

5. Name of all owners within two hundred feet (200') of the site;

X

6. Streets with names;

X

7. Scale and north arrow.

X



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q. *Key Map:* A portion of the U.S. Geological Survey map shall be shown (scale 1"=2,000') indicating the following:

- 1. The site;
- 2. U.S.G.S. map number; Map excerpt included with application will be added to Sheet #1
- 3. Scale and north arrow.

X  
 X  
 X

r. The location, area, dimensions and proposed disposition of any area or areas of the site proposed to be retained as common open space, indicating the facilities to be provided in such areas.

NA

s. The capacity of off-street parking areas and the location and dimensions of all access drives, aisles and parking stalls. The location and treatment of existing and proposed entrances and exits to public rights-of-way, including the possible utilization of traffic signals, channelization, acceleration and deceleration lanes, additional width and any other device necessary for traffic safety and/or convenience, and the estimated average number of passenger vehicles, single unit trucks or buses, and semi-trailers that will enter the site each day.

X

t. Graphic depiction of the anticipated routes and details of the system of on-site vehicular and pedestrian circulation. If the developer desires to have the appropriate provisions of N.J.S.A. 39:1 et seq. governing motor vehicle operation made applicable to the site, thereby allowing municipal police regulation of traffic control devices, he shall submit a formal request and a detailed plan meeting the requirements of the New Jersey Department of Transportation. The City Engineer will advise the developer regarding the details of such a plan.

NA

u. The location and size of proposed loading docks when required by Section 25-300.12.4.1 of this ordinance.

Waiver

v. Location of curbs and sidewalks.

X

w. Cross-sections showing the composition of pavement areas, curbs, and sidewalks.

X

x. Exterior lighting plan, including the location, direction of illumination, amount of illumination expressed in horizontal foot candles, wattage and drawn details of all outdoor lighting standards and fixtures.

X

y. Landscaping and screening plan showing the location, type, spacing, and number of each type of tree or shrub, the location, type and amount of each type of ground cover to be utilized, and plant list and planting details for trees, shrubs, and/or ground cover.

X

z. Location of signs and drawn details showing the size, nature of construction, height and content of all signs. Variance requested for relocation of Existing Post Sign and new Roof Sign

X Variance

aa. Drawn details of the type of screening to be utilized for refuse and recyclable material, storage areas, outdoor equipment and bulk storage areas.

X



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bb. Floor plans and building elevation drawings of any proposed structure or structures, or existing structures to be renovated. X

cc. Location of handicapped facilities including parking spaces and ramps (where applicable). X

dd. *Sectionalization and Staging Plan.* Developers of large uses such as shopping centers, multi-family dwellings, office parks or other such uses proposed to be developed in stages shall submit a sectionalization and staging plan showing the following:

1. The anticipated date for commencing construction of each section or stage. The staging of development on the site shall be such that if development of the site were discontinued after the completion of any stage, the developed portion of the site would comply in all respects to the requirements of this Ordinance and be provided with adequate drainage and utility systems. NA

2. Those improvements that will be completed in each stage prior to application for Certificate of Occupancy. The plan should demonstrate that the staging of construction will minimize adverse effects upon occupied buildings in the site and adjoining properties. NA

ee. Written description of the proposed operations in sufficient detail to indicate the effects of the use in producing traffic congestion, noise, glare, air pollution, fire hazards or safety hazards. The written description shall also include the hours of operation of the use, the number of shifts to be worked, the number of employees in each shift, the number of vehicles to be stored or parked on the site, and provisions to be made for site maintenance. X

ff. Such other information as the Planning Board and/or City Engineer may request during site plan review. ?

MISCELLANEOUS REQUIREMENTS THAT MAY BE REQUIRED

1. COST OF IMPROVEMENTS ESTIMATE (SEE 25-1600.1.1A) To be provided as called for in Section 25-1600 1.1A X

2. SIGHT TRIANGLE – CORNER PROPERTIES (SEE 25-1700.13.3) X

3. SOIL EROSION PLAN (SEE 25-1700.32) X

4. OTHER AGENCY REQUIREMENTS

a. County Planning Board (25-1500.8.3B) Application not yet made X

b. New Jersey Water Company (25-1500.8.3C) Service demand no more than existing NA

c. Waterfront Development (CAFRA) X

d. Adequacy of Utility Service Service demands do not exceed the existing services X

**25-1500.10.2 Final Plat Requirements.**

The final plat shall include all data required for the preliminary plat of the site plan and shall be drawn to incorporate all changes required as a condition of preliminary approval and shall be drawn by persons and to specifications as required for a preliminary plat and shall be titled "Final Plat - Site Plan."

# TEITLER & TEITLER, LLC

ATTORNEYS AT LAW

618 WEST AVENUE, SUITE 201  
OCEAN CITY, NJ 08226

(609) 814-9995

FAX (609) 398-4017

August 21, 2023

## VIA HAND DELIVERY

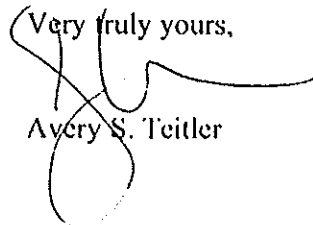
Jaime Felker, Secretary  
Planning Board of Ocean City  
City of Ocean City  
Henry Knight Building  
115 12<sup>th</sup> Street  
Ocean City, New Jersey 08226

RE: 3332-46 Simpson Avenue, Ocean City, New Jersey 08226  
Block: 3306. Lot: 5

Dear Mrs. Felker:

Please accept this letter as a Certificate of Title indicating that, upon information and belief, the above Property is presently owned by Boardwalk Development Company, LLC. I have reviewed the last deed of record, and, upon further information and belief, there are no covenants or deed restrictions that would prevent the land from being subdivided. The purpose of this Certificate of Title is to be included in an application to subdivide the above Property.

I thank you very much for your attention and consideration to this matter. As always, if you have any questions or require additional information, please do not hesitate to contact me.

Very truly yours,  
  
Avery S. Teitler



**ZONING SCHEDULE**

**ADJACENT PROPERTY LISTING**

**ZONING MAP**

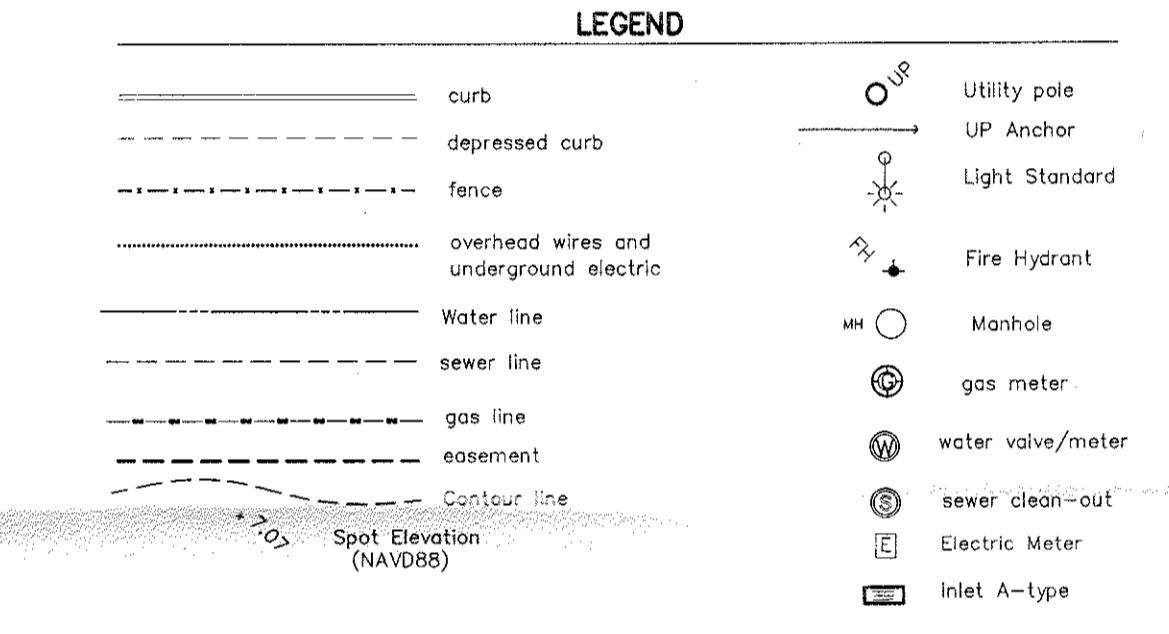
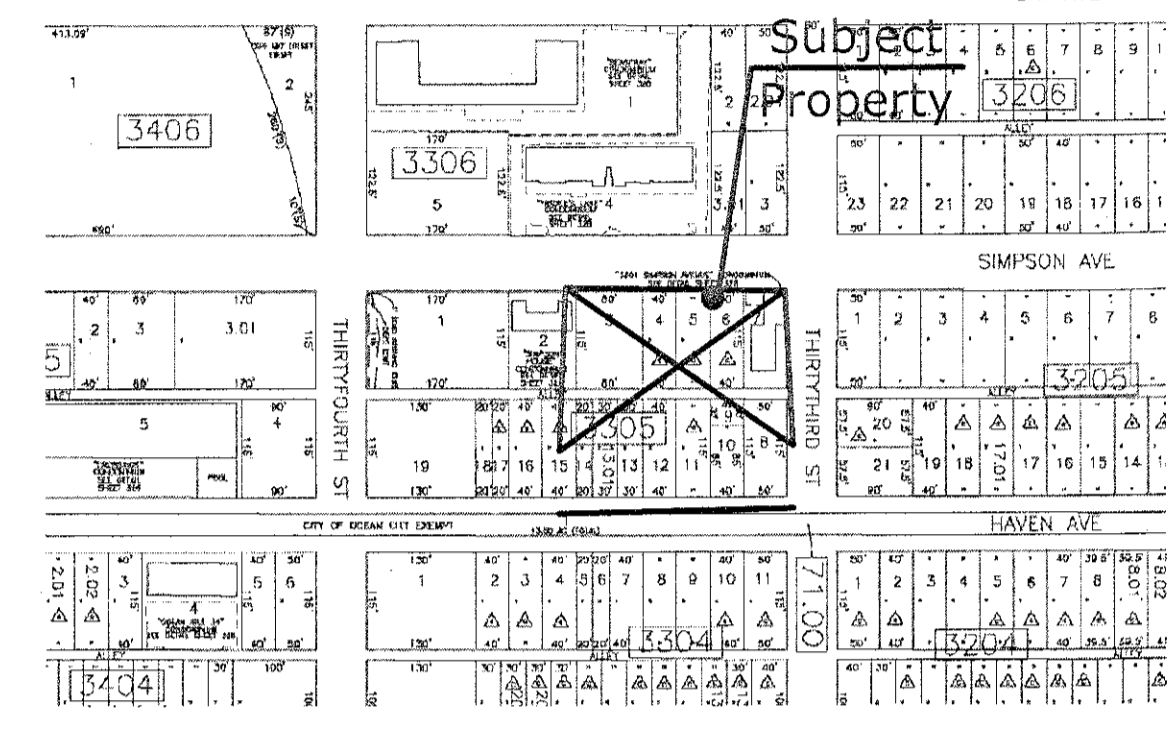
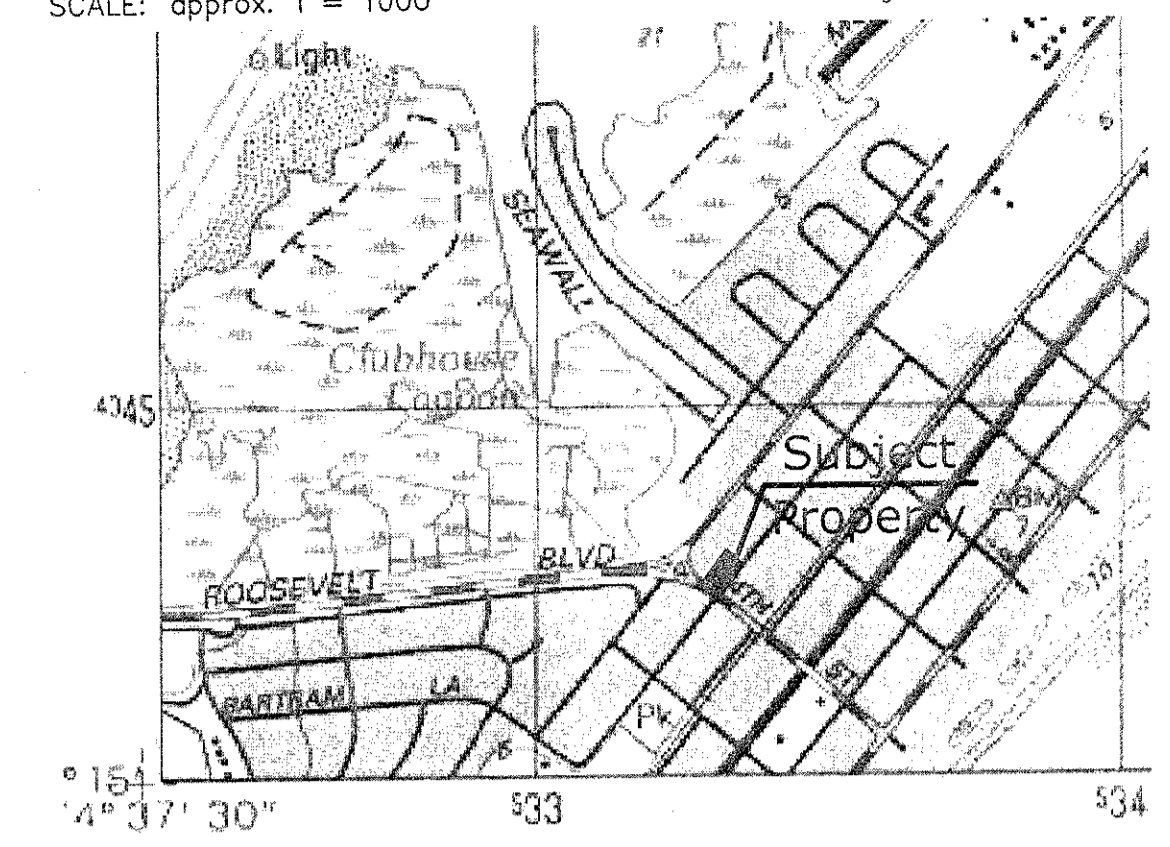
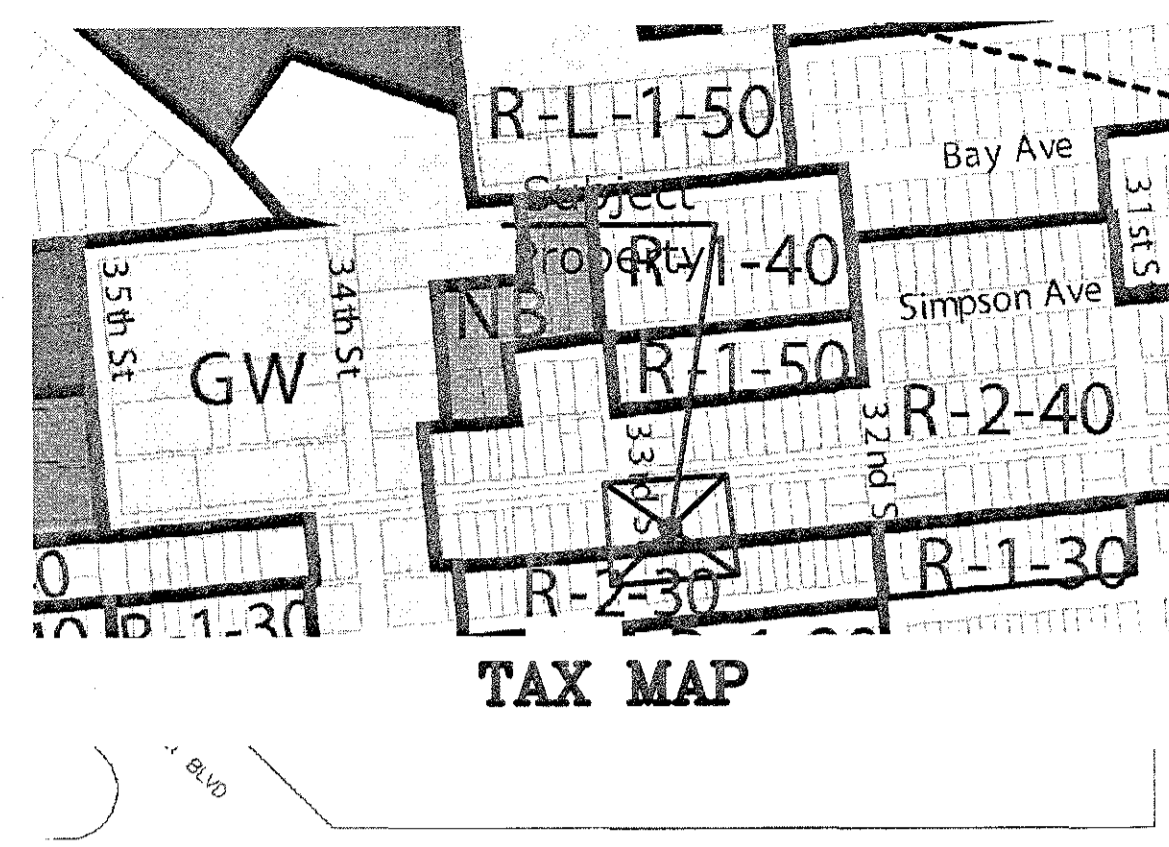
**KEY MAP**

