



SCHEULE

PLANNING SOLUTIONS, LLC

*Community Development*

*Municipal Planning*

*Master Plans*

*Zoning Codes*

*Redevelopment*

## **PLANNER'S REPORT**

To: City of Ocean City  
Planning Board Members

From: Randall Scheule, PP/AICP  
Planning Board Planner

Date: July 3, 2025

Zone: Drive-in Business (CB) Zone

RE: **PBA 22-026, Shoemaker Lumber Company, Inc. (R3)**  
Block 1106, Lot 10 and Block 1206, Lot 3  
Amended Preliminary & Final Major Site Plan

### **Introduction.**

This report is provided to assist the Planning Board in its consideration of the above referenced application and is limited to planning issues. Engineering and legal issues shall be reviewed by the Board Engineer and Board Solicitor, respectively. The comments and recommendations contained herein are based on my review of the information provided to date including the development application, the Ocean City Master Plan, the Zoning and Development Code and such other sources as may be noted.

Any resubmission addressing the issues identified in this report shall be accompanied by a point-by-point letter responding to all items, with revisions on the plans *clouded or highlighted* to indicate changes.

### **Plans and Documents.**

The following plans and documents constituting the above development application have been reviewed and provide the basis for the comments and recommendations which follow.

- Transmittal to Jaime Felker from Michael Fusco, June 17, 2025
- City of Ocean City Development Application, June 17, 2025

**PBA 22-026, Shoemaker Lumber Company, Inc.**

**Block 1106, Lot 10 and Block 1206, Lot 3**

- Confirmation of Taxes Paid, June 13, 2025
- Major Site Plan, (13 sheets), The Hyland Group consisting of the following:
  - Title Sheet, August 4, 2022, last revised June 2, 2025
  - Survey of Premises, March 17, 2025
  - Demolition and SESC Plan, August 4, 2022, last revised June 2, 2025
  - Site Plan, August 4, 2022, last revised June 2, 2025
  - Grading & Utility Plan, August 4, 2022, last revised April 4, 2025
  - Consolidated Alley & Intersection Improvement Plan, November 28, 2022, last revised April 4, 2025
  - Details and Notes, August 4, 2022, last revised April 4, 2025
  - Landscape & Lighting Plan, August 4, 2022, last revised April 4, 2025
  - First Floor Plan, August 4, 2022, last revised April 4, 2025
  - Second Floor and Roof Plan, August 4, 2022, last revised April 4, 2025
  - Building Elevations, August 4, 2022, last revised April 4, 2025
  - Schematic Building Elevations, August 4, 2022, last revised April 4, 2025
  - Building Sections, August 4, 2022, last revised April 4, 2025
- Ocean City Planning Board Decision and Resolution, April 5, 2023

**Previous Approvals and Proposed Amendment.**

Applicant received conditional Preliminary and Final Major Site Plan approvals March 1, 2023 to demolish the existing structures and improvements on Block 1106, Lot 10 and Block 1206, Lot 3, and construct the following improvements:

- Block 1106/Lot 10 - A new retail building (Shoemaker/True Value) with associated parking.
- Block 1206/Lot 3 - Demolish existing building and create vacant/landscaped parcel.

The instant application proposes to amend the previous approval for Block 1106, Lot 10 and requests the following variances:

- Number of parking spaces
- Parking lot landscaping
- Parking buffers
- Impervious coverage
- Rear yard setback
- Side yard setback

**PBA 22-026, Shoemaker Lumber Company, Inc.**  
**Block 1106, Lot 10 and Block 1206, Lot 3**

**Completeness.**

Although a formal checklist review is not required, the applicant should provide a copy of the 2023 Planning Board Resolution as required by the Application Form Item (5) prior to being scheduled for a public hearing.

**Zoning Conformance – Block 1106, Lot 10**

<b>Zone Standard</b>	<b>Zoning Requirement</b>	<b>Existing Condition</b>	<b>Approved 2023</b>	<b>2025 Proposal</b>	<b>Variance Required?</b>
Use	Retail sales Lumber yard	Lumber yard Parking lot	Retail sales	Retail sales	No
Minimum Lot Area	9,000 SF	31,000 SF	31,000 SF	31,000 SF	No
Minimum Lot Frontage <sup>1</sup>	100 FT	100 FT	100 FT	100 FT	No
Minimum Lot Width	100 FT	100 FT	100 FT	100 FT	No
Minimum Lot Depth	100 FT	310 FT	310 FT	310 FT	No
Minimum Front Setback (From 12 <sup>th</sup> Street to Bldg.)	20 FT	47.16 FT	78 FT	84 FT	No
<b>Minimum Side Setback</b>	<b>4 FT</b>	0 FT (West) 2.23 FT (Alley)	<b>1.6 FT (West)</b> 18 FT (Alley)	<b>3.47 FT (West)</b> 20 FT (Alley)	<b>Yes</b>  No
Minimum Side Setback (Steps)	0.5 FT	Not indicated	0.36 FT	3.97 FT	No
Minimum Rear Setback	4 FT	14.91 FT	1 FT	1' to Racks 83.97' to Bldg.	No <sup>2</sup> No
BFE (NAVD88)	9 FT	9 FT	9 FT	9 FT	NA

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<sup>1</sup> For purposes of zoning conformance, 12<sup>th</sup> Street is the front yard.

<sup>2</sup> Variance approved in 2023; no change proposed.

**PBA 22-026, Shoemaker Lumber Company, Inc.**  
**Block 1106, Lot 10 and Block 1206, Lot 3**

Maximum Building Ht. (1' above BFE) – Flat roof	32 FT	29.71 FT	32 FT	32 FT	No
Maximum Habitable Stories	3	1	2	2	No
Maximum Building Coverage	80%	52%	36%	32%	No
<b>Maximum Impervious Coverage</b>	<b>90%</b>	<b>95%</b>	<b>91%</b>	<b>93%</b>	<b>Yes</b>
<b>Minimum Number of Parking Spaces</b>	<b>45<sup>3</sup></b>	<b>16</b>	<b>38</b>	<b>38</b>	<b>Yes</b>
<b>Minimum Parking Area Setbacks</b> From building From property line	<b>4 FT</b> <b>4 FT</b>	<b>0 FT</b>	<b>0' to 12<sup>th</sup> St.</b> <b>0' to Alley</b> <b>0' to Bldg.</b>	<b>0' to 12<sup>th</sup> St.</b> <b>6' to West 1' to Alley</b> <b>0' to Bldg.</b>	<b>Yes</b> <b>No</b> <b>Yes</b> <b>Yes</b>

**Signs**

Zoning Standard	Permitted	2023 Approval	2025 Proposal	Conformance
<b>Maximum Number of Signs</b>	<b>4</b>	<b>6</b>	<b>5</b>	<b>No*</b>
Facade Sign – Maximum Size	15% of wall	77.2 SF		Yes
Wall Sign – Max Size				**
12 <sup>th</sup> Street		78.6 SF		**
West Avenue	5% of wall	25 SF		**
Public Alley		100 SF		**
Northeast side		88.3 SF		**
* Approval of design waiver required				

<sup>3</sup> Does not account for warehouse space.



**PBA 22-026, Shoemaker Lumber Company, Inc.**  
**Block 1106, Lot 10 and Block 1206, Lot 3**

**Summary of Variances.**

1. Minimum Side Yard (West Ave.) – 4 feet required; 3.47 feet proposed to roof eave; building is at 9.73 feet.
2. Maximum Impervious Coverage – 90% permitted; 93% proposed
3. Minimum Number of Parking Spaces – 45 required; 38 proposed.
4. Minimum Parking Setback from Building – 4 feet required; 0 feet proposed
5. Minimum Parking Setback from Property Line (12<sup>th</sup> Street) – 4 feet required; 0 feet proposed
6. Minimum Parking Setback from Property Line (alley) – 4 feet required; 1 foot proposed
7. Maximum Trash enclosure/shed Size – 100 SF permitted; 180 SF proposed

**Summary of Design Waivers.**

1. Maximum Number of Signs – 4 permitted; 6 proposed.
2. Trash Enclosure Curb
3. West Avenue Access – not permitted where lot has alley access
4. Maximum Open Wire Fence Height – 8 FT permitted, 10 FT proposed
5. Parking Lot Landscaping – Shade trees and perimeter shrubbery