**"GW" 34th Street Gateway Zone**

ZONING ELEMENT	PERMITTED OR REQUIRED	EXISTING CONDITIONS	CORNER LOT PROPOSED LOT 5.02	INTERIOR LOT PROPOSED LOT 5.01	STATUS
Use	Retail sales & service, Professional offices, Restaurants, Bicycle rentals, Medical complexes, shopping centers, Recreation, Entertainment facilities, Banks	Bank	Open Air Golf	To be determined	C
Area - Corner Lot	7,000 Sq Ft (Corner)	20,825 sq. ft.	12,825 sq. ft.	N/A	C
Area - Interior Lot	6,000 Sq Ft (Interior)	20,825 sq. ft.	N/A	8,000 sq. ft.	C
Lot Width and Frontage - Corner Lot	70' (Corner)	170.00'	104.89'	N/A (Interior Lot)	C
Lot Width and Frontage - Interior Lot	60' (Interior)	170.00'	N/A (Exterior Lot)	65.31'	C
Lot Depth	100'	122.50'	122.50'	122.50'	C
Front Yard Setback (Corner Lot)	40' (34th Street)	10.3' (34th Street)	40' min (34th Street)	N/A (Interior Lot)	C
Front Yard Setback (Schedule "B" - Simpson Avenue)	10' (Simpson Avenue)	10' min (Simpson Avenue)	10' min (Simpson Avenue)	10' min (Simpson Avenue)	C
Rear Yard Setback	20.0'	75.7'	20' min	20' min	C
Side Yard Setback (Schedule "C" - GW Zone)	7'	91.5'	greater than 7'	greater than 7'	C
Both Side Yard Setbacks (Schedule "C" - GW Zone)	17' (Corner Lot)	N/A (Corner Lot)	N/A (Corner Lot)	greater than 17'	C
Building Coverage	80%	13.2%	less than 80%	less than 80%	C
Impervious Coverage	85%	72.4%	less than 85%	less than 85%	C

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS
3305 1	101 34TH ST 083305, L177, A-179B	4A	STURDY SAVINGS BANK 506 E MAIN ST CAPE MAY COURT HOUSE, NJ 08210
3305 2	3325A SIMPSON AVE 083305, L175, 176	2	BRADLINGS, ARNO J 25 HUNTINGTON FARM DR GLEN MILLS, PA 19342
3305 2	3325C SIMPSON AVE 083305, L175, 176	2	SANTELLA, JOSEPH & DENISE 1756 ASHBROOK AVE GARNET VALLEY, PA 19060
3305 2	3325B SIMPSON AVE 083305, L175, 176	2	STOLARSKI, EDWARD J & PATRICIA C- 26 GARNET CIRCLE ODDSHOCKEN, PA 19428
3305 2	3325E SIMPSON AVE 083305, L175, 176	2	RHODES, LOUI K 326 WINDOVER DRIVE HARRISTOWN, PA 19403
3305 2	3325D SIMPSON AVE 083305, L175, 176	2	MEYER, CHRISTOPHER S & JANICE L 312 WEISSER WAY CHALLENGER, PA 18914
3305 2	3325F SIMPSON AVE 083305, L175, 176	2	TOMLIN, STEPHANIE 3331 SIMPSON AVE OCEAN CITY, NJ 08226
3305 3	3323 SIMPSON AVE 083305 L173	4A	BACHICH, R & E T/A BACHICH ASSOC 3323 SIMPSON AVE SUITE 4 OCEAN CITY, NJ 08226
3305 4	3309-11 SIMPSON AVE 083305 L172	2	TRAUER FAMILY LIMITED PARTNERSHIP 5151 LATROBE DR WINDERMERE, FL 34786
3305 4	3309-11 SIMPSON AVE 083305 L172	2	BRASAD, RAJESH 1519 KNOWLTON RD BETHLEHEM, PA 18015
3305 15	3324-26 HAVEN AVE	2	PETRON, STEPHEN A & PATRICIA 668 MILLIKEN CT FERROVIE, PA 18944
3305 16	3324-26 HAVEN AVE	2	BILLOEAU, PAUL E & LISA D 2016 KENNEDY RD WILMINGTON, DE 19810
3305 16	3328-30 HAVEN AVE 083305 L236	2	FRASER, PATRICIA 3328 HAVEN AVE OCEAN CITY, NJ 08226
3305 16	3328-30 HAVEN AVE 083305 L236	2	RODWELL, SUZY B 4 SPRING LAKE PETERSVILLE, PA 18947

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS
3306 17	3332-34 HAVEN AVE L18 083305 L237A	2	WACH, EDWARD & IORPAHE 449 E ALLEN ST PHILA, PA 19137
3306 17	3332-34 HAVEN AVE L18 083305 L237A	2	COART, KRISTEN 356 WHEAT SHEAF WAY COLLEGEVILLE, PA 19426
3306 19	109 34TH ST 083305 L238	4A	NEW CASTLE AVENUE LLC 102 LARCH CIRCLE, STE 301 NEWPORT, DE 19804
3306 5	3332-46 SIMPSON AVE 083306, L117-120	4A	FLEET NATIONAL BANK & CORP AT BL ESTAT NC1-001-03-81, 101 N TRYON CHARLOTTE, NC 28256
3350.01 17	BAY AVE AND 34TH ST 083350 L1	15C	CITY OF OCEAN CITY 861 ASBURY AVE OCEAN CITY, NJ 08226
3405 3	3401-23 SIMPSON AVE 3.01	4A	SOUTHCOAST ASSOCIATES OF NJ 1000 S. 1ST ST, MC2320 MOONSBCKET, RI 02895
3405 4	110 34TH ST 083405 L221A	4A	THREE FOUR CORP 8 HANA INC BALTIMORE PIKE HANA, PA 19063
3406 1	3428 SIMPSON AVE 083406 L18	4A	DC 34 ASSOCIATES, LLC REAPPROPRIATE TAX PO BOX 800729 DALLAS, TX 75380-0729
3406 2	34TH ST & BAY AVE 083406 L75A	15C	CAPE MAY COUNTY CENTRAL MAIL ROOM CAPE MAY COURTHOUSE, NJ 08210



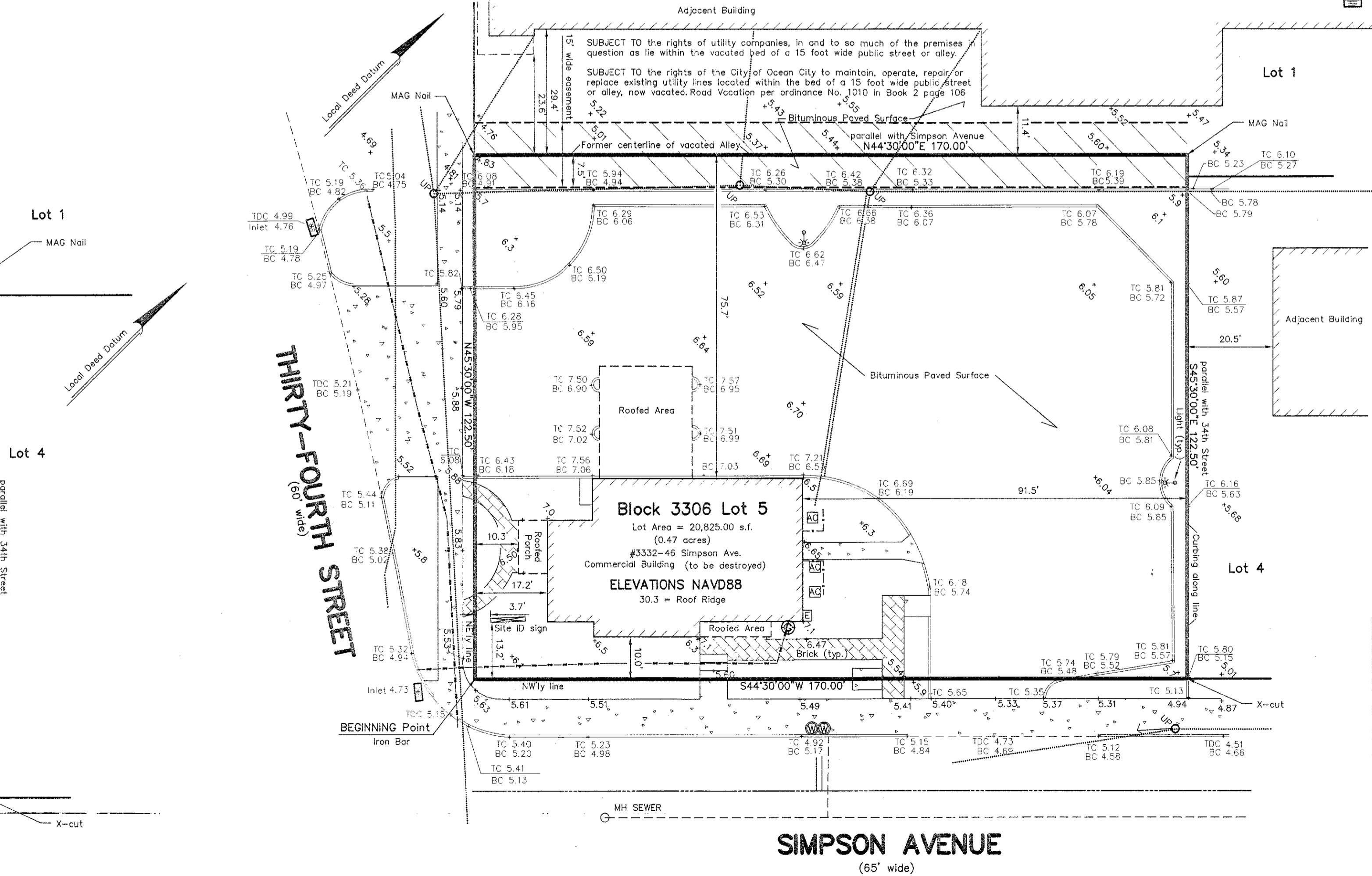
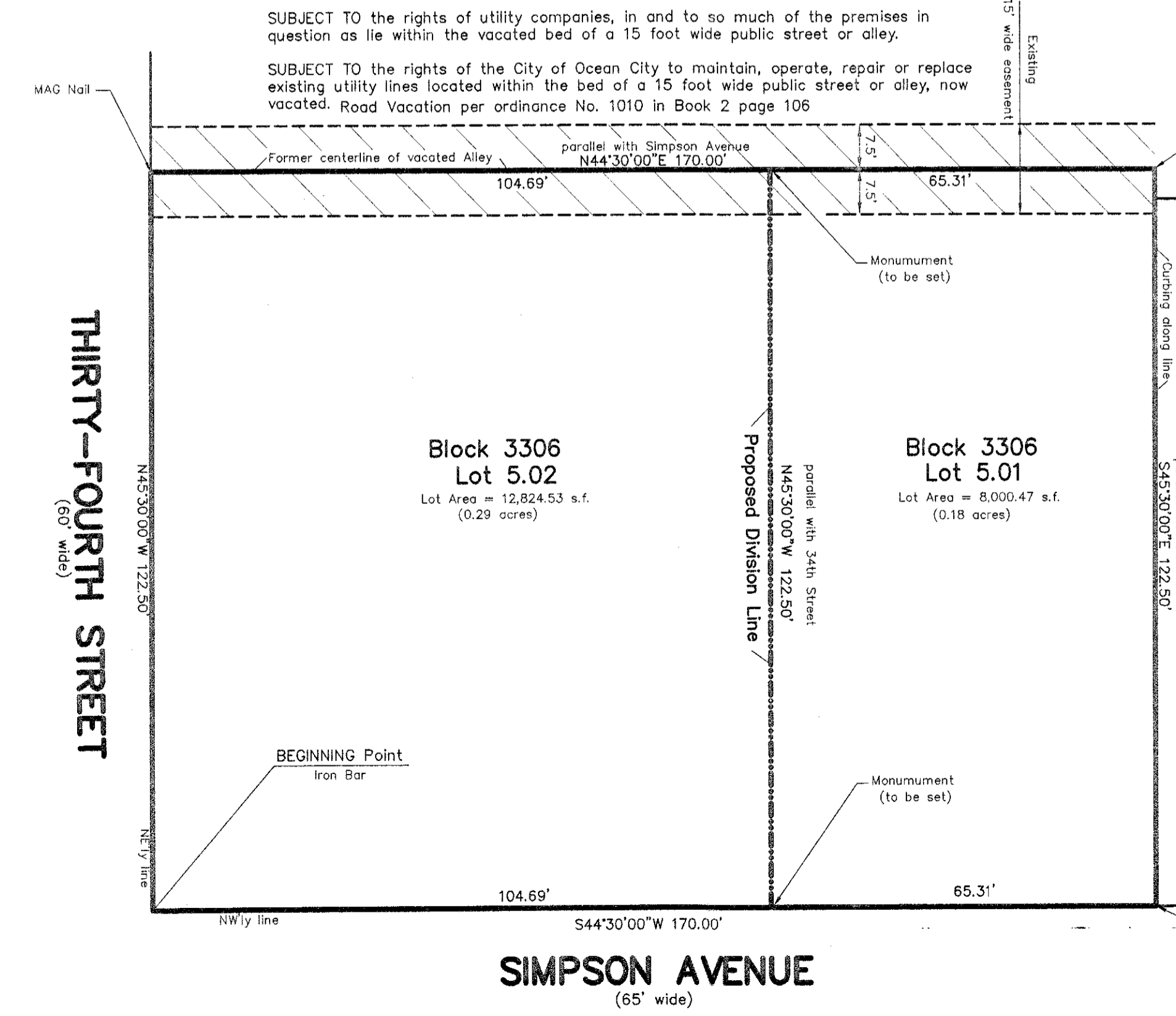
**GENERAL INFORMATION**

- Applicant:** Boardwalk Development Company, LLC  
c/o Avey S. Teller, Esq.  
618 West Avenue, Suite 201, Ocean City, NJ 08226  
phone (609) 814-9995, fax (609)-398-4017;
- Owner:** Boardwalk Development Company, LLC  
c/o Mark Benevento  
phone (609) 742-0689;
- Premises in Question:** Block 3306 Lot 5; #3332-46 Simpson Avenue; Shown on Tax Map Sheet #26 dated October 2005.
- Zone:** "GW" 34th Street Gateway Zone, Adjacent properties are in the "GW" and "NB" zones, various other surrounding zones exist as shown on ZONING MAP.
- Area:** Total area of tract to be subdivided = 20,825 square feet (0.47 acres);
- Proposed Number of Lots:** Two (2) new conforming Lots to be created from One (1) existing Lot.
- Survey:** Subdivision Plan is based on survey performed by Paul Koelling & Associates, LLC on June 20, 2023 in accordance with N.J.A.C. 13-29.5.1;
- Easements & Deed Restrictions:** A 15 foot wide Easement exists along the Westerly Property Line as shown on plan. No Other Easements other than normal blanket utility easements are known to exist, and, none are proposed. No deed restrictions are known to exist, and, none are proposed.
- Utilities:** Municipal sewerage, public water supply, gas service and underground electrical utilities exist as shown;
- FIRM Zone:** The subject property is located in F.E.M.A. Flood Insurance Rate Map Zone "AE" (Base Flood Elevation 9 feet) as shown on panel 34009C0088F;
- Elevations:** Spot ground elevations and contour lines depicted in NAVD88;
- Variations:** No Variations from the Zoning Ordinance of the City of Ocean City are required in connection with this MINOR SUBDIVISION as shown on the ZONING SCHEDULE.

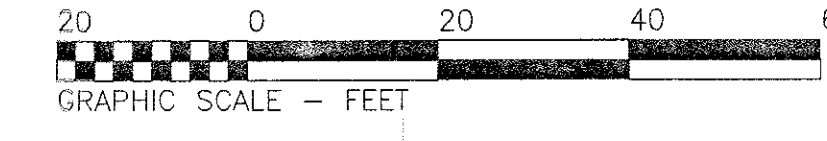
PLEASE CONTACT PROPERTY MANAGEMENT/PRESIDENT OF CONDO ASSOCIATION:

PROPERTY ID	PROPERTY LOCATION	CLASS	OWNERS NAME & ADDRESS
H-3936 1-1	3313 BAY AVE	SEASPRAY CONDOS	4233 BAY AVENUE OCEAN CITY, NJ 08226
B-3306 1-4	3308-30 SIMPSON AVE	TRADERS LANE	3808 30 SIMPSON AVENUE OCEAN CITY, NJ 08226

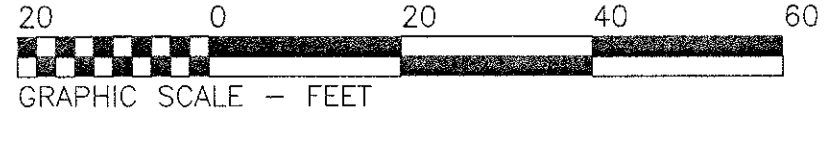
TO ALL APPLICANTS:  
PLEASE BE ADVISED THAT IT IS THE APPLICANT'S BURDEN TO DETERMINE WHETHER THE CAPE MAY COUNTY PLANNING BOARD AND/OR THE COMMISSIONER OF THE DEPARTMENT OF TRANSPORTATION MUST BE PROVIDED NOTICE IN ACCORDANCE WITH N.J.S.A. 48:66D-12.



**PROPOSED CONDITIONS**  
SCALE: 1" = 20'



**EXISTING CONDITIONS**  
SCALE: 1" = 20'



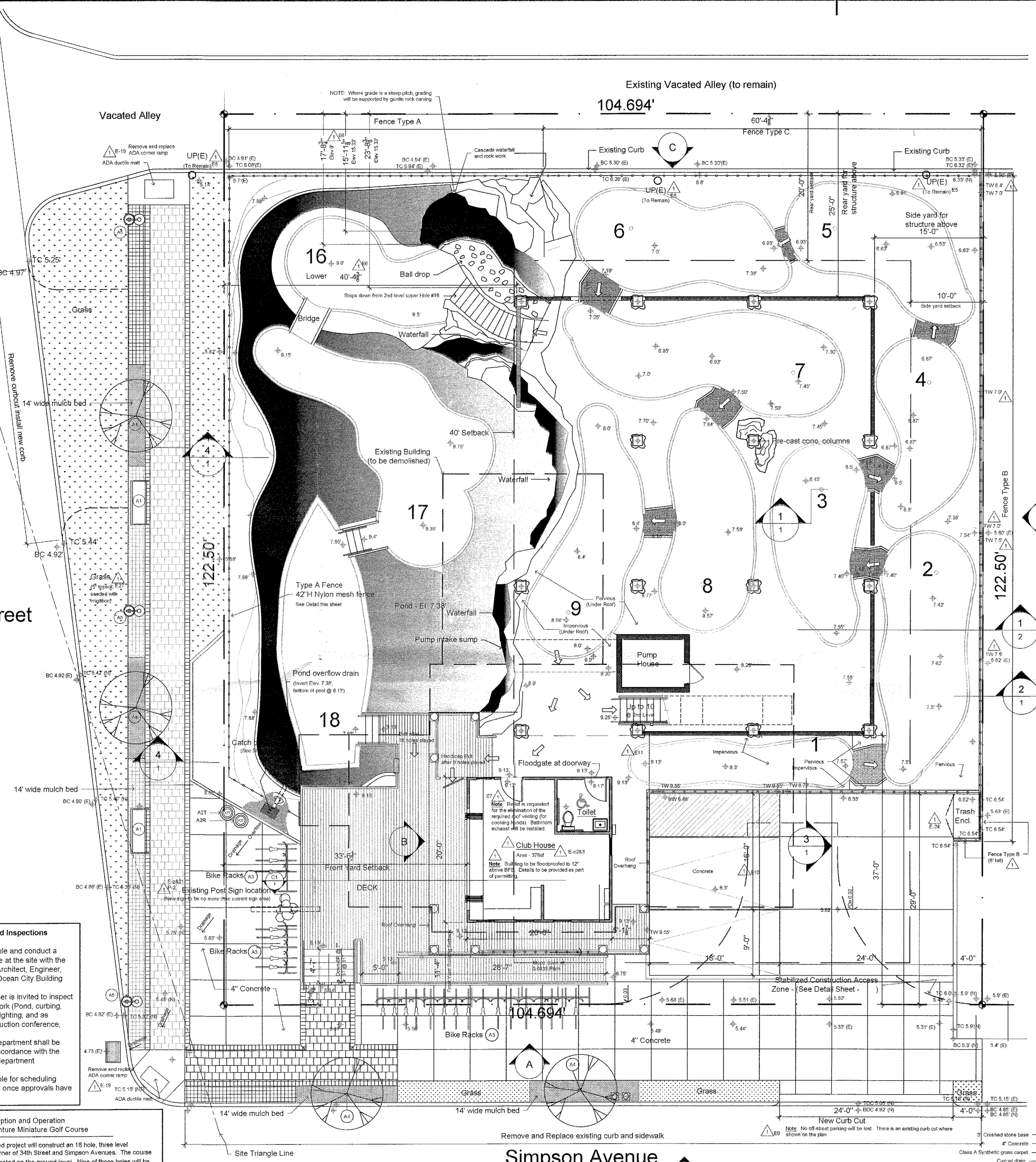
OWNER	Date
Municipal Engineer	Date
Municipal Planning Board Secretary	Date
Municipal Planning Board Chairman	Date
Municipal Planning Board Secretary	Date

CAPE MAY COUNTY CLERK'S OFFICE  
MAP FILING DATA  
10/27/2023 | Planner's Report Comment #2  
Date | Revision

I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP AND LAND SURVEY DATED 10-27-2023 MEET THE MINIMUM SURVEY DETAIL REQUIREMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND THE MAP HAS BEEN MADE UNDER MY SUPERVISION, AND COMPLIES WITH THE "THE MAP FILING LAW" AND THAT THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND OR WILL BE SET UPON Subdivision approvals.

*Paul Koelling*  
**PAUL M. KOELLING**  
PROFESSIONAL LAND SURVEYOR  
PLS; N.J. LICENSE NO. 24GS04328800

**MINOR SUBDIVISION**  
of #3332-46 Simpson Avenue  
**SITUATE IN**  
CITY OF OCEAN CITY  
COUNTY OF CAPE MAY, N.J.  
**BLOCK 3306**  
**LOT 5**  
**PAUL KOELLING & ASSOCIATES, LLC**  
Professional Land Surveying  
2161 Shore Road  
Limwood, NJ 08221  
phone (609) 927-6279 fax (609) 927-0188  
CERTIFICATE OF AUTHORIZATION #24GA28256300  
date: Augst 18, 2023 by: KOELLING  
SCALE: 1" = 20' and as noted Project #6109



- NOTES: Pre-Const. Meeting and Inspections**
- The contractor shall schedule and conduct a Pre-construction conference at the site with the following present: Owner, Architect, Engineer, Planning Board Engineer, Ocean City Building Official.
  - The Planning Board engineer is invited to inspect all site improvement formwork (Pond, curbing, sidewalks, retaining walls, lighting, and as described at the Pre-construction conference, prior to concrete pour.
  - The Ocean City Building Department shall be alerted for inspections in accordance with the NJUCC and local building department requirements.
  - The Contractor is responsible for scheduling inspections and proceeding once approvals have been given.

**Course Description and Operation**  
**Thunder Falls - Adventure Miniature Golf Course**

**Project Description:** The proposed project will construct an 18 hole, three level miniature golf course at the north west corner of 34th Street and Simpson Avenue. The course hole layout will have the first 11 holes located on the ground level. Nine of those holes will be designed to be handicap accessible play. This will allow handicapped individuals to play the first nine holes then replay those holes for an 18 hole experience.

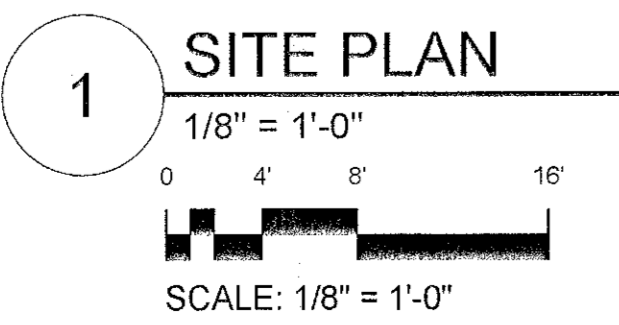
**Building Height:** The building height was designed to the height limit (BFE + 1ft + 20ft) will be the height of several of the water feature water falls. The design has the top of the location where the waterfall originates at between 33.4' NAVD and 34' NAVD, where the maximum building height limit is 35' NAVD.

**Access:** Access to the Club House (first destination when entering the site) is from 34th Street and Simpson Avenue as required by the Ordinance. Three parking spaces will be provided on site, with one intended, dimensioned and labeled as handicap parking. Bicycle racks are provided on site, since experience from other courses, owned by the applicant, either walk or ride bikes to the property.

**Hours of operation:** The course will open and remain open and close at midnight, with the first tee time being at 11:00.

**Employees:** There will be two employees. A ticket person in the Club House and a course monitor that will circulate around the course, to monitor play, assist golfers if needed and clean the course as required. Experience in these employees will drive to the course on their bikes.

**Refreshments:** Light refreshments will be sold at the Club House, which will include beverages (water, iced tea, soda). Trash containers will be placed around the course, supported by the on-site trash enclosure for several trash cans that will be set out for municipal pick up.



**SITE AMENITY LEGEND**

DESIGNATION	TYPE	MANUFACTURER	MODEL	REMARKS
A1	Bench	Victor Stanley	CR-95	6' L, vert. sl. slats, Color - RAL3011
A2 (T)	Trash Can	Victor Stanley	S-45	Color - RAL 3011
A2 (R)	Trash Can	Victor Stanley	S-45	Recycle Label, Color - RAL 3011
A3	Bike Rack	Urban Accessories	D	Color - RAL 3011
A4	Street Tree			Cleveland Select Pear
A5 (L5)	Street Light	Cyclone Lighting	CY 5501	3 1/2" Cal. B&B, brandcord @ 7 AG See Lighting Schedule, Sheet #3

- 1 HOLE DRAINAGE 1/2" = 1'-0"
- 2 RETAINING WALL 1/2" = 1'-0" With Fence Type C
- 3 RETAINING WALL 1/2" = 1'-0"
- 4 POOL EDGE 1/2" = 1'-0"

**LIST OF PROPERTY OWNERS WITHIN 200' OF 3332-46 SIMPSON AVE., OCEAN CITY, NJ**

BLOCK	LOT	ADDRESS	OWNER'S NAME	OWNER'S ADDRESS
3305	1	101 34th Street	Sturdy Savings Bank	506 S. Main Street, Cape May Ct. Hs., NJ
3305	2	3325A Simpson Ave	Brauninger, Arno	25 Huntington Farm Dr., Glen Mills, PA
3305	2	3325B Simpson Ave	Santella, Joseph & Denise	1756 Ashbrooke Ave, Gamet Valley, PA
3305	2	3325C Simpson Ave	Stolarski, Edward & Patricia	20 Garnet Cir., Conshohocken, PA
3305	2	3325D Simpson Ave	Rhoades, Lori	326 Windover Dr., Norritown, PA
3305	2	3325E Simpson Ave	Myer, Christopher & Janice	312 Metzger Way, Chalfont, PA
3305	2	3325F Simpson Ave	Tomlin, Stephanie	3331 Simpson Ave, Ocean City, NJ
3305	3	3323 Simpson Ave	Bachich, R Va Bachich Assoc	3323 Simpson Ave, Suite 4, Ocean City, NJ
3305	4	3309-11 Simpson Ave	Trainer Family LLP	5151 Latrobe Dr., Windermere, FL
3305	4	3309-11 Simpson Ave	Prasad, Rajeev	1618 Knollwood Rd, Bethlehem, PA
3305	15	3324 Haven Ave	Petun, Stephen & Kathleen	668 Milliken Ct, Parkside, PA
3305	15	3324-26 Haven Ave	Blondau, Paul & Lisa	2836 Kennedy Rd, Wilmington, DE
3305	16	3328-30 Haven Ave	Fraser, Patricia	3328 Haven Ave, Ocean City, NJ
3305	16	3328-30 Haven Ave	Rothwell, Luzzi	4 Spring Lane, Pipersville, PA
3305	17	3332-34 Haven Ave	Mach, Edward & Lorraine	4489 E Allen St, Phila, PA
3305	17	3332-34 Haven Ave	Coary, Kristen	356 Wheat Sheaf Way, Collegeville, PA
3305	19	109 34th Street	New Castle Ave, LLC	102 Larch Cirn Site 301, Newport, DE
3306	5	3332-46 Simpson Ave	Fleet Nat Bank	1NC1-001-03-81, 101 N Tryon, Charlotte, NC
3306	17	Bay Ave & 34th Street	City of Ocean City	861 Asbury Ave, Ocean City, NJ
3405	3	3401-23 Simpson Ave	Southmont Assoc of OC	CVS Inc, 1 CVS Dr, Woonsocket, RI
3405	4	110 34th Street	Three Four Corp	WAWA Inc, Baltimore Pike, WAWA, PA
3406	1	3428 Simpson Ave	OC 34 Assoc, LLC	PO Box 800729, Dallas TX
3406	2	34th St. & Bay Ave	Cape May County	Central Mall Rm, Cape May Ct. Hs. NJ
3306	1	34th St. & Bay Ave	CONDOMINIUMS	
3306	4	3308-30 Simpson Ave	Seaspray Condos (32 Units)	3313 Bay Ave, Ocean City, NJ
3306	4	3308-30 Simpson Ave	Traders Lane (14 Units)	3308-30 Simpson Ave, Ocean City, NJ

**NOTE:** The surveys, prepared by Paul Koelling, Block 3306, Lot 5.01, showing the lot being used for this project, with existing site improvements noted, and the survey showing Block 3306, Lots 5.01 and 5.02 noted as Project # 6109, Dated: Aug. 18, 2023 are hereby included in this set of drawings and can be used for locations of existing utilities, existing buildings (on site and within 50' of the property) existing site improvements and for the Key Map project location.