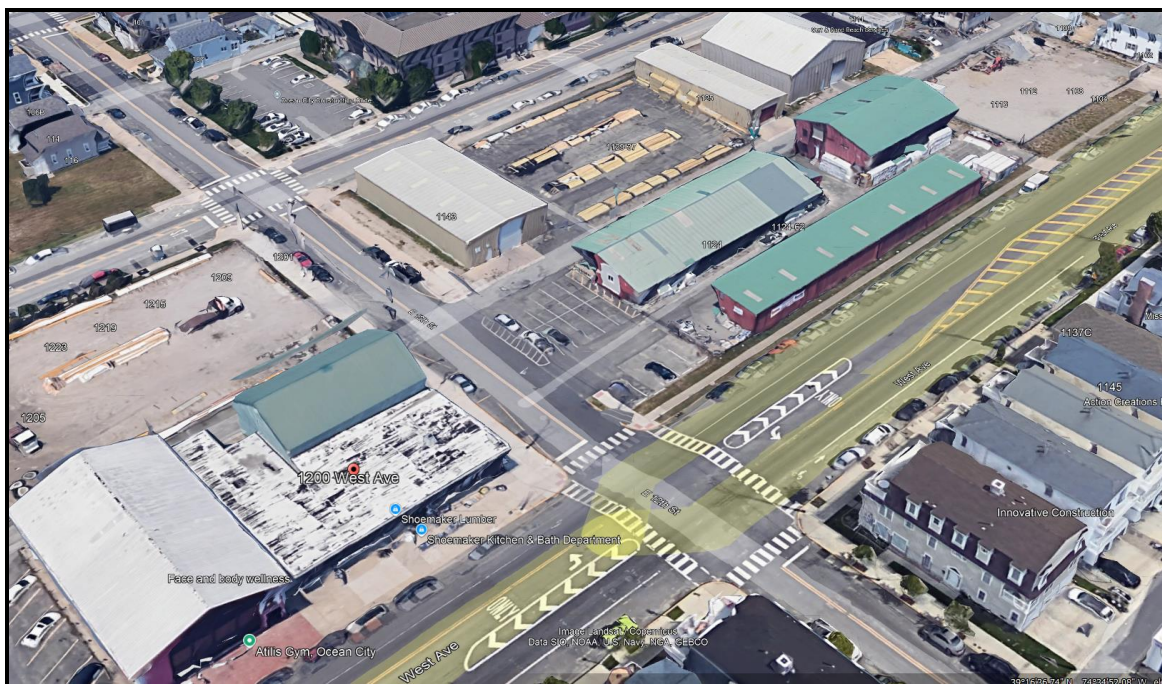
**Review Comments.**

1. Applicant is required to address both the positive and negative criteria necessary to grant the variances identified above. Applicant may be entitled to relief if he can demonstrate that the purposes of the Municipal Land Use Law would be advanced by allowing a deviation from the Ocean City Zoning Ordinance, and the benefits of the deviation will substantially outweigh any detriment. The applicant must also show that the variances can be granted without substantial detriment to the public good and without substantially impairing the intent and purpose of the zone plan and zoning ordinance.
2. The parking calculations on the plan appear to address only the retail aspect, whereas the plans depict building area for office and warehouse use. The applicant shall verify that all uses are accounted for in the parking calculations.
3. The proposed 12' x 15' (180 SF) 'trash enclosure/shed' is 9.7 feet in height. Where permitted, sheds shall not exceed one hundred (100) square feet in size, and ten feet

**PBA 22-026, Shoemaker Lumber Company, Inc.**  
**Block 1106, Lot 10 and Block 1206, Lot 3**

(10') in height measured from the adjacent grade. Variance approval is required for shed size.

4. The trash enclosure/shed is required to be separated from adjacent parking spaces by curbing. Approval of a design wavier is required.
5. The proposed lighting plan conforms to the ordinance.
6. Details for the propane gas exchange should be added to the plans.
7. Bicycle racks for employees and customers should be considered for inclusion in the design.
8. The plans shall clarify the relative locations for the proposed wall and chain link fence on either side of the West Avenue entry gate.
9. The application indicates, that subsequent to demolition, Block 1206, Lot 3 will be retained as vacant/grassed lot. A landscaping plan for this parcel is included on Sheet L101.
10. Review of site grading, stormwater, utilities and drainage is deferred to the Planning Board Engineer.



**PBA 22-026, Shoemaker Lumber Company, Inc.**  
**Block 1106, Lot 10 and Block 1206, Lot 3**

**Conditions of Approval (Preliminary Major Site Plan).**

Approval of an application for development for a preliminary plat of a major site plan by the Planning Board shall be subject to the following conditions being satisfied prior to the signing of the plat.

<b><u>Conditions of Preliminary Site Plan Approval</u></b>	<b><u>Status</u></b>
Payment of any outstanding real estate taxes.	<u>Satisfied.</u>
Submission of additional prints of the plat map and attachments for distribution, if required.	<u>Pending</u>
Publication of a notice of the decision of the Board by the Administrative Officer (Planning Board or Board of Adjustment Secretary) within the time set forth in Section 25-900.7 of this Ordinance.	<u>Pending</u>
Any other conditions which may be imposed by the Board or may be required by Federal, State, County or municipal law.	<u>Pending</u>
The Board may also condition its preliminary approval upon the applicant providing for certain revisions or additions on the final plat submission.	<u>Pending</u>
Rectify any outstanding financial obligation to the City of Ocean City.	<u>Pending</u>
Provide an estimate of the cost of site improvements, performance and maintenance guarantees as required by the City Code.	<u>Pending</u>

**Conditions of Approval (Final Site Plan).**

Pursuant to Section 25-1500.10.3 Conditions of Approval, any approval of an application for development of a final plat of a site plan shall be subject to the following conditions being satisfied, within the time specified by the Planning Board, prior to signing of the plat or issuance of a Development Permit.

<b><u>Conditions of Final Site Plan Approval</u></b>	<b><u>Status</u></b>
Payment of any outstanding real estate taxes.	<u>Satisfied.</u>
Submission of additional prints of the plat map and attachments for distribution, if required.	<u>Pending</u>
Publication of a notice of the decision of the Board by the Administrative Officer (Planning Board or Board of Adjustment Secretary) within the time set forth in Section 25-900.7 of this Ordinance.	<u>Pending</u>
Final Cape May County Planning Board approval (if not previously obtained).	<u>Pending</u>
Certification of Soil Erosion and Sediment Control Plans (if not previously obtained).	<u>Pending</u>
Fire Department approval (if not previously obtained).	<u>NA</u>
Granting of any required construction permits.	<u>Pending</u>
Posting of required performance guarantees.	<u>Pending</u>
Payment of required inspection fees.	<u>Pending</u>
Evidence of a comprehensive general liability insurance policy in an amount not less	<u>Pending</u>

**PBA 22-026, Shoemaker Lumber Company, Inc.**

**Block 1106, Lot 10 and Block 1206, Lot 3**

than three hundred thousand dollars (\$300,000.00) per occurrence indemnifying and saving harmless the City and its agencies, employees and agents from any liability for any acts of the developer or his agents, contractors or employees in implementing of the approved site plan. The insurance policy shall provide for ten (10) days' notice to the City prior to cancellation. It shall be a violation of this Ordinance for any property owner, developer or builder to carry on the construction of the site without having a current valid evidence of insurance on file.	
Any other conditions, which may be imposed by the Board or may be required by Federal, State, or local law.	<u>Pending</u>
A condition setting forth the time within which all other conditions must be satisfied as described in Section 25-900.10.	<u>NA</u>
Satisfactorily address all conditions of preliminary approval.	<u>Pending</u>
Rectify any outstanding financial obligation to the City of Ocean City.	<u>Pending</u>
In lieu of the installation of three street trees on 12 <sup>th</sup> Street, the applicant shall pay the sum of \$1,050.00 to Ocean City.	<u>Pending</u>

C: David Scheidegg  
Michael Fusco  
John Halbruner  
Shoemaker Lumber Co. Inc.



# SchaefferNassarScheidegg

## Consulting Engineers, LLC

David S. Scheidegg, PE, PP, CME, CPWM, CFM  
Andrew F. Schaeffer, PE, PP  
Rami N. Nassar, PE, PP, CME  
Howard A. Transue, PLS

Engineers Surveyors Planners Environmental Specialists Municipal Consultants

July 8, 2025

Mr. John Loeper, Chairman  
and Planning Board Members  
c/o Mrs. Jaime Felker, Administrator  
Ocean City Planning Board  
115 12<sup>th</sup> Street  
Ocean City, NJ 08226

Re: **Preliminary & Final Major Site Plan with Variances- Amended Application  
Shoemaker Lumber Company, Inc.  
1124-62 & 1200 West Avenue  
Block 1106 Lot 10 and Block 1206, Lot 3  
City of Ocean City, Cape May County, NJ  
PBA22-026 (Our File No. OC16-184)**

Dear Chairman Loeper and Planning Board Members:

The following plans and documents have been reviewed for this application:

1. Shoemaker Lumber- New Retail Sales Building Plans prepared and signed by The Hyland Group consisting of the following pages:
  - G001 Title Sheet, as signed by John Halbruner PE, **last revised 06/02/25**
  - V101 Survey of Premises, as signed by Thomas Prendergast PLS, dated 03/17/25**
  - V102 Survey of Premises, as signed by Thomas Deneka PLS, last revised 11/9/22
  - CD101 Demolition and SESC Plan, as signed by John Halbruner PE, **last revised 06/02/25**
  - C101 Site Plan, as signed by John Halbruner PE, **last revised 06/02/25**
  - C102 Grading and Utility Plan, as signed by John Halbruner PE, **last revised 04/04/25**
  - C401 Consolidated Alley & Intersection Improvement Plan, as signed by John Halbruner PE, **last revised 04/04/25**
  - C501 Details and Notes, as signed by John Halbruner PE, **last revised 04/04/25**
  - L101 Lighting and Landscaping Plan, as signed by John Halbruner PE, **last revised 04/04/25**
  - AP101 First Floor Plan, as signed by John Halbruner RA, **last revised 04/04/25**
  - AP102 Second Floor Plan, as signed by John Halbruner RA, **last revised 04/04/25**
  - AP201 Building Elevations, as signed by John Halbruner RA, **last revised 04/04/25**
  - AP202 **Schematic** Building Elevations, as signed by John Halbruner RA, **last revised 04/04/25**
  - AP301 Building Sections, as signed by John Halbruner RA, **last revised 04/04/25**
  - AP901 3D views, as signed by John Halbruner RA, last revised 8/23/22
2. **City of Ocean City Development Application**
3. **City of Ocean City Administrative Completeness Application Checklist**



4. City of Ocean City Confirmation of Taxes Paid, **dated 06/13/25**
5. City of Ocean City 200-foot adjacent Property Listing, Block 1206 Lot 3, **dated 6/13/25**
6. City of Ocean City 200-foot adjacent Property Listing, Block 1106 Lot 10, **dated 6/13/25**
7. Ocean City Planning Board Decision and Resolution
8. **Transmittal from Michael Fusco, Esquire, to Jaime Felker, dated 06/17/25**

#### **I. Description:**

The applicant proposes to demolish all structures on Block 1106 Lot 10 (lumber storage) and construct a new retail building, lumber storage and parking areas. The applicant also proposed to demolish all structures on Block 1206 Lot 3 (retail store) and create a vacant parcel for temporary parking.

These parcels are located within the Drive-In Business Zone. The proposed development is permitted in the zone.

The application was granted Preliminary and Final Site Plan approval along with Variance relief, subject to certain conditions, at the hearing held on March 1, 2023.

**The applicant proposes to amend the originally approved site plan to modify the new retail building, with associated parking and other improvements.**

#### **III. Zoning:**

Based upon our review, we offer the following comments for the current application:

This parcel is located within the Drive-In Business Zone, lumber yards and retail sales are permitted uses.

##### Drive-In Business Zone (DB) (§25-205.2.5)

##### Block 1106, Lot 10

Zoning Criteria	Required/ Permitted	Proposed	Variance Required
Minimum Lot Area	9,000 sf	31,000 sf	No
Minimum Lot Depth	100'	310'	No
Min. Lot Frontage & Width	100'	100'	No
Min. Front Yard	20'	84'	No
Min. Side Yards	4'	<b>3.47'</b> (West) 20' (alley)	<b>Yes</b> No
Min. Rear Yard	4	1'(racks) 87.4' (building)	Previously granted
Max Building Height	32'	32'	No
Habitable Stories	3	2	No

Max Building Coverage	80%	32%	No
Max Impervious Cover	90%	<b>93%</b>	<b>Yes</b>
Min Parking	47	<b>38</b>	<b>Yes</b>

## II. Technical Comments:

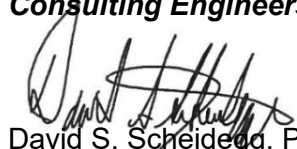
1. The applicant shall review the description of the previously approved and proposed operation associated with this application to identify any changes. Items such as, hours of operation, number of employees, access to the public, type of stored materials, vehicles for incoming and outgoing deliveries, open to the public, increase in intensity etc shall be addressed.
2. A variance for Sideyard setback is required. 4' required and 3.47' proposed
3. A variance for Rear yard setback was previously granted. 4' required and 1' proposed to racking system.
4. A variance for Impervious coverage is required. 90% permitted and 93% proposed (91% previously granted).
5. A variance for number of parking spaces is required. 47 required and 38 are proposed (38 spaces previously approved).
6. A variance for parking setback from building is required. 4' required and 1' proposed (alley).
7. A variance for parking setback from property line is required. 4' required and 0' proposed (12<sup>th</sup> Street) Previously granted.
8. A variance for parking lot landscaping is required. Previously granted.
9. A variance for maximum trash enclosure size is required. 100 sf max permitted, and 180 sf proposed.
10. A waiver is required for access from a street when access from alley is available (previously granted).
11. A waiver is required for fence height. 8' permitted and 10' is proposed (previously granted).
12. A waiver is required for Trash enclosure curb. (previously granted)..
13. A waiver is required for Safety Island and raised medians separating the street from the parking lot. (previously granted)..
14. Section 25-300.12.6 requires that vehicular access to off-street parking, loading and unloading areas shall be provided via the public alley only. The plans propose ingress and egress from both 12<sup>th</sup> Street and West Avenue. Relief is required.
15. The plans indicate the proposed truck turning movements from West Avenue, through the site, onto the alley and then onto 12<sup>th</sup> Street.

16. The applicant identifies the proposed chronological development scenario for Lots 10 and Lot 3. Parking is to be maintained on Lot 10 until the construction of the proposed retail building is completed. The applicant then proposes temporary grass parking on Lot 3 after the demolition of the existing retail building and while the parking area on Lot 10 is being constructed. Upon completion of the parking lot adjacent to the proposed building on Lot 10, the temporary parking on Lot 3 is to be discontinued and the lot revegetated until such time as a new use is approved and constructed.
17. The proposed plans indicate that portions of the alley are to be repaved. An overall project paving limits plan for all projects has been provided. It should be determined if a municipal street opening permit is required for the proposed reconstruction of 12<sup>th</sup> Street and the alley.
18. The paving cross-section should be amended to include a 4" stabilized asphalt base course.
19. Sections 17-2.4d and 17-2.5d requires new Curb and Sidewalk for new residential or commercial development. Relief is required as the applicant does not propose to reconstruct the entire 12<sup>th</sup> Street frontage of Block 1206 Lot 3 (temp parking area).
20. The applicant shall identify if a water meter vault is required for this use. If so, the location should be located outside of the proposed sidewalk area.
21. Per the existing approval, Block 1206 Lot 3 (site of existing Shoemaker Lumber retail building) is to be utilized as a temporary grass parking area. Access is from the alley only. If this parcel remains as a temporary grass parking area for 6 months after the certificate of occupancy for the new building on Block 1106 Lot 10, the landscaping as depicted on the plans shall be installed.
22. Signage, landscaping and lighting comments are deferred to the Board Planner.
23. Due to the nature of the construction, a preconstruction conference is recommended.
24. Engineers' cost estimates for the approved project were previously provided. If approved, revised estimates may be required.
25. Applicant shall obtain all permits and/or approvals from the City of Ocean City and other entities having jurisdiction, as applicable.

Any Planning Board approval should be contingent upon approval from all other governmental agencies having jurisdiction. We reserve the right to review any additional information submitted for this matter.

Should you have any questions or require any additional information, please do not hesitate to contact our office.

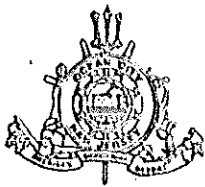
Sincerely,  
**Schaeffer Nassar Scheidegg**  
**Consulting Engineers, LLC**



David S. Scheidegg, PE, PP, CME, CPWM, CFM  
Planning Board Engineer



Cc: *Jaime M. Felker, (via e-mail)*  
*Randall Scheule, PP/AICP (via e-mail)*  
*Gary Griffith, Esq (via e-mail)*  
*John Halbruner PE, RA, (via e-mail)*  
*Michael Fusco, II, Esq, Clients Attorney (via e-mail)*  
*Shoemaker Lumber (via e-mail)*



CITY OF OCEAN CITY  
DIVISION OF PLANNING  
115 12<sup>th</sup> Street  
OCEAN CITY, NJ 08226  
609-399-6111 \* FAX 609-399-8419

Rev: 04/22/25 D3

PART II

DEVELOPMENT APPLICATION

PRELIMINARY AND FINAL MAJOR SITE PLAN APPROVAL

PLEASE COMPLETE ALL SECTIONS OF THIS APPLICATION

CHECK ONE: ZONING BOARD APPLICATION \_\_\_\_\_ PLANNING BOARD APPLICATION X

A. Applicants' Name SHOEMAKER LUMBER COMPANY, INC.

Applicants' Mailing Address SHOEMAKER: 1200 West Avenue, Ocean City, NJ 08226

\*Applicants' E mail Address c/o Michael A. Fusco, II, Esquire @ [michaelfuscoii@Fuscolawoffice.com]

Phone Number : c/o Michael A. Fusco, II, Esquire (Office Phone) 609-398-6742

Owner's Name SAME AS APPLICANT; Owner's Mailing Address SAME AS APPLICANT

Relationship of applicant to owner same person

Location of Premises 1124-62 and 1200 West Avenue, Ocean City, NJ 08226

(Street address)

Block(s) 1106 and 1206 Lot(s) 10 and 3, respectively Zone Drive-in Business (DB)

B. Description the application: Request has previously been made and approved to demolish an existing commercial building on Lot 3, Block 1206, and then leaving that lot cleared and grassed. There is no change requested by this Application to the clearing and grassing of Lot 3, Block 1206. However, on Lot 10, Block 1106, while that lot is to be fully cleared of the existing storage facilities and any other associated improvements as per the original approval, a modified, new commercial building with associated parking and other improvements to be constructed thereon are proposed by this Application to replace the original approval for a new store to be constructed on the property.