**ZONING SCHEDULE**

DESCRIPTION	EXISTING	ALLOWED/REQUIRED	PROPOSED	CONFORMS TO ZONING
<b>Use</b>	Bank	Open air mini golf course	Open air mini golf course	Yes
Lot Area (Corner Lot) in Sq. Ft.	12,825	7,000	12,825	Yes
Lot Area (Acres)	0.294			Yes
Lot Width (34th Street), in feet	122.5	100	122.5	Yes
Lot Depth, in feet	104.694	100	104.694	Yes
<b>Setbacks, in feet (1)</b>				
Front				
34th Street, in feet	10.3	40	33.54	Variance
Simpson Avenue, in feet	10	10	11.33	Yes
Side (North property line), in feet	91.5	10	15	Yes
Rear (West property line), in feet	49.2	20	25	Yes
Building Coverage (% of Lot Area)	20.5	80	28.6 (2)	Yes
Impervious Coverage (% of Lot Area)	72.4	85	66.0 (2.1)	Yes
Building Height, in feet above BFE+1ft	23.7	35	33.4	Yes
Floor to ceiling height, in feet	10 +/-	10	8	Variance
Transparent windows, in % of wall area				
34th Street	<45	57.6	49.3	Variance
Simpson Avenue	<45	64.8	24	Variance
Main Entrance on 34th Street	Yes	Req'd	Yes	Yes
<b>Signage</b>				
Post Sign - Sign area in SF	36	Not Permitted	36	Yes (6)
Post Sign - Sign area in SF	36	Permitted	36	Yes (6)
Parking	18	Not Listed	2 (7)	Yes

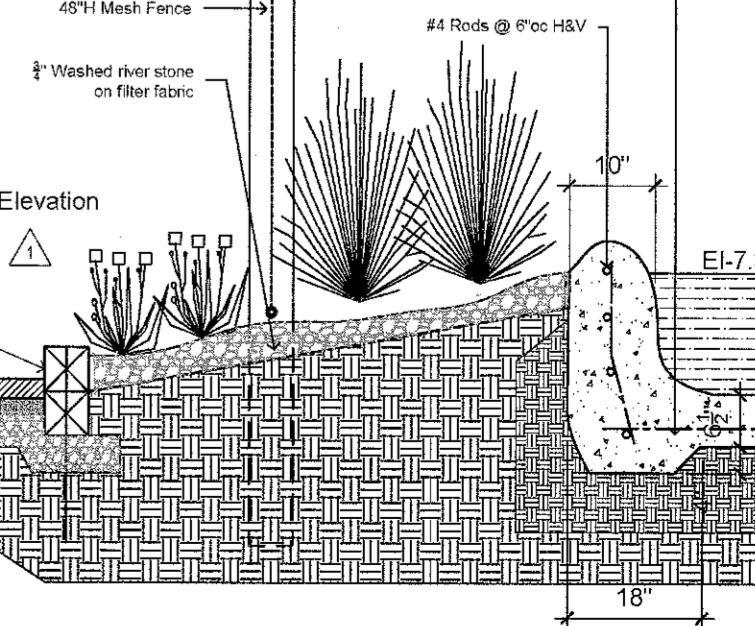
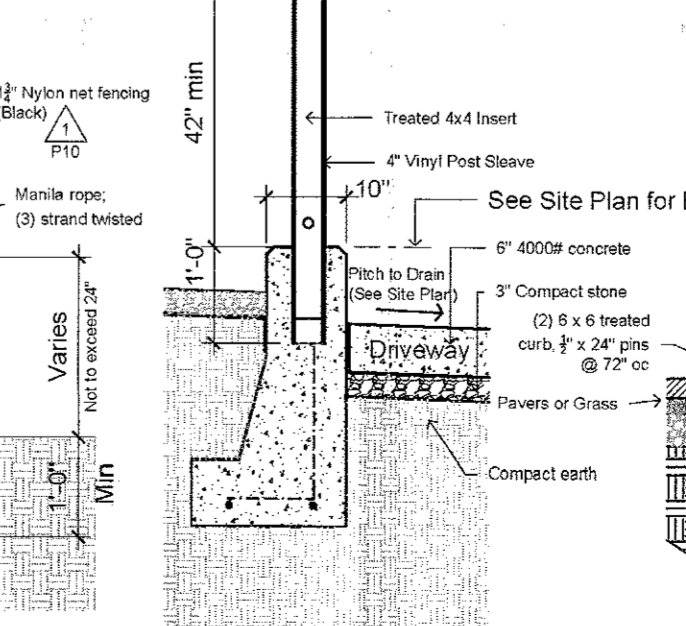
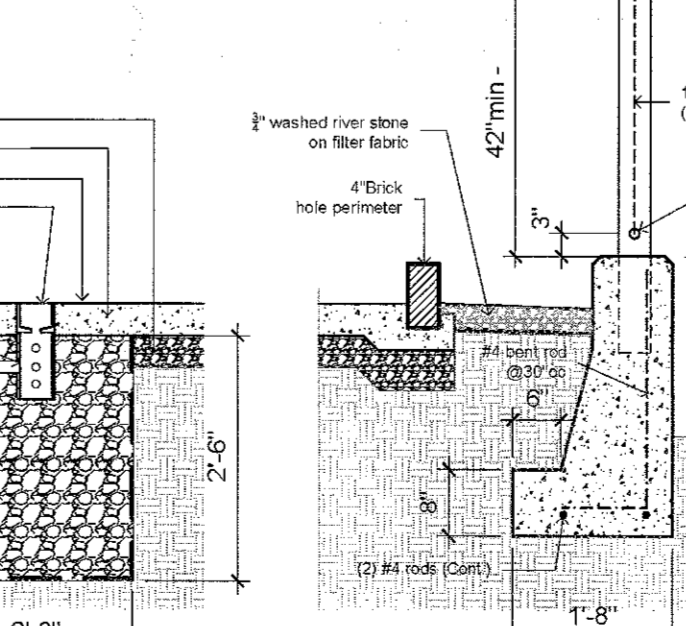
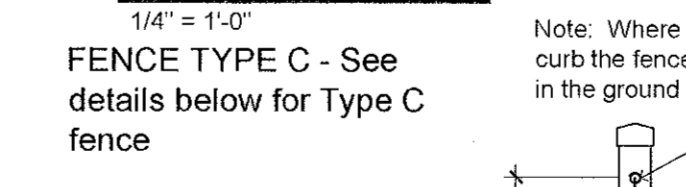
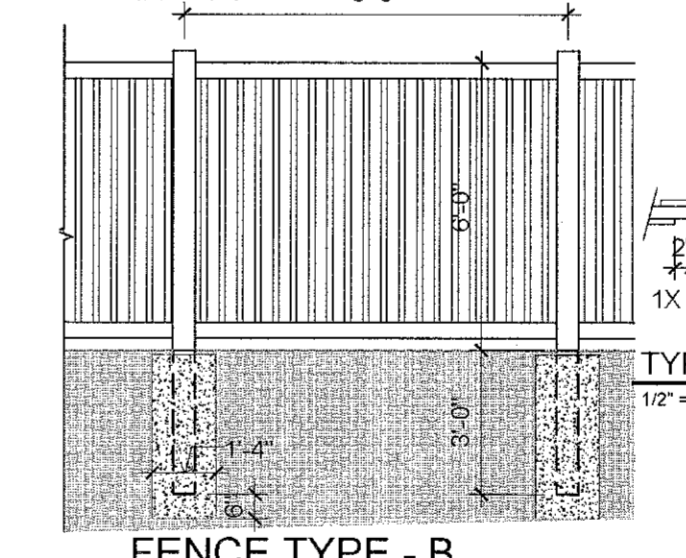
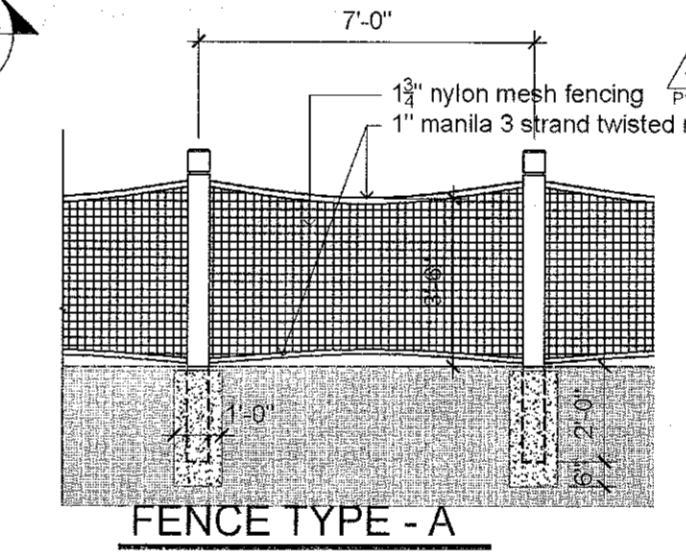
- Section 25-205.10.6(a) Yards - Corner lots: (2) front yards, one side yard, one rear yard.
- Building area includes: Club House + Golf hole structure
- Pond is not included in impervious coverage total
- Section 25-205.10.5(2)(1) Building Height = BFE + 1ft + 25' = 35' NAVD '88
- Building Height is measured from the top of the weir for water falls. See detail Sheet #2
- Opening at counter of Club House = 49.3% wall area
- The existing post sign will be "continued" as permitted by Section 25-1700.29.10(a)
- Parking is provided for (1) employees + (1) handicap space. Bike racks are provided

**ATTEST:** The Planning Board of Ocean City  Approved,  Denied the application at the \_\_\_\_\_ Date \_\_\_\_\_ Board meeting

Board Chairman \_\_\_\_\_ Date \_\_\_\_\_

Board Engineer \_\_\_\_\_ Date \_\_\_\_\_

Board Secretary \_\_\_\_\_ Date \_\_\_\_\_



**REVISION DESCRIPTION**

#	REVISION DESCRIPTION	By	Date
10-27-23	Planning Board professional's comments (see numbers that correlate with comment numbers)		

CLIENT: Boardwalk Development Co., LLC  
 SURVEYOR: Paul Koelling and Assoc. LLC  
 ARCHITECT: Edwin N. Howell, RA, PP  
 PLANNER: Edwin N. Howell, RA, PP

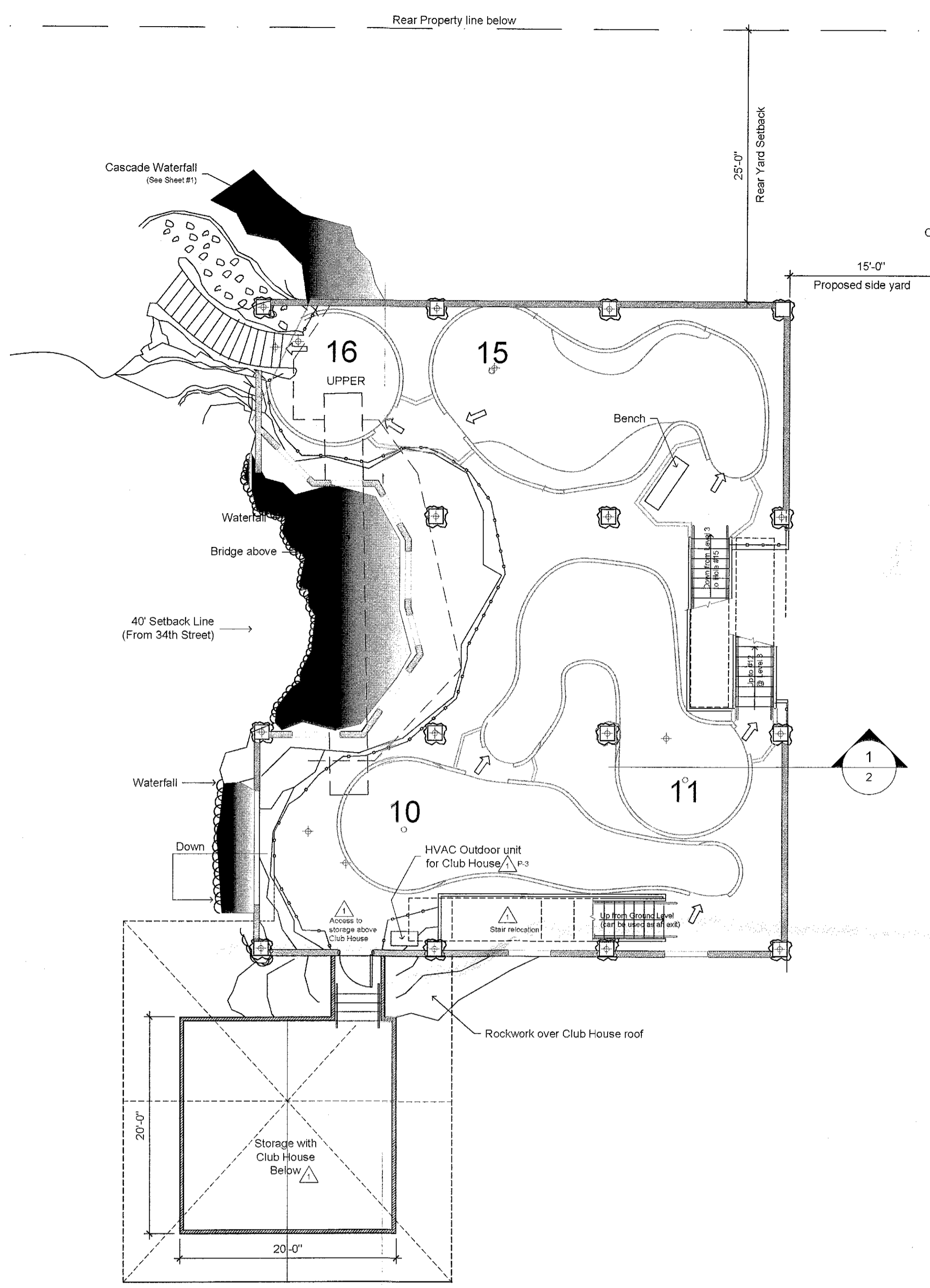
**Preliminary & Final Site Plan**  
 Proposed Adventure Golf Course  
**Thunder Falls**  
 3336 Simpson Avenue, Ocean City, NJ  
 Block 3306 Lot 5(A)

Architect's License: NJ 7703  
 Planner's License: NJ 2022  
  
 Edwin N. Howell

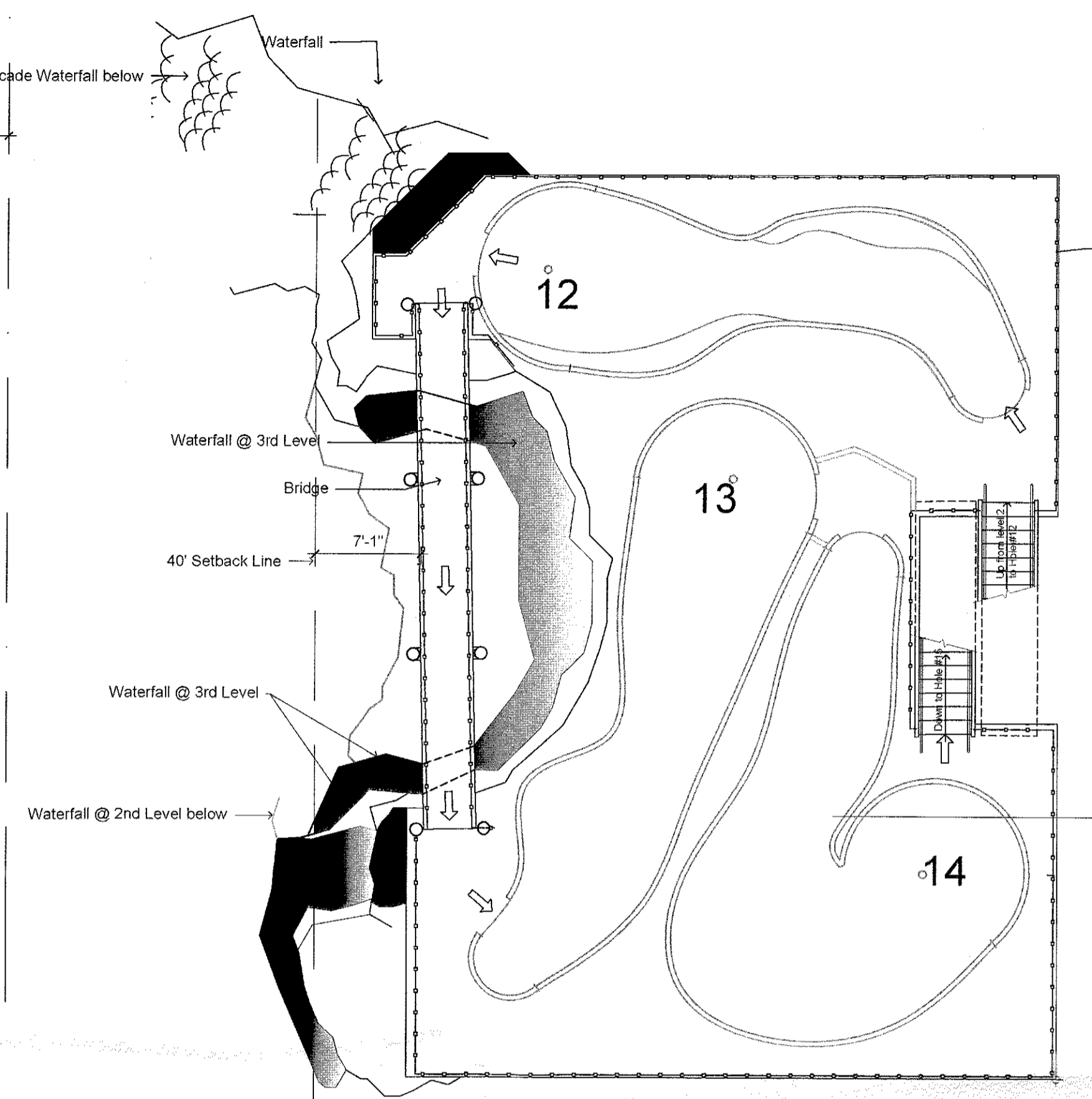
**EDWIN N. HOWELL RA, PP**  
 Architect  
 9 Otter Lane, Egg Harbor Township, NJ 08234  
 (609) 398-5246 (cell) 602-0909  
 e-mail: enhowell@aol.com

Proj. #: 22167  
 Date: 8-11-23  
 Sheet # 1 of 4

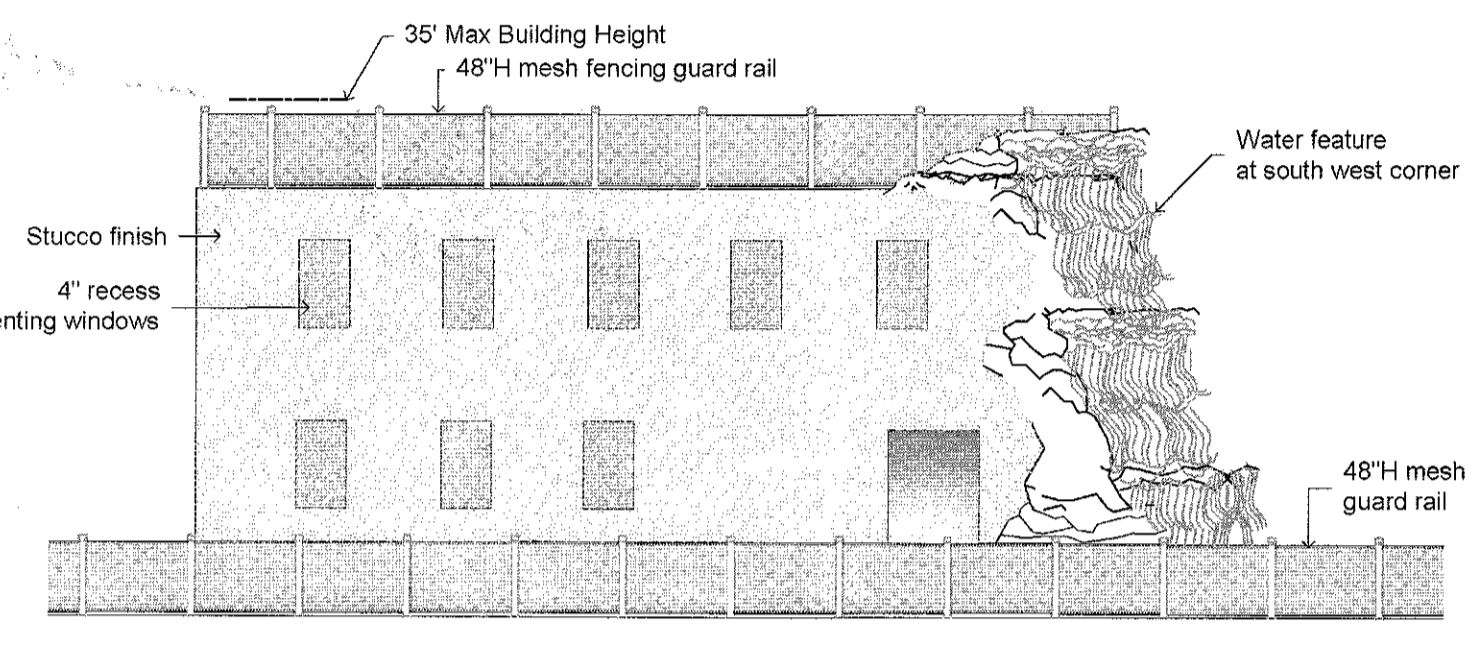
10-27-23	By	Date
ENH	By	Date
Planning Board professional's comments (see numbers that correlate with comment numbers)		
#	REVISION DESCRIPTION	
1	Remove Palk Trees	
2	Club House redesign with 2nd story added	
CLIENT: Boardwalk Development Co., LLC		
SURVEYOR: Paul Koelling and Assoc. LLC		
ARCHITECT: Edwin N. Howell, RA, PP		
PLANNER: Edwin N. Howell, RA, PP		



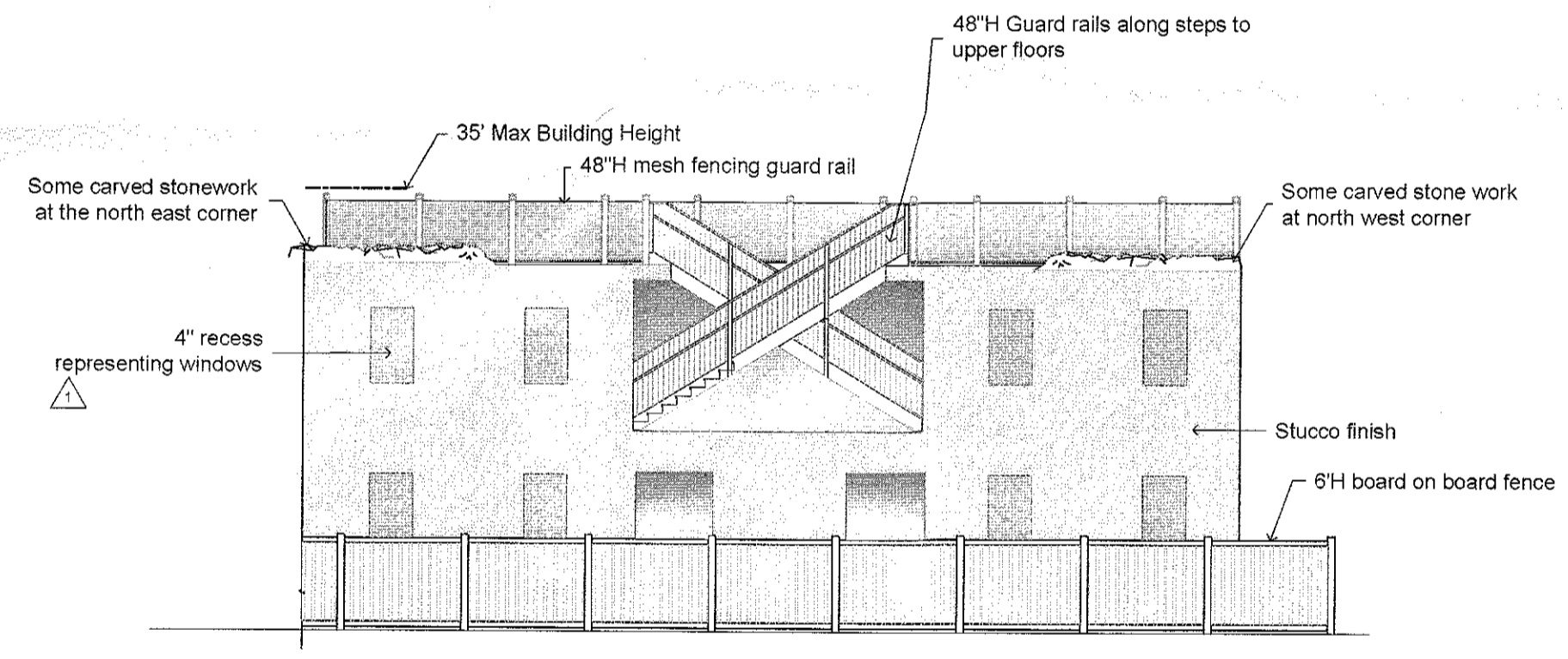
**2 LEVEL #2**  
 1/8" = 1'-0"  
 SCALE: 1/8" = 1'-0"  
 1) Club House redesign with 2nd story added



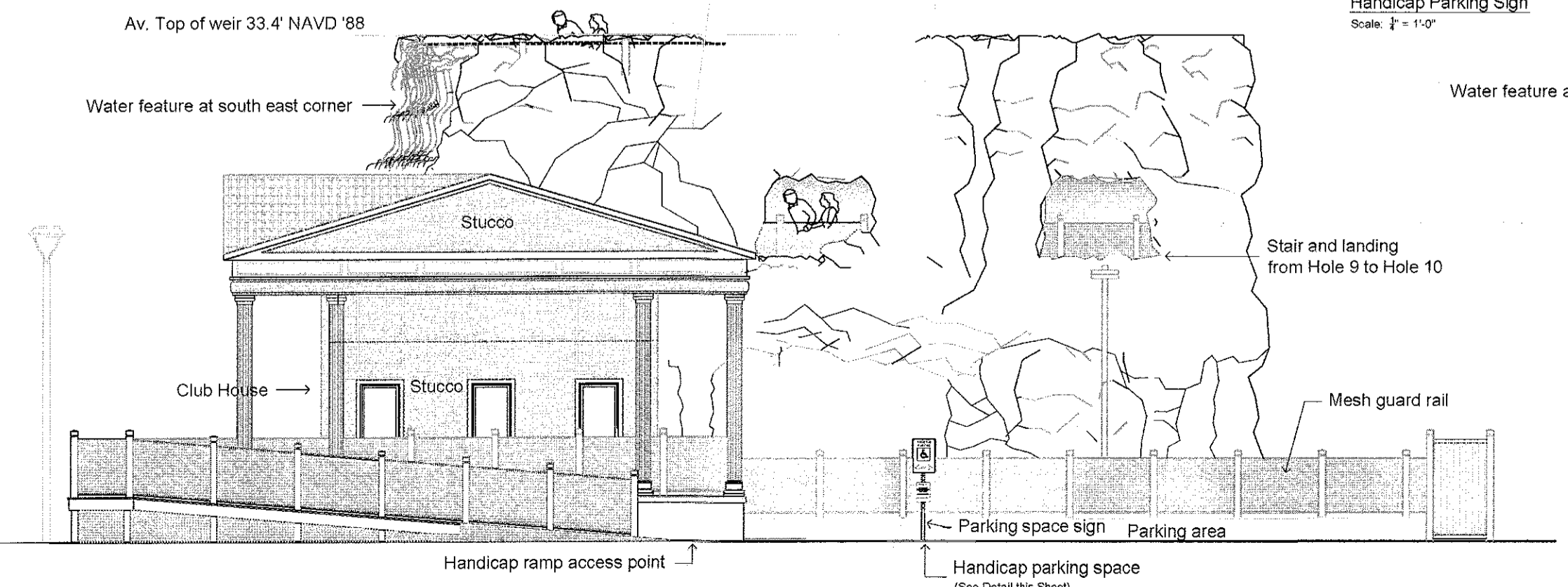
**3 LEVEL #3**  
 1/8" = 1'-0"  
 SCALE: 1/8" = 1'-0"