C. Please check the type(s) of approvals requested:

☐ Amendment

☐ Appeal

☐ Conditional Use for Single Family Residential

☒ "C" Variance

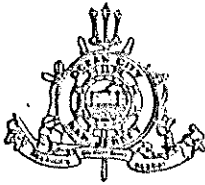
☐ "D"/Use Variance

☒ MODIFIED MAJOR SITE  
PLAN PRELIMINARY AND  
FINAL APPROVAL

☐ Subdivision Major Final

☐ Subdivision Minor

☐ Subdivision Major Preliminary &



D. Request is hereby made for permission to TO MODIFY THE PREVIOUS APPROVAL for a new Shoemaker Lumber/True Value Hardware Store to be placed on Lot 10, Block 1106. This plan proposes a new store modified from the originally approved plan, as well as certain changes to the Site conditions associated with the proposed, modified new store, but, as previously, indicated there are no proposed changes to the clearance and proposed vacant condition of Lot 3 in Block 1206. All changes to the original approval for the new store on Lot 10, Block 1106, are set forth in the plans associated with this Application.

With respect to the proposed, modified new Shoemaker Lumber/True Value Hardware Store, predominantly the same type of variances which were approved for the formerly approved new Shoemaker Lumber/True Value Hardware Store are requested by this modified Application, specifically, rear yard setback, side yard setback, impervious surface coverage, onsite parking, parking buffer and parking lot landscaping, but some of the variance(s) associated with this Application vary and differ from the size of the variances which were approved in the original Application.

1) Said property is Lot 10, Block 1106, and is 310' x 100', containing 31,000 square feet. Said Lot 10 will be cleared of existing storage buildings and other improvements in order to make way for the proposed construction of the new Shoemaker Lumber/True Value facility. In conjunction with the demolition and new construction, Variances for the proposed new building arrangement on Lot 10, Block, 1106 will be requested, as follows: number of parking spaces, parking lot landscaping, parking buffers, impervious surface coverage which will be slightly greater than that which was previously approved, rear yard setback, and side yard setback (which to West Avenue will be improved from that which was previously approved).

2) Size and setbacks of existing building: All buildings and improvements on Lot 10, Block 1106, are to be removed and replaced by the new building and other associated lot improvements set forth on this Site Plan Application for said Lot 10, Block 1106, assuming the Planning Board approves this Application.

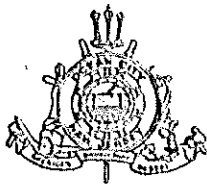
Width of building: \_\_\_\_\_ Length of building: \_\_\_\_\_ ;  
Height: \_\_\_\_\_ Stories: \_\_\_\_\_  
Front: \_\_\_\_\_ Rear: \_\_\_\_\_  
Side: \_\_\_\_\_ Side: \_\_\_\_\_ (+/-)  
% Building Coverage: \_\_\_\_\_ % Impervious Surface Coverage: \_\_\_\_\_

3) Size and setbacks of proposed new Shoemaker Lumber/True Value storage:

Width of building: 70.27'; Length of building: 118.48' at the rear wall and 89.88' at the front wall ;  
Height: 32' Stories: 2  
Front: 84' Rear: 1'  
Side: (to West avenue) 3.47' Side: (to public alley) 20' (+/-)

% Building Coverage: 32% (reduced from the previously approved building plan.

% Impervious Surface Coverage: 93%

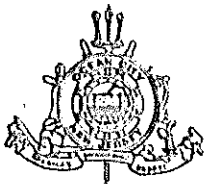


CITY OF OCEAN CITY  
DIVISION OF PLANNING  
115 12<sup>th</sup> Street  
OCEAN CITY, NJ 08226  
609-399-6111 \* FAX 609-399-8419

- 4) Date property acquired and prevailing zoning at time of acquisition: 1964; Unknown Zoning.
- 5) Has there been any previous appeal, requests or applications to this or any other City Boards, Construction Official, or other City Official involving these premises? YES. There has been a previous request for a new Shoemaker Lumber/True Value Hardware Store on Lot 10, Block 1106 and for the clearance of Lot 3 on Block 1206. Approvals were granted by the Planning Board for the previous Applications. As indicated, the Application for the clearance of Lot 3, Block 1206 is unchanged, but the proposed new store for Lot 10, Block 1106 is modified is a result of this Application.
- 6) When variance approvals are requested: \_
- Describe the exceptional conditions of property preventing application from complying with Zoning Ordinance.
  - Supply a statement of facts showing why relief can be granted without substantial detriment to the public good and will not substantially impair the intent and purpose of the zone plan and zoning ordinance.

As previously indicated, the same categories of variances as were requested in the original Application are requested for this Application, namely, rear yard setback, side yard setback, maximum impervious surface coverage, number of parking spaces, parking buffer to 12<sup>th</sup> Street, parking buffer to alley and parking buffer to building, as well as a variance for parking lot landscaping. All those variances were requested and granted with the original plan and the same variances are requested for this newly proposed plan. It should be noted that certain variances requested by this Application, specifically side yard setback to West Avenue and parking buffer to alley are improvements from the variances which were originally approved by the Planning Board for the previously designed store. There is a decrease in proposed parking spaces (3 spaces) from the originally approved plan which indicated 47 onsite parking spaces and this Application requests 44 parking spaces, but five (5) additional employee parking spaces are available across the alley. The proposed new store's parking situation, however, as was the case with the originally approved parking configuration, is a significant improvement over what currently exists with the existing Shoemaker Store at the corner of 12<sup>th</sup> Street and West Avenue. It should also be noted that while signage variances were requested and approved for the original Application for the new store, signage proposals for this newly designed store will be fully conforming.

Not only will the new store and site be a considerable aesthetic improvement, as well as a significant improvement in onsite parking from the existing Shoemaker Store, all of the requested variances occur within the proposed new Shoemaker Facility Site, with any variances associated to the rear side of the new proposed store abutting a public alley and Shoemaker Storage Facilities on Haven Avenue; other variances being to the West Avenue side of the proposed new store, as well as to the 12<sup>th</sup> Street side of the proposed new store. It is respectfully submitted that all of the requested variances associated with the proposed new facility cause de minimis, if any, adverse impact to the surrounding neighborhood and any surrounding neighbors, largely occurring adjacent to 12<sup>th</sup> Street, the public alley to the rear of the new proposed facility and to West Avenue.



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- 7) All applicants must complete the following, as applicable:

Type of construction: Frame, block, steel and glass

Present use of existing building(s)/property: A commercial store on Lot 3, Block 1206 and parking and storage on Lot 10, Block 1106.

Describe any deed restrictions affecting this property: None.

Existing and proposed number of dwelling units: None exist, and none are proposed.

Existing and proposed square footage of professional office: N/A

Existing and proposed gross floor area: As previously indicated, the existing building area on Lot 3, Block 1206 is 86%, in excess of the 80% permitted, but said lot will be fully cleared in the event this Application is approved, and the existing building on Lot 10, Block 1106, of 52%, will be reduced to 32% if this Application is approved, which is also 4% less than what was originally approved for the new store.

Existing and proposed parking spaces: As previously indicated, parking for the existing Shoemaker Store on Lot 3, Block 1206 is largely a "free for all hodgepodge", consisting of a largely unimproved area on Lot 10, Block 1106. The approval of this application, as well as was the approval of the original Application, provide an organized and clearly marked parking configuration which will be on the same lot as the newly proposed Shoemaker Lumber/True Value facility.

Existing and proposed number of lots: Two(2) lots currently exist and Two (2) will remain. The lot associated with the former Shoemaker Lumber Store will be vacant and the lot associated with the former Shoemaker Storage Facilities abutting West Avenue will house the new Shoemaker Lumber/True Value Store.

Portion of lot being subdivided: N/A

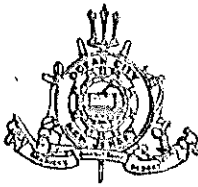
Purpose for which lots will be utilized: As previously indicated, Lot 3 in Block 1206 will be fully cleared and grassed, while Lot 10 on Block 1106 will house the new Shoemaker Lumber/True Value facility in the event this Application is approved.

Facilities for solid waste and recyclables: Will be provided with the new Shoemaker/True Value Store as was described at the time of the original approval for a new Shoemaker/True Value Store and will be again described at the forthcoming hearing.

A photograph(s) of the land and building(s) involved in the application. N/A.

Names, addresses and E-mail of all expert witness proposed to be used: John Halbruner, P.E., R.A., 14 Clermont Drive, Clermont, New Jersey 08210; Phone: 609-398-4477; Email: jhalbruner@hdg-nj.com

- 8) If the applicant is a corporation or partnership, the names and addresses of all stockholders or partners owning 10% or greater interest in said corporation or partnership shall be set forth in accordance with P.L. 1977 Ch. 336. Janet Young and Lynne Tarves are the sole shareholders of Shoemaker Lumber Company, Inc., each owning 50% of the corporate stock.



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## ESCROW FEES SUBMITTED

### FINANCIAL RESPONSIBILITY STATEMENT

Section 25-1300.15.2 Amounts Specified Are Estimates, of the Ocean City Zoning Ordinance, 88-27, Volume II, reads as follows:

The amounts specified for escrow deposits are estimates, and it is recognized additional escrow fees may be necessary in particular applications. In the event that more than the amount specified for escrow is required in order to pay the reasonable costs incurred, the applicant, shall prior to being permitted to move forward in the approval procedure, or prior to being permitted to move forward in the approval procedure, or prior to obtaining Certificates of Occupancy for any portion of the application project, pay all additional required sums.

I have read Section 25-1300.15.2 and understand that additional escrow fees may be charged at a later date. I herewith agree to pay these additional charged fees. If I fail to pay these fees when requested, I understand that the City will also charge reasonable attorney's fees for the collection of these fees.

Please Print Clearly

**SHOEMAKER LUMBER COMPANY, INC.**

1200 West Avenue, Ocean City, NJ 08226

Daytime Phone (Jim Argerakis @#609-778-3010)

by:

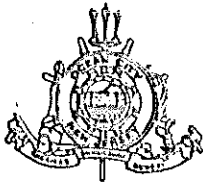
Michael A. Fusco, Esquire  
MICHAEL A. FUSCO, II, ESQUIRE  
ATTORNEY FOR SHOEMAKER LUMBER, INC.

June 17, 2025  
(Date)

(Signature)

(Date)

Note: The application will be deemed incomplete if all information above is not fully completed.



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Michael A. Fusco, II, Esquire, Attorney for Owner/ Applicant being duly sworn according to law hereby certifies that the information presented in this application is true and accurate.

Michael A. Fusco, Esquire  
Signature of Attorney for Applicant

If applicant is not the owner of the property, have owner sign below or file with application a letter signed by the owner consenting to this application.

The foregoing application is hereby consented to this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
(Signature of property owner)

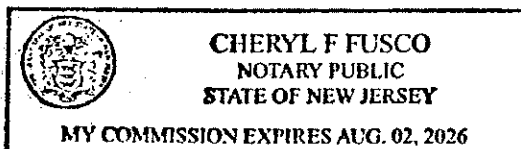
\_\_\_\_\_  
(Address)

\_\_\_\_\_  
(Telephone Number)

Sworn and subscribed before me:

This 17<sup>th</sup> day of June 2025

[Signature]  
Signature of Person authorized to take oaths - Notary



PART III

ADMINISTRATIVE COMPLETENESS

APPLICATION CHECKLIST

(Please submit with your application document)

NAME OF APPLICANT: SHOEMAKER LUMBER COMPANY, INC.

NAME OF OWNER: SAME AS APPLICANT

NAME OF PROFESSIONAL(S): JOHN HALBRUNER, P.E., R.A.

Required Documents

- a) One original & 5 copies of the application WITH the completed Checklist X
- b) One original & 5 copies of the required plat meeting requirements set forth in Chapter 1500 of the City Ordinance X
- c) Required Application Fees as set forth in Chapter XXX of the City Code X
- d) Copy of CAFRA application or written explanation of why one isn't needed: No CAFRA Application is required given the nature and location of this proposed development.
- e) Copy of NJDEP Wetlands application There are no Wetlands affecting the subject premises or in close proximity thereto, so no Wetlands Permit is required.
- f) Current signed and sealed Survey of property (less than 1 year old) X
- g) Other submittals required by Board Professionals (if any) Will be provided when and if requested.
- h) Written description and justification for Waivers & Variances X
- i) Certified list of persons to whom notice must be sent, as compiled by the proper administrative officer of the appropriate municipality (Tax Assessor). X
- j) Proof from the Tax Collector that real estate taxes and local Assessments have been paid to date X
- k) (For Subdivisions only) A Certificate of Title N/A



**GARY R. GRIFFITH, ESQUIRE**  
**GRIFFITH and CARLUCCI, P.C.**  
761 Asbury Avenue - Suite 201  
Ocean City, New Jersey 08226  
(609) 399-6900  
Attorneys for the Ocean City Planning Board

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IN THE MATTER OF THE APPLICATION  
OF SHOEMAKER LUMBER COMPANY,  
INC. FOR PRELIMINARY AND  
FINAL MAJOR SITE  
PLAN APPROVAL AND VARIANCES  
FOR BLOCK 1106, LOT 10 AND  
BLOCK 1206, LOT 3

OCEAN CITY PLANNING BOARD

APPLICATION NO. PBA 22-026

**DECISION AND RESOLUTION**

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#### **BACKGROUND OF DECISION AND RESOLUTION**

1. SHOEMAKER LUMBER COMPANY, INC. ["Applicant"] is the owner of certain lands and premises located in the City of Ocean City known as Block 1106, Lot 10 and Block 1206, Lot 3 as shown on the current official tax map for the City of Ocean City, New Jersey commonly known as 1124-1162 West Avenue, Ocean City, New Jersey ["Property"].

2. The Applicant has made application to the Ocean City Planning Board for (i) **preliminary and final major site plan approval** to (a) construct a new retail building and associated parking (Block 1106, Lot 10) and (b) create a vacant parcel with no new development proposed at this time (Block 1206, Lot 3) at the Property which is located in the DB, Drive-in Business Zone; and, (ii) **variances** as delineated on pages 10 and 11 and summarized on page 12 in the Planner's Report (as hereinafter defined) [the "variances"]. The Applicant also seeks design waivers identified in the Planner's Report on page 11 and summarized on page 12 thereof [the "design waivers"].

3. The application to the Ocean City Planning Board as aforesaid was deemed complete and a public hearing in respect of the aforesaid application was held before the Ocean City Planning Board on March 1, 2023.

**WITNESSETH**

**NOW, THEREFORE**, the Ocean City Planning Board based upon the exhibits submitted and the analysis by the Planner for the Ocean City Planning Board, Randall E. Scheule, A.I.C.P. & P.P. ["Planner"] and the Engineer for the Ocean City Planning Board, David S. Scheidegg, P.E., P.P., C.M.E. ["Engineer"] and the testimony presented makes the following findings of fact:

1. Paragraphs 1 through 3 set forth above in the Background of Decision and Resolution are incorporated by this reference as if specifically set forth herein at length; all appropriate applications have been filed; all required application fees have been (or will be) paid; and, all notices required by law have been given.

2. The Applicant has submitted and the Planner and Engineer have reviewed the plans and documents identified and delineated by the Planner in the Planner's Report dated January 4, 2023 ["Planner's Report"] all of which are incorporated by this reference as if specifically listed herein at this place and identified and delineated by the Engineer in the Engineer's Report dated January 3, 2023 ["Engineer's Report"] all of which are incorporated by this reference as if specifically listed herein at this place. The Planner's Report is attached to this Decision and Resolution as Exhibit A and expressly made a part hereof and the Engineer's Report is attached to this Decision and Resolution as Exhibit B and expressly made a part hereof.

3. The Applicant was represented by Michael A. Fusco, II, Esquire at the time of public hearing. Mr. Fusco presented the Applicant's application for preliminary and final major site plan, variances, and design waivers in respect of the Property. The Property is located in the DB, Drive-in Business Zone and is identified as Block 1106, Lots 10 and Block 1206, Lot 3 as shown on the current official tax map for the City of Ocean City, New Jersey. The street address of the Property is 1124-1162 West Avenue, Ocean City, New Jersey. Mr. Fusco indicated that it was the Applicant's intention to (a) construct a new retail building and associated parking (Block 1106, Lot 10) and (b) create a vacant parcel with no new development proposed at this time (Block 1206, Lot 3) at the Property which is located in the DB, Drive-in Business Zone; and, (ii) **variances** as delineated on pages 10 and 11 and summarized on page 12 in the Planner's Report. The Applicant also seeks design waivers identified in the Planner's Report on page 11 and summarized on page 12 thereof. The variances are required for the project development. The Applicant also seeks the design waivers in connection with the proposed project.