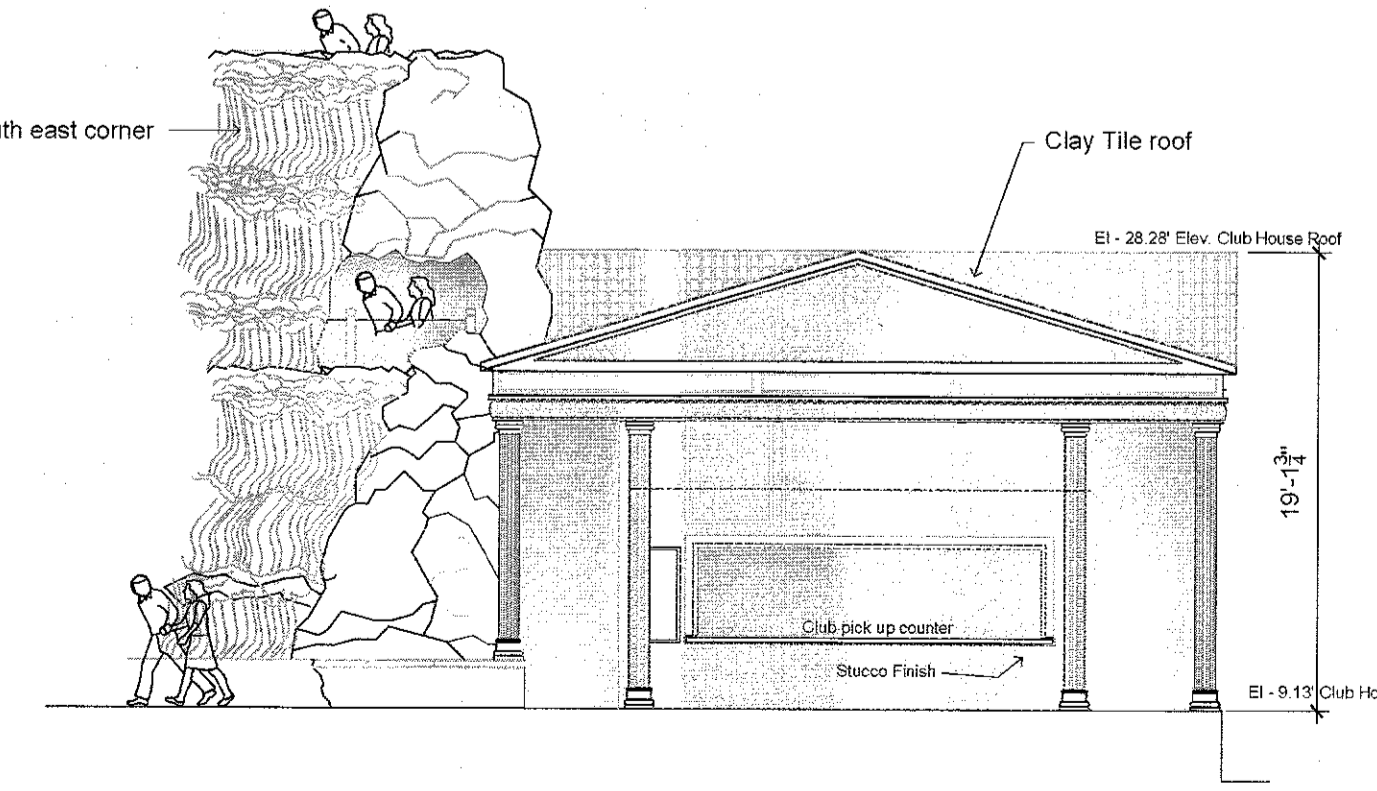
**C REAR ELEVATION**  
 3/32" = 1'-0"  
 1) Remove Palk Trees



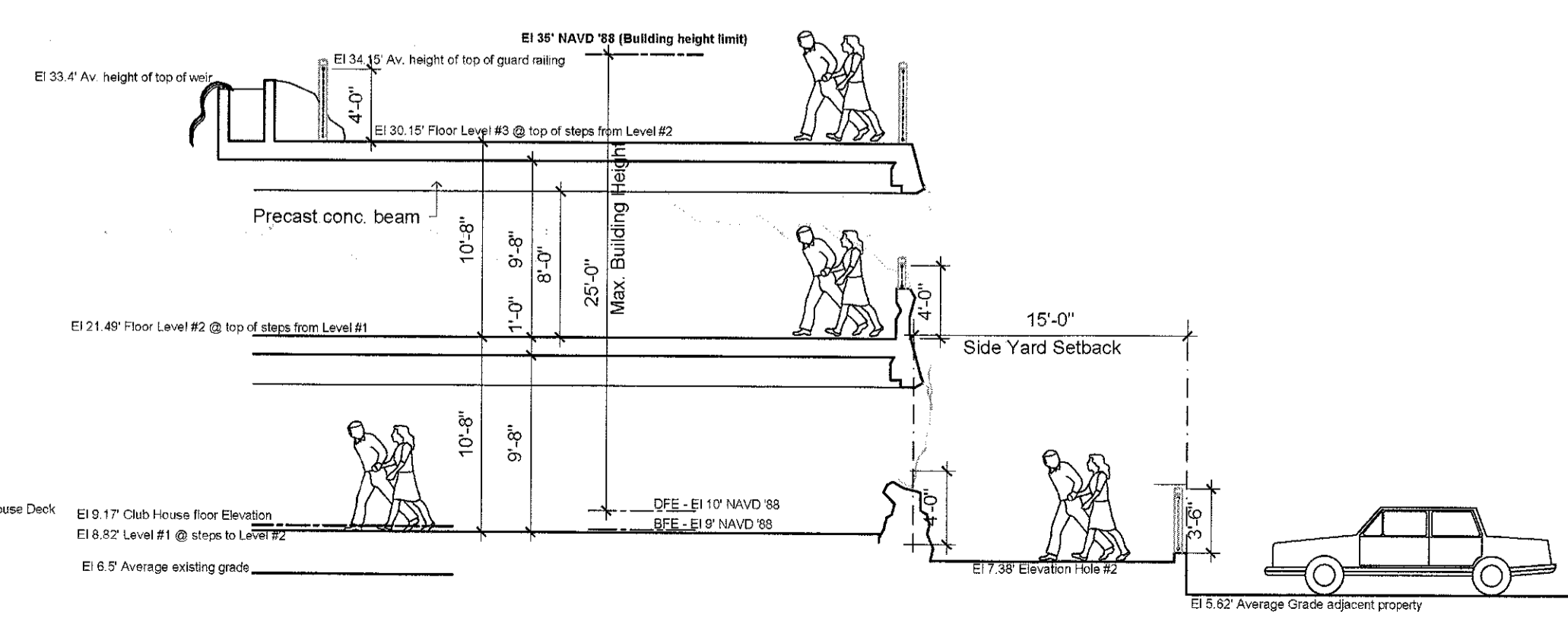
**D SIDE ELEVATION**  
 3/32" = 1'-0"  
 1) Remove Palk Trees



**A FRONT ELEVATION - Simpson Avenue**  
 1/8" = 1'-0"  
 1) Remove Palk Trees  
 2) Club House redesign with 2nd story added



**B FRONT ELEVATION - 34th Street**  
 1/8" = 1'-0"  
 Club House Elevation  
 1) Remove Palk Trees  
 2) Club House redesign with 2nd story added



**1 SITE SECTION (Partial)**  
 1/8" = 1'-0"

Preliminary and Final Site Plan

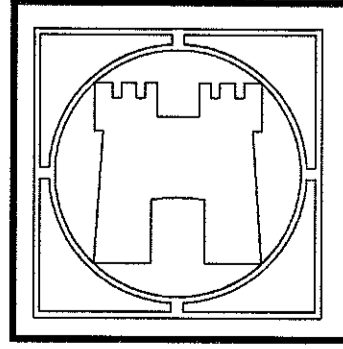
Proposed Adventure Golf Course

**Thunder Falls**

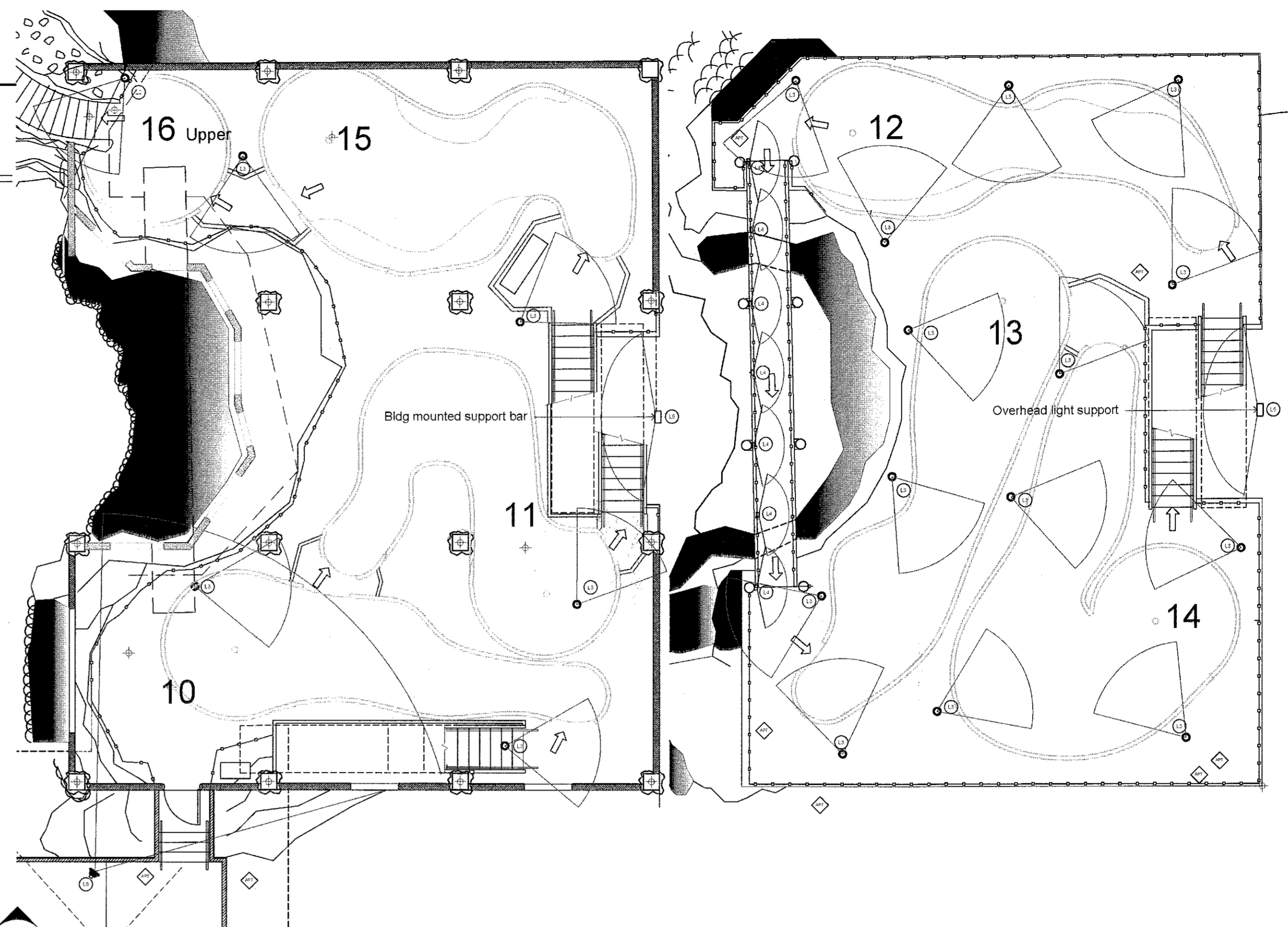
3336 Simpson Avenue, Ocean City, NJ  
 Block 3306 Lot 5(A)

Architect's License: NJ 7703  
 Planner's License: NJ 2822  
 Edwin N. Howell

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Proj. # 22167  
 Date: 8-11-23  
 Sheet # 2 of 4



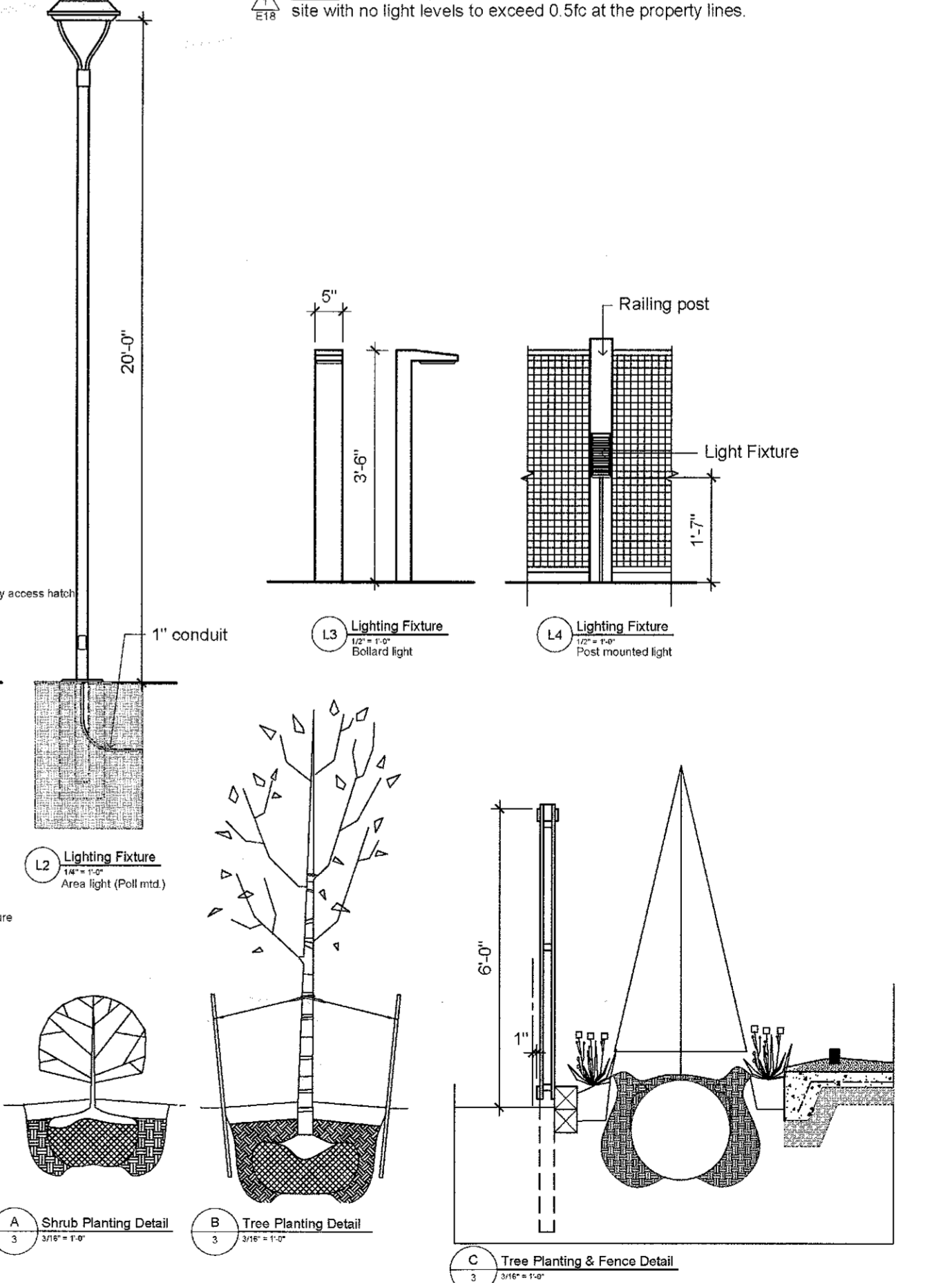
**1** Lighting and Landscaping  
1/8" = 1'-0" Utility Feeds  
0 4' 8' 16'  
SCALE: 1/8" = 1'-0"  
Plan, North