John E. Halbruner, P.E. & R.A. was the first witness to testify in respect of the application. Mr. Halbruner is a professional engineer and a registered architect and was recognized by the Ocean City Planning Board as an expert. Mr. Halbruner is the engineer and the architect engaged by the Applicant in respect of the preliminary and final major site plan approval, variances, and design waivers for the Property. Mr. Halbruner provided a general description of the Property and the proposed preliminary and final major site plan, and variances for the Property. Mr. Halbruner provided an overview of the project development. Mr. Halbruner provided a neighborhood overview

where the Property was located. He confirmed that the Property was located in the DB, Drive-in Business Zone. He testified that the Applicant intends to expand its existing business and desires to consolidate the business on one (1) lot. He described the proposed new two-story building. He testified that the new building would be serviced by delivery trucks from West Avenue. He testified that there would be 43 parking spaces, thus creating, an increase in parking spaces. He testified about the aesthetic improvement offered by the roof feature of the new building and the safety improvement offered by a larger loading area in the rear yard. He testified that traffic safety would be dramatically improved. He offered testimony about the trash enclosure, signage, street trees, and reduction of impervious coverage. He testified that impervious coverage would be reduced from 95.00% to 91.00%. Mr. Halbruner identified that the proposed project offered a revitalized retail store, improved parking, better streetscape, enhanced public safety, reduced impervious coverage, and greater air, light, and open space. He identified the variances and design waivers required by the Applicant. Checklist waivers were also identified.

The Applicant proceeded under the c. (1) and c. (2) criteria of N.J.S. 40:55D-70 in presenting its proofs for the variances requested and Mr. Halbruner testified using the c. (1) and c. (2) criteria of N.J.S. 40:55D-70 as the basis for his professional testimony and opinions.

He testified that the new building satisfied several purposes of zoning as detailed in N.J.S. 40:55D-2. He testified that the proposed project satisfied several purposes of zoning identified in N.J.S. 40:55D-2 a. (appropriate use of land), c. (provision of adequate light, air, and open space), g. (appropriate locations for property uses), and i.

(promotion of a desirable visual environment). He testified that the proposed project was consistent with the Master Plan for the City of Ocean City.

Mr. Halbruner testified that there was no detriment resulting from the proposed preliminary and final major site plan, variances, and design waivers requested by the Applicant. He testified further that there was a benefit to the public by granting the preliminary and final major site plan, and variances, especially when taking into consideration the purposes of zoning detailed in N.J.S. 40:55D-2 identified above, the permitted uses of the Property, the aesthetic quality of the proposed new project, the enhanced visual environment offered by the proposed project, the enhanced public safety offered by the proposed new project, the intent of the DB, Drive-in Business Zone, and the nature of the variances requested by the Applicant. In summarizing the testimony, Mr. Halbruner offered his expert opinion that the positive criteria consistent with N.J.S. 40:55D-70 c. (1) and c. (2) to grant the variance relief requested by the Applicant were satisfied and particularly as to the c. (2) criteria, that the benefits of any deviation permitting the variance relief would substantially outweigh any detriment and that the negative criteria consistent with the standards required in N.J.S. 40:55D-70 were likewise satisfied, indicating that the relief requested by the Applicant, could, in his professional opinions, be granted without any substantial detriment to the public good and without substantially impairing the intent and purpose of the zone plan and zoning ordinance.

During Mr. Halbruner's testimony, three (3) exhibits marked as follows were received by the Ocean City Planning Board:

1. Exhibit A-1 (Neighborhood overview);
2. Exhibit A-2 (Color renderings); and

3. Exhibit A-3 (Enlarged colored site plan).

During and upon completion of Mr. Halbruner's testimony, he addressed questions from Ocean City Planning Board Members.

4. Comments from the Planner were received consistent with Planner's Report. The Planner's Report was received by the Ocean City Planning Board. Comments from the Engineer were received consistent with the Engineer's Report. The Engineer's Report was received by the Ocean City Planning Board. The Applicant will comply with (i) the Planner's Report and (ii) the Engineer's Report, as agreed by Applicant's counsel, Mr. Fusco. If necessary, the site plan will be revised to show all changes thereto consistent with the foregoing and all the representations and agreements placed on the record by the Applicant's counsel and the Applicant at the public hearing on March 1, 2023. It was determined that the Applicant will install gravel for temporary parking and provide a landscaping plan if Block 1206, Lot 3 is vacant (unimproved) for more than 180 days from the date a Certificate of Occupancy shall be issued for the new building to be constructed on Block 1106, Lot 10. The Applicant will contribute the sum of \$1,050.00 to the City of Ocean City in *lieu* of the installation of three (3) street trees along 12<sup>th</sup> Street.

5. Upon completion of Mr. Fusco's presentation on behalf of the Applicant, receipt of the Planner's Report and the Engineer's Report, and receipt of comments by the Planner and the Engineer, the meeting was then opened to the public. The following members of the public testified or offered comments in respect of the application:

1. Terry Crouse, 1153 B, West Avenue—General questions; in favor.

6. Upon conclusion and closing of the public portion of the meeting, there was further discussion and deliberation by the Ocean City Planning Board.

**NOW, THEREFORE**, the Ocean City Planning Board hereby makes the following conclusions of law based upon the foregoing findings of fact. The Applicant has made application to the Ocean City Planning Board for **(i) preliminary and final major site plan approval** to (a) construct a new retail building and associated parking (Block 1106, Lot 10) and (b) create a vacant parcel with no new development proposed at this time (Block 1206, Lot 3) at the Property which is located in the DB, Drive-in Business Zone; and, **(ii) variances** as delineated on pages 10 and 11 and summarized on page 12 in the Planner's Report. The Applicant also seeks design waivers identified in the Planner's Report on page 11 and summarized on page 12 thereof.

Under the Municipal Land Use Law, N.J.S. 40:55D-1 *et seq* and particularly, N.J.S. 40:55D-60, a Planning Board, when considering a site plan, as in this case, may grant variances as provided for in N.J.S 40:55D-70 c. The Applicant has the burden of proof to satisfy both the positive and negative criteria necessary to grant the variance relief requested. The Applicant must satisfy certain specific proofs which are enunciated in N.J.S 40:55D-70 c. Specifically, pursuant to N.J.S 40:55D-70 c. (1), the Applicant may be entitled to relief if the Property is limited by exceptional narrowness, shallowness, or shape. The Applicant may also show the exceptional topographic conditions or existing physical features which uniquely affect the Property and may also supply evidence that exceptional or extraordinary circumstances exist which uniquely affect the Property or any structure lawfully existing thereon and that the strict application of any regulation contained in the Ocean City Zoning and Land

Development Ordinance would result in a peculiar and exceptional practical difficulty or exceptional and undue hardship upon the Applicant, as developer of the Property and a variance from the strict application would relieve such difficulty or hardship.

Furthermore, pursuant to N.J.S 40:55D-70 c. (2), the Applicant may be entitled to relief, if the Applicant can demonstrate that in a particular circumstance relating specifically to the Property, the purposes of the Municipal Land Use Law would be advanced by allowing a deviation from the Ocean City Zoning and Land Development Ordinance requirements and the benefits of any deviation will substantially outweigh any detriment. In those instances, variance relief may be legally granted. The categories specifically enumerated above constitute the affirmative proofs necessary in order to obtain "bulk" or c. variance relief. Finally, the Applicant must also show that the variance relief requested can be granted without any substantial detriment to the public good and without substantially impairing the intent and purpose of the zone plan and Ocean City Zoning and Land Development Ordinance. It is only in those instances when an applicant has satisfied the statutory criteria, that a Planning Board acting pursuant to statutory and case law can grant relief. The burden of proof is upon the Applicant to establish these criteria.

Based upon the application, plans and documents, reports, and testimony, including the expert opinions furnished by Mr. Halbruner, the Ocean City Planning Board finds that the Applicant **has met** the minimum requirements of the Municipal Land Use Law, case law and the Ocean City Zoning and Land Development Ordinance so as to grant the relief requested. Specifically, as it pertains to the c. variance relief sought by the Applicant, the Ocean City Planning Board finds that: I. The c. (1) and c.