**2** Lighting Plan  
1/8" = 1'-0"  
NOTE: All Site Lighting is designed and positioned with light being focused on site with no light levels to exceed 0.5fc at the property lines.  
Plan, North

TYPE	MANUFACTURER	MODEL	REMARKS
L1	Cyclone Lighting	CY501 150w (8ft)	Flwr PA42 (4' 10" Base B026, 4m, 8211, Color RAL 3011
L2	RAB Lighting (Post Light)	ALED 1S 75w 4000K	Flwr 4" Dia, 15H, black
L3	RAB Lighting (Recessed Light)	BLRD 1S 13w 4000K	Black
L4	RAB Lighting (Post Light)	SLM12 12W 4000K	Black
L5	RAB Lighting (Post Light)	WP2XFL20 15w 4000K	Black
L6	RAB Lighting (Flood Light)	X34-250SF 250w 5000K	Black
L7	RAB Lighting (Small Flood Light)	FFLED 18W 4000K	Black

**3** Lighting Plan  
1/8" = 1'-0"  
NOTE: All Site Lighting is designed and positioned with light being focused on site with no light levels to exceed 0.5fc at the property lines.  
Plan, North

NAME	BOTANICAL NAME	DESCRIPTION	SIZE
<b>TREES</b>			
Golden Hinoki Cypress	<i>Chamaecyparis obtusa 'Crippsii'</i>	GHG	3 gal
Artificial Palm Tree		APT	17-127
<b>SHRUBS AND GRASSES</b>			
Black Fountain Grass	<i>Panicum Pennisetum Alopecuroides</i>	BFG	2 gal
Golden Bar Maiden Grass	<i>Miscanthus Sinensis</i>	MG	1 1/2 gal
Elijah Blue Grass	<i>Festuca ovina glauca</i>	EB	1 1/2 gal
Ice Dance Sedge Grass	<i>Carex morrowii</i>	IO	1 1/2 gal
Mordem Gleam's purple Isosetting	<i>Lythrum vigatum</i>	MG	1 gal
Stella D'oro Day Lilly	<i>Hemerocallis</i>	DL	1 1/2 gal
Globose blue spruce	<i>Picea pungens</i>	BS	2 gal
Holly 'Sited'	<i>Ilex crenata</i>	ST	2 gal
Japanese Holly 'Hoogendorn'	<i>Ilex crenata 'Hoogendorn'</i>	HJH	2 gal
Korean Azalea Poukhanese	<i>Poukhanense compactum</i>	KA	1 1/2 gal
Adagio Maiden Grass	<i>Miscanthus sinensis 'Adagio'</i>	AM	2 gal



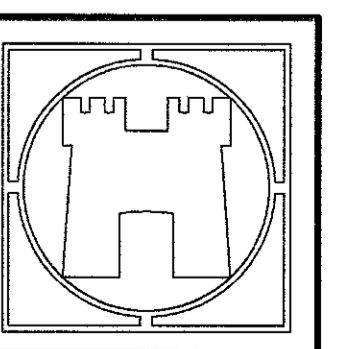
#	REVISION DESCRIPTION	By	Date
ENH	Planning Board professional's comments (see numbers that correlate with comment numbers)	ENH	10-27-23

CLIENT: Boardwalk Development Co., LLC  
SURVEYOR: Paul Koelling and Assoc. LLC  
ARCHITECT: Edwin N. Howell, RA, PP  
PLANNER: Edwin N. Howell, RA, PP

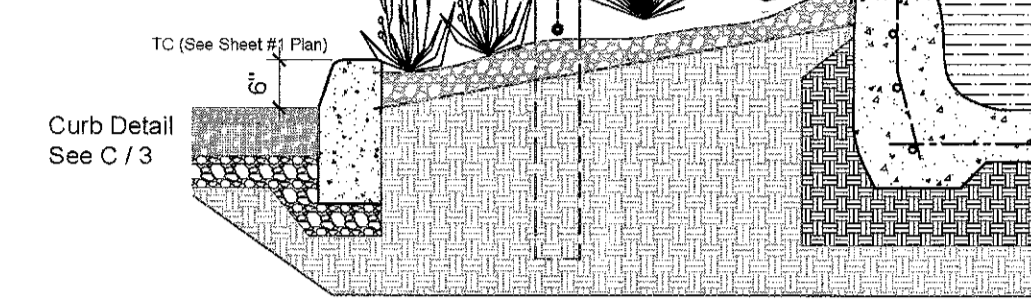
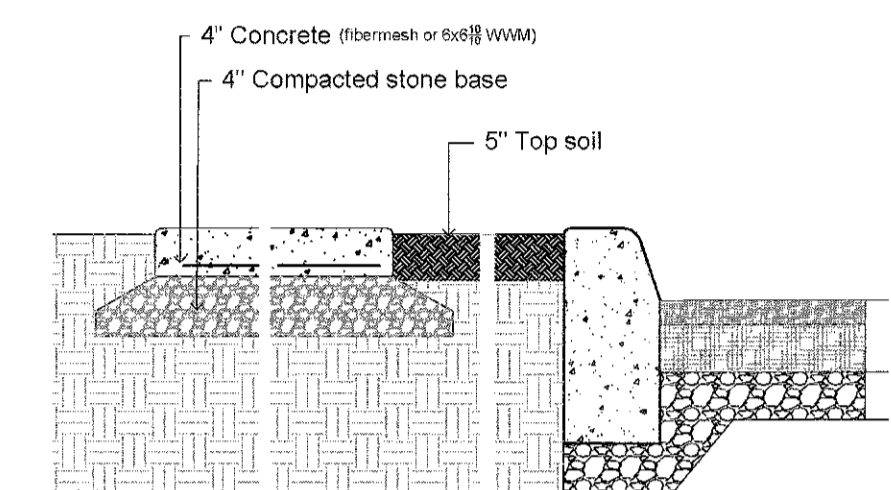
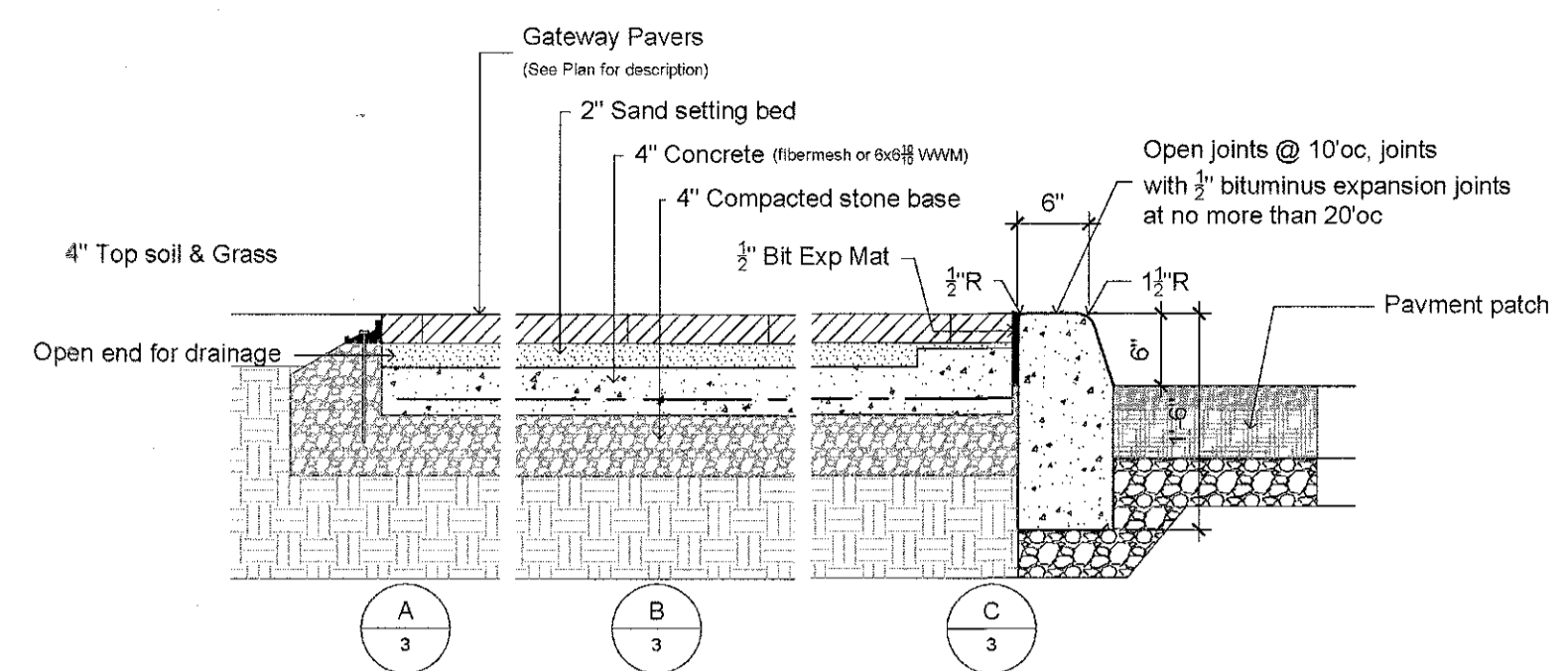
Preliminary and Final Site Plan  
Proposed Adventure Golf Course  
**Thunder Falls**  
3336 Simpson Avenue, Ocean City, NJ  
Block 3306 Lot 5(A)

Architect's License: NJ 7703  
Planner's License: NJ 2022  
*Edwin N. Howell*  
Edwin N. Howell

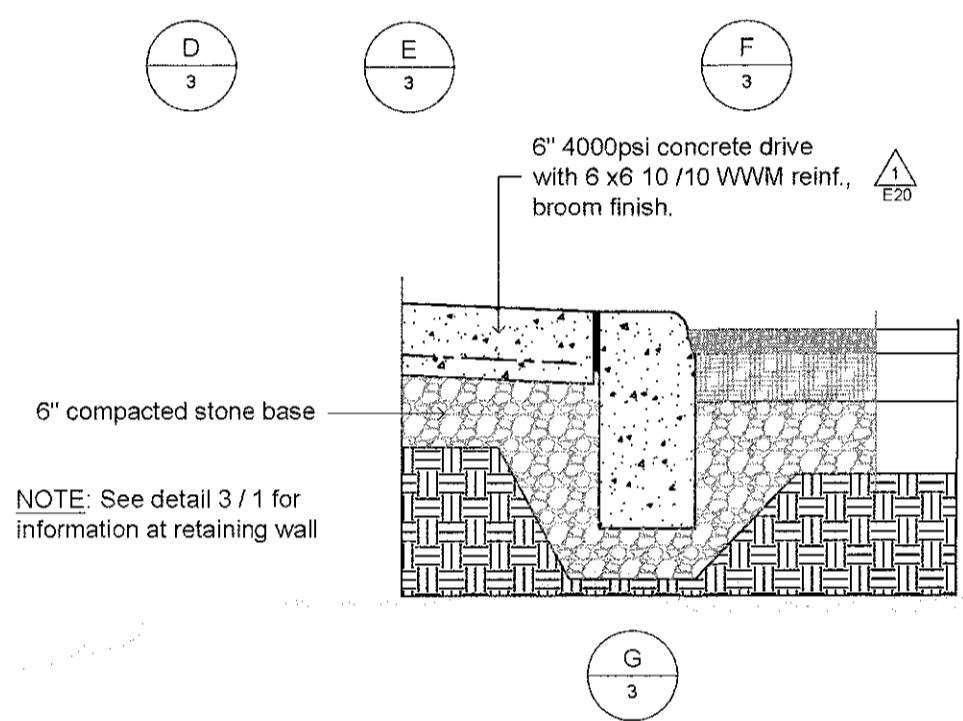
**EDWIN N. HOWELL RA, PP**  
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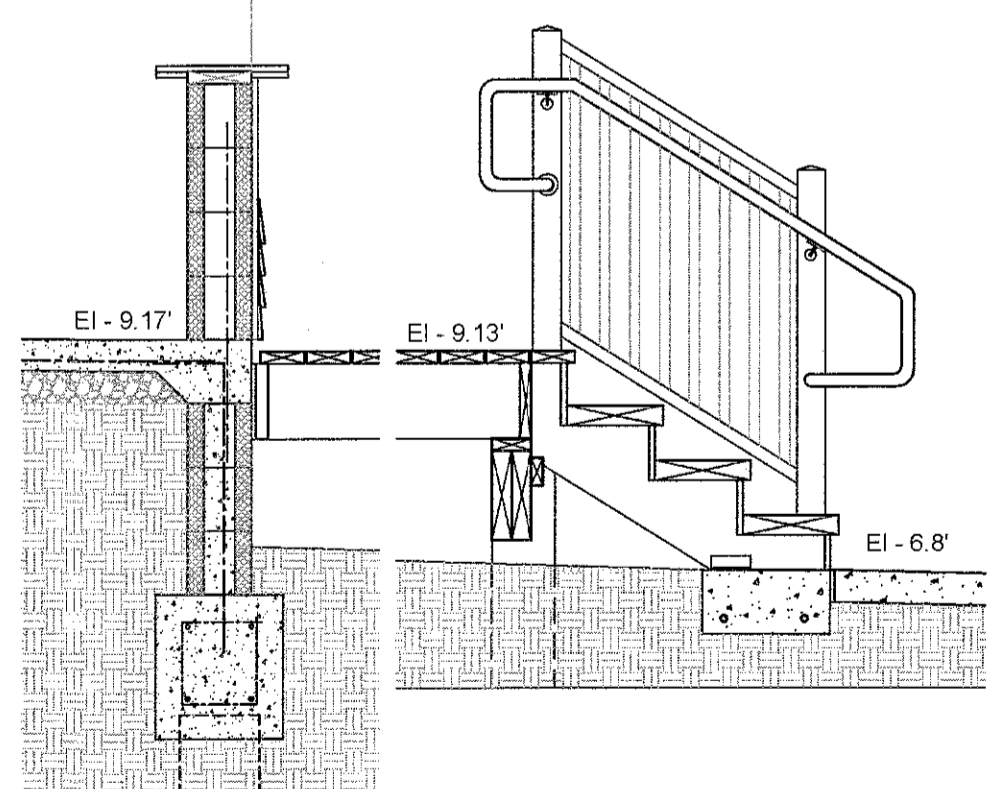
Proj. # 22167  
Date: 8-11-23  
Sheet # 3 of 4