(2) criteria to grant the variances **have been satisfied** and, specifically as to the c. (2) criteria, the purposes of the Municipal Land Use Law would be advanced by a deviation from the Ocean City Zoning and Land Development Ordinance and the benefits of the deviation would substantially outweigh any detriment, taking into consideration the purposes of zoning detailed in N.J.S. 40:55D-2 a. (appropriate use of land), c. (provision of adequate light, air, and open space), g. (appropriate location for property uses), and i. (promotion of a desirable visual environment), the permitted uses of the Property, the aesthetic quality of the proposed new building, the enhanced visual environment offered by the proposed project, the intent of the DB, Drive-in Business Zone, and the nature of the variances requested by the Applicant; and, 2. There is no evidence whatsoever before the Ocean City Planning Board that the preliminary and final major site plan, variances, and design and checklist waivers as requested, if approved and granted, would have a substantial detriment to the public good or substantially impair the intent and purpose of the zone plan and the Ocean City Zoning and Land Development Ordinance.

**NOW, THEREFORE, BE IT RESOLVED** by the Ocean City Planning Board on March 1, 2023 that the application made by the Applicant, SHOEMAKER LUMBER COMPANY, INC. requesting land use approvals is determined as follows:

**(i) preliminary and final major site plan approval** to (a) construct a new retail building and associated parking (Block 1106, Lot 10) and (b) create a vacant parcel with no new development proposed at this time (Block 1206, Lot 3) at the Property which is located in the DB, Drive-in Business Zone; and, **(ii) variances** as delineated on pages 10 and 11 and summarized on page 12 in the Planner's Report are **APPROVED AND GRANTED.**

**IT IS FURTHER RESOLVED** that the above approvals all as aforesaid are **GRANTED** with and subject to the following terms and conditions:

A. Prior to the issuance of any construction permit, reimburse the City of Ocean City for all professional fees and other expenses incurred by the City of Ocean City as a result of processing Applicant's application in accordance with the Ocean City Zoning and Land Development Ordinance. **The Applicant shall immediately pay the necessary application fee associated with the application for conditional use approval.**

B. The Applicant will comply with the Planner's Report and the Engineer's Report.

C. The Applicant shall comply with all the representations and agreements placed on the record by the Applicant's counsel, professionals, and/or other representatives at the time of public hearing on March 1, 2023.

D. The Applicant shall obtain the approval of all other municipal, county, state or federal agencies or boards having jurisdiction over the proposed site plan in respect of the Property, including but not limited to approval from the Cape-Atlantic Soil Conservation District, if necessary.

E. The Applicant shall cause all plans and documents to be revised consistent with the above referenced conditions and all of the representations and agreements placed on the record by the Applicant's counsel, professionals, and/or other representatives at the time of public hearing on March 1, 2023.

F. The Applicant shall comply with Article 1600 of the Ocean City Zoning and Land Development Ordinance in respect of Guarantees and Improvement Procedures.

G. The checklist waivers identified in the Planner's Report and the Engineer's Report are granted. The design waivers identified in the Planner's Report on page 11 and summarized on page 12 thereof are likewise granted.

H. If applicable, the Applicant (or future owner) shall satisfy the legal requirements of § 25-1900 (Affordable Housing Development Fees) for any development on the Property.

I. The Applicant will contribute the sum of \$1,050.00 to the City of Ocean City in *lieu* of the installation of three (3) street trees.

J. The Applicant will install gravel for temporary parking and provide a landscaping plan if Block 1206, Lot 3 is vacant (unimproved) for more than 180 days from the date a Certificate of Occupancy shall be issued for the new building to be constructed on Block 1106, Lot 10.

K. The Applicant shall comply with all provisions of the Ocean City Zoning and Land Development Ordinance, including without limitation § 25-1500.10.3 thereof, and any and all other municipal, county, state, or federal laws or regulations relating or applicable to the proposed project development at the Property.

This Decision and Resolution was adopted upon a motion, to be considered in the affirmative to approve the Applicant's request for land use approvals as aforesaid, made by Ocean City Planning Board Member Jessel and seconded by Ocean City Planning Board Member Bekier on March 1, 2023 ["Jessel Motion"]. The

vote on the Jessel Motion was seven (7) in favor of and zero (0) against with Ocean City Planning Board Members, Sheppard, Allegretto, Levchuk, Bekier, Jessel, Birch, and Loeper all voting in the affirmative.


OCEAN CITY PLANNING BOARD

  
\_\_\_\_\_  
JOHN LOEPER,  
CHAIRPERSON

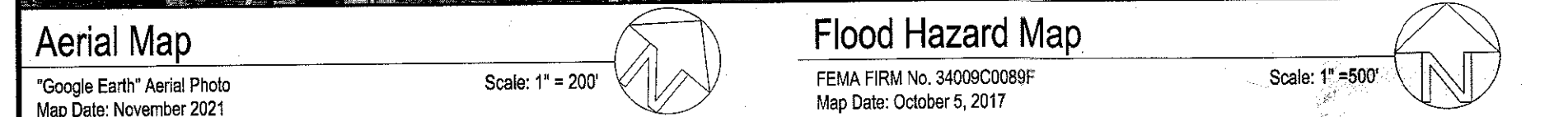
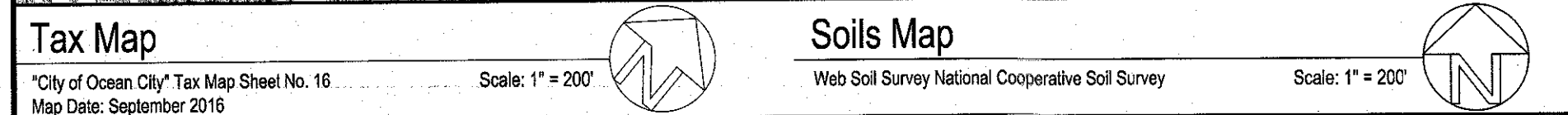
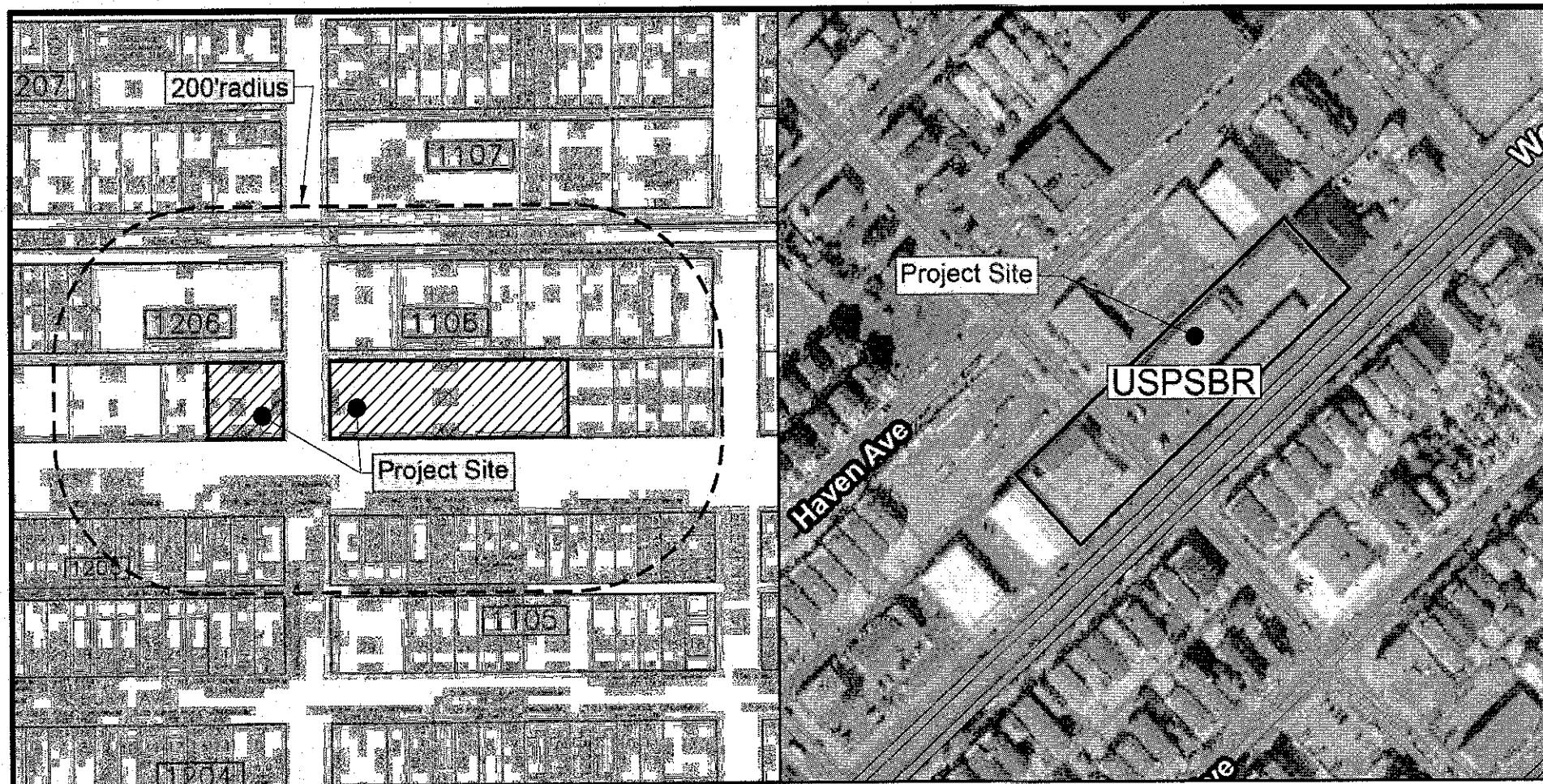
Dated: April 5, 2023

CERTIFICATION

I, JAIME M. FELKER, Secretary to the Ocean City Planning Board, do hereby certify that the foregoing Decision and Resolution was duly adopted at the meeting of the Ocean City Planning Board held on March 1, 2023 memorialized herein pursuant to N.J.S. 40:55D-10 g. (2) on April 5, 2023. This resolution has been filed in the office of the Board and is available for inspection upon request.