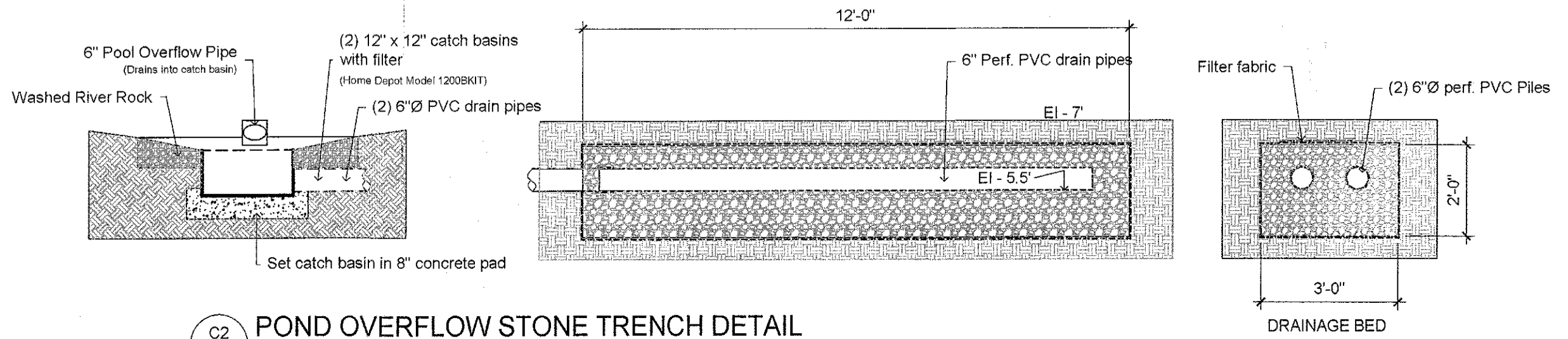
**1**  
**4** CURB DETAIL  
1/2" = 1'-0"



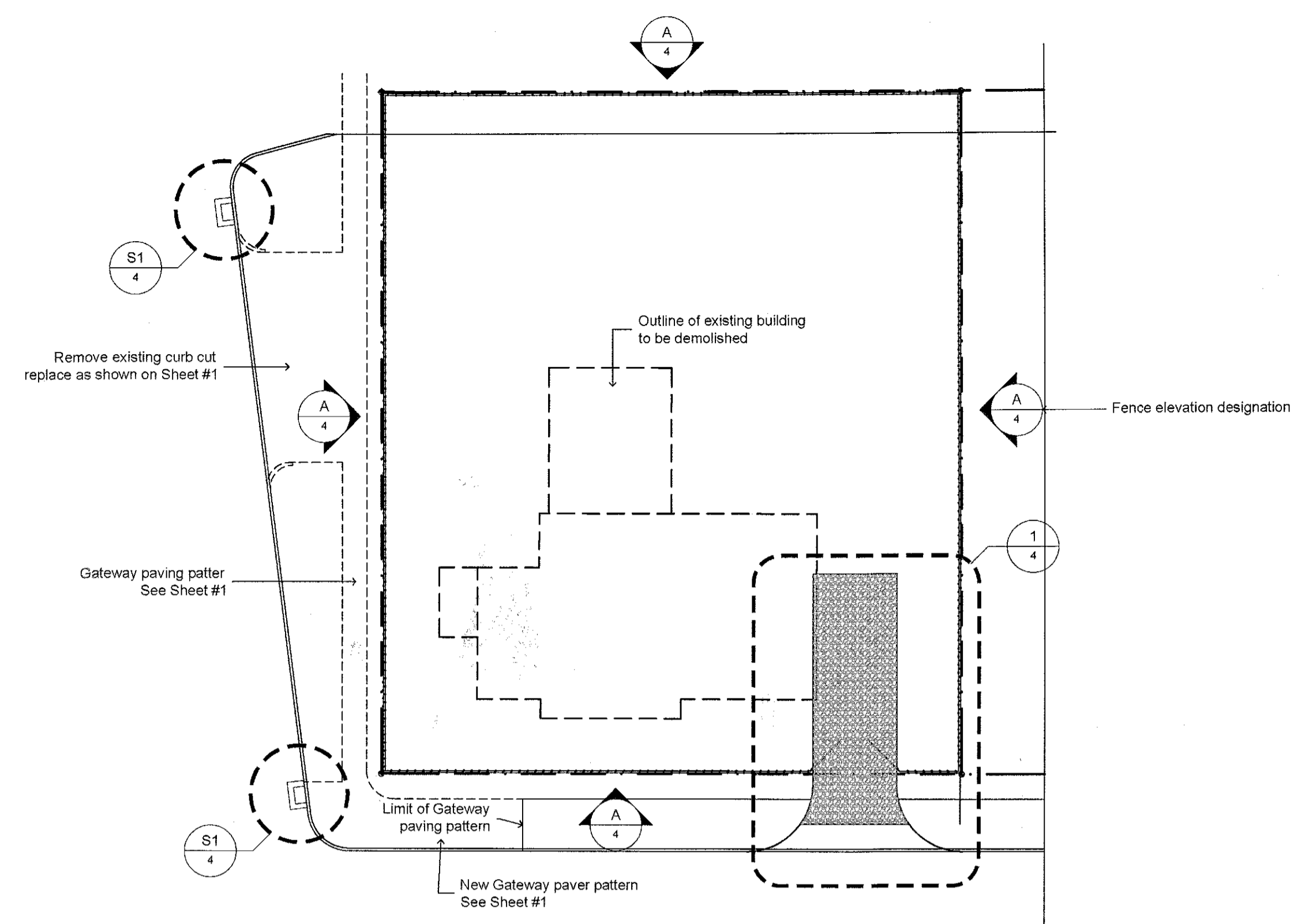
**3**  
**3** SITE WORK DETAILS  
As noted on each drawing



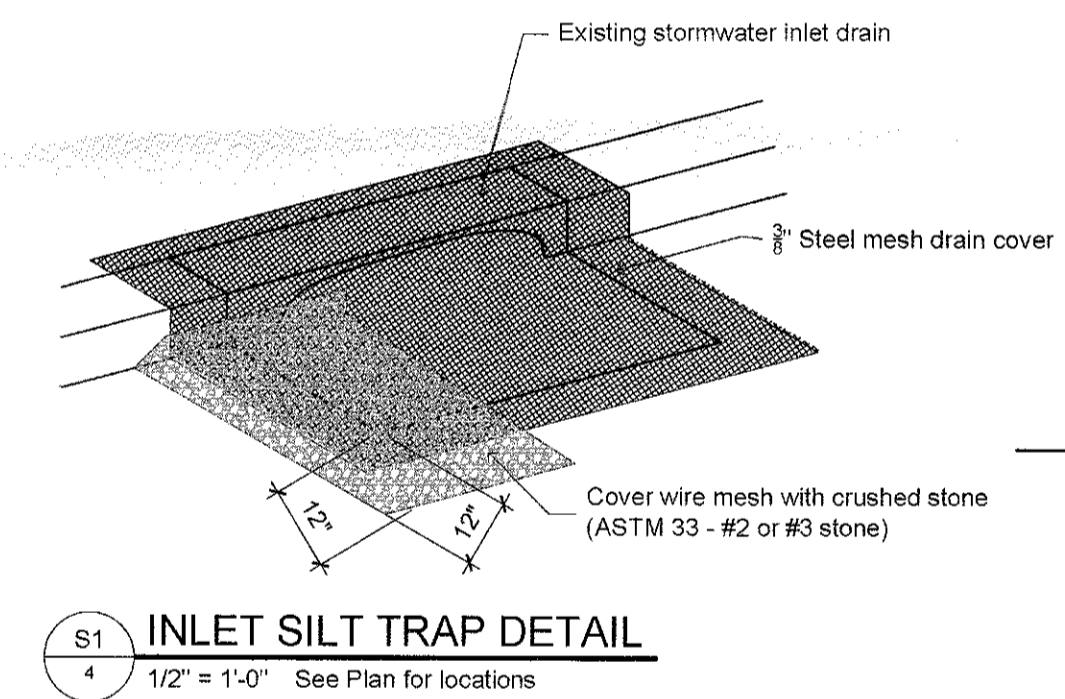
**C1**  
**4** CLUB HOUSE & DECK SECTION  
1/2" = 1'-0"



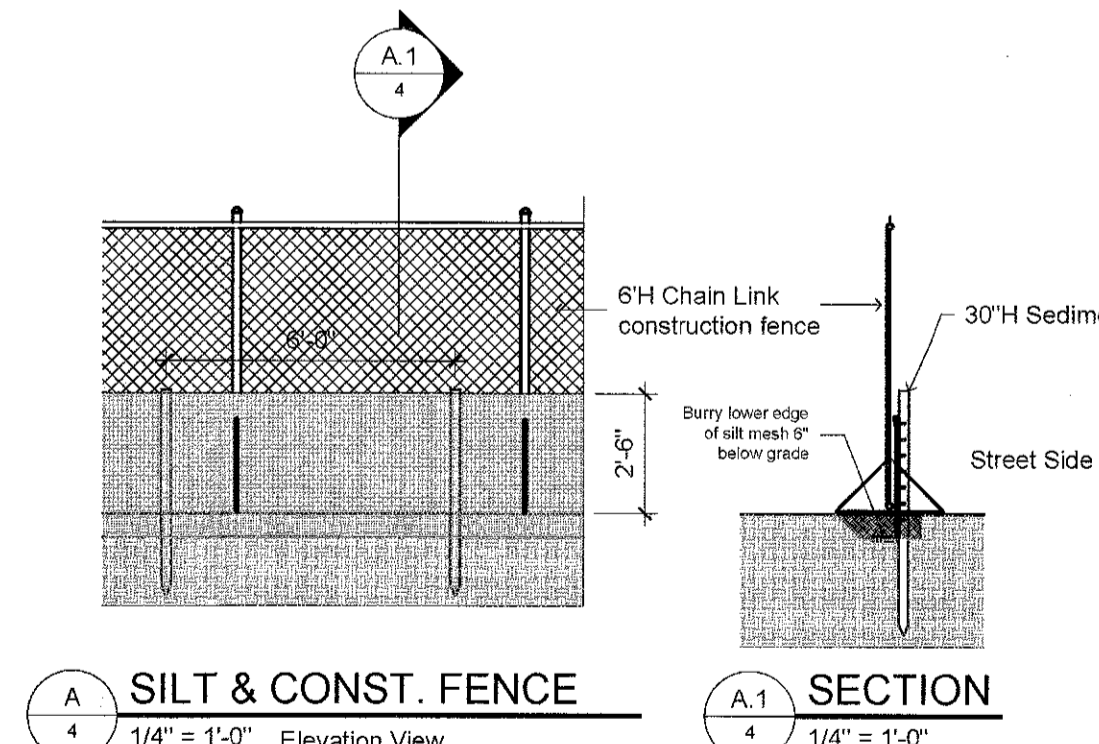
**C2**  
**4** POND OVERFLOW STONE TRENCH DETAIL  
3/8" = 1'-0"



**SEDIMENT CONTROL PLAN**  
1" = 20'-0" Existing site layout shown

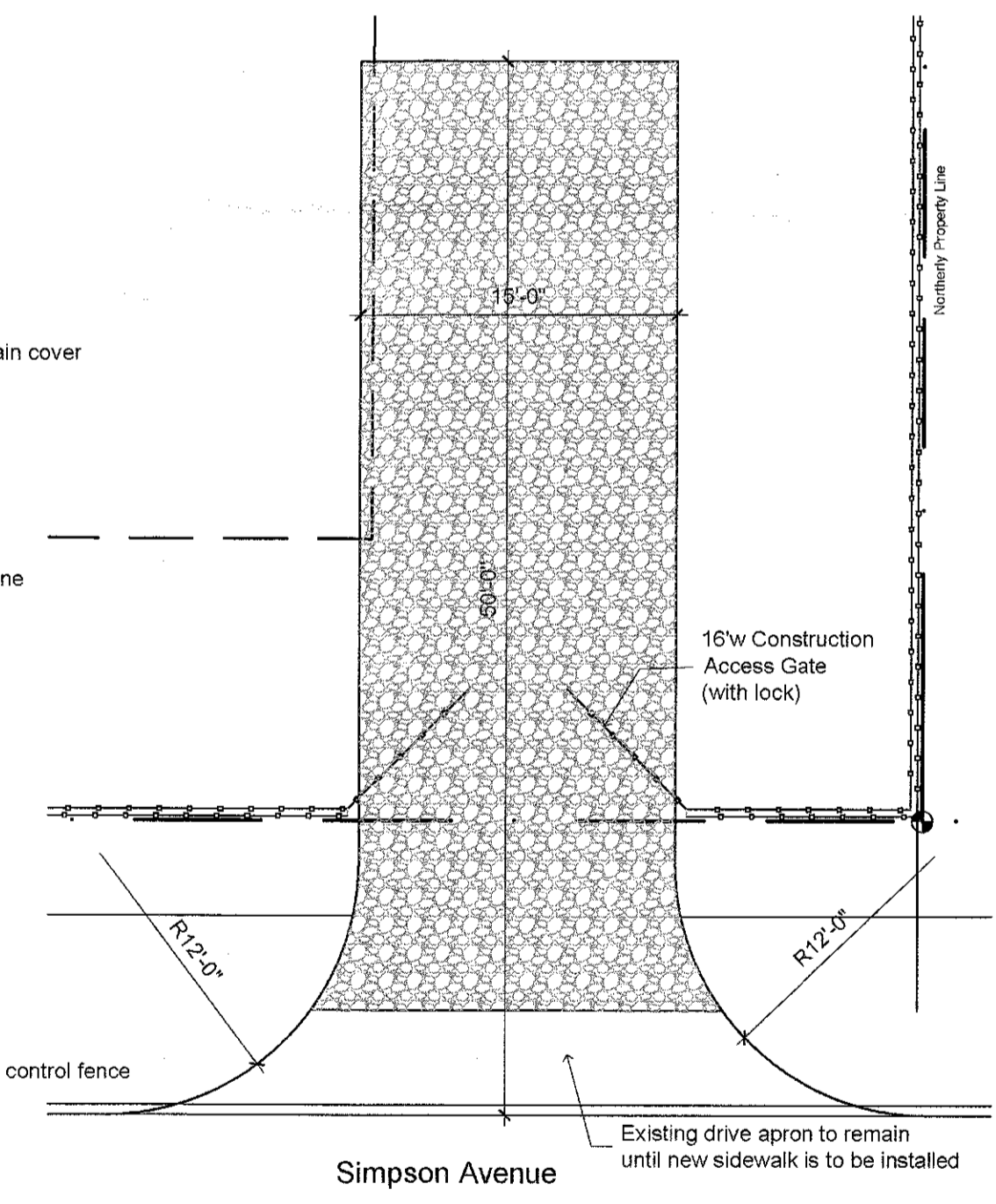


**S1**  
**4** INLET SILT TRAP DETAIL  
1/2" = 1'-0" See Plan for locations



**A**  
**4** SILT & CONST. FENCE  
1/4" = 1'-0" Elevation View

**A.1**  
**4** SECTION  
1/4" = 1'-0"



**1**  
**4** INLET SILT TRAP DETAIL  
1/8" = 1'-0" See Plan for location

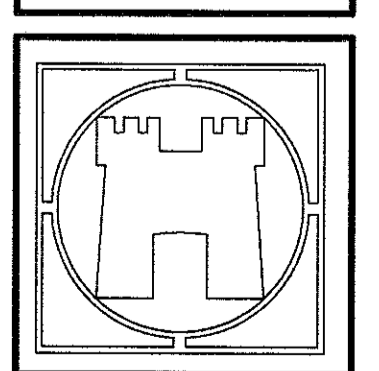
**SOIL EROSION AND SEDIMENT CONTROL**  
As noted on each drawing

Planning Board professional's comments (see numbers that correlate with comment numbers)	ENH	By	Date
			10-27-23
#	REVISION DESCRIPTION		
	OWNER: Boardwalk Development Co., LLC		
	SURVEYOR: Paul Koelling & Assoc. LLC		
	ARCHITECT: Edwin N. Howell, RA, PP		
	PLANNER: Edwin N. Howell, RA, PP		

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