  
\_\_\_\_\_  
JAIME M. FELKER,  
Secretary, Ocean City Planning Board

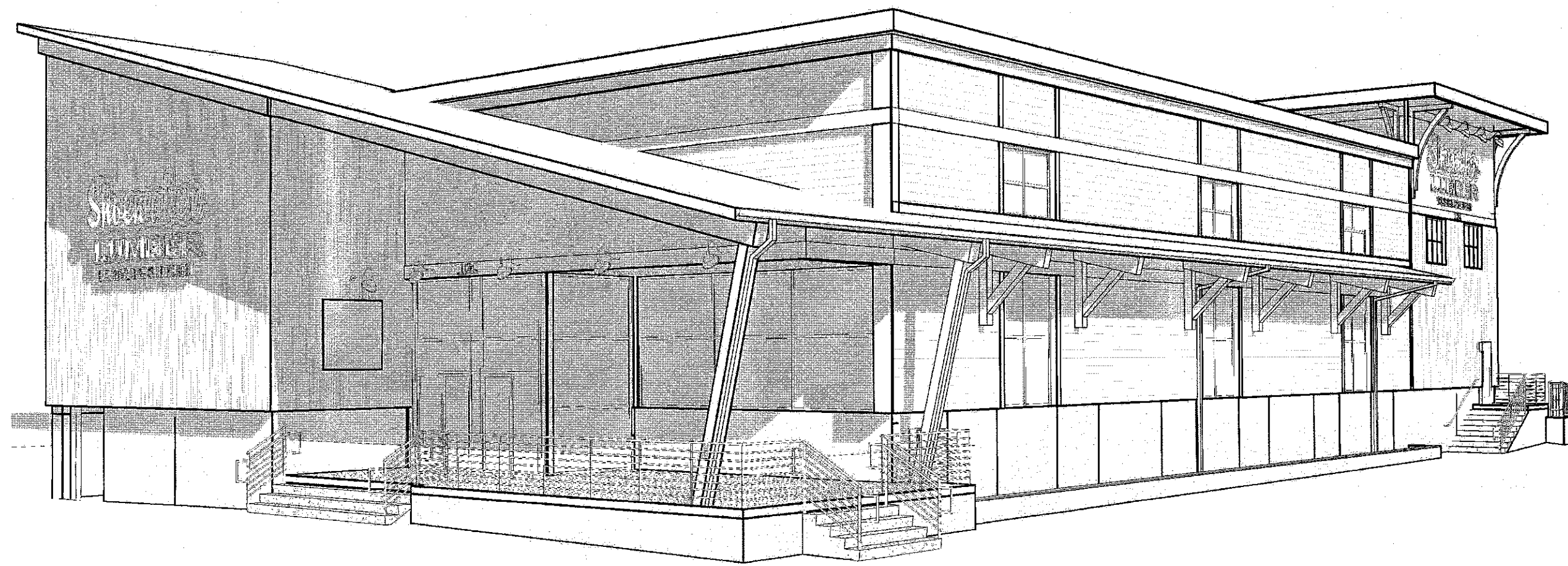




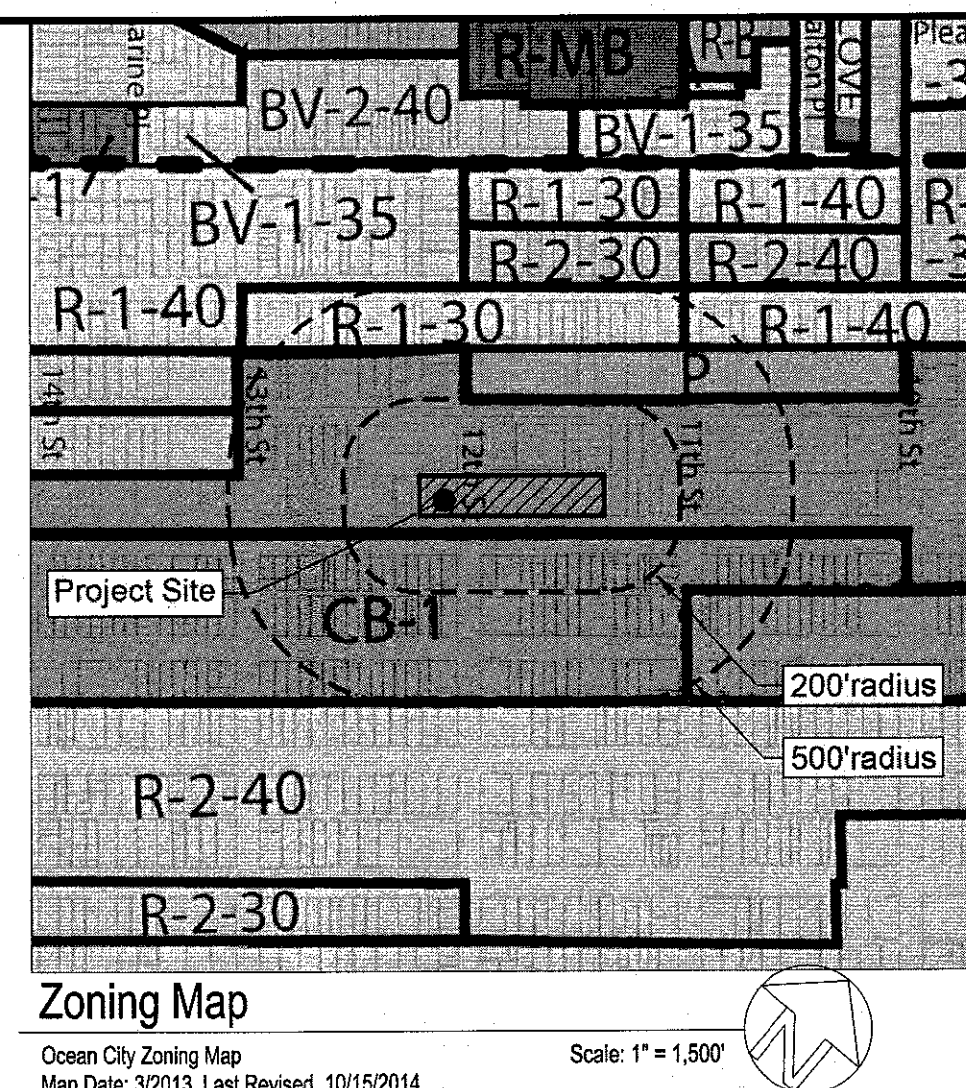
Property Owners Within 200' (1/15/2023)	Owner	Address	City/State	Zip
1105 1	C1	Shore Holdings LLC	Ocean City, NJ	08226
1105 2	C2	McKee Investments LLC	Trenton, NJ	08606
1105 3	C1	Vigore, Christopher J & Denise V	Ocean City, NJ	08226
1105 4	C1	Schiffman, Carol A	Ocean City, NJ	08226
1105 5	C2	1105 West Avenue B, LLC	Ocean City, NJ	08226
1105 6	C1	Vicki Anthony B & Anthony J	Ocean City, NJ	08226
1105 7	C1	1105 West Avenue LLC	Ocean City, NJ	08226
1105 8	C2	Chouk, Terry Lee & Patricia Ann	Franklin, NJ	08829
1105 9	C1	Finkel, Joseph J & Elaine R	Franklin, NJ	08829
1105 10	C1	Chelovik, Mary Kline	Ocean City, NJ	08226
1105 11	C2	McGowan, Gregory P & Angela M	Ocean City, NJ	08226
1105 12	C1	Madison, Raymond J	Ocean City, NJ	08226
1105 13	C1	Papadimitriou, Nicholas George & Tiffani	Ocean City, NJ	08226
1105 14	C1	Winters, Carl W ETAL; H Walters III	Ocean City, NJ	08226
1105 15	C1	Neller Estates LLC	Ocean City, NJ	08226
1105 16	C1	Adams, Bryan	Ocean City, NJ	08226
1105 17	C1	Winters, Jason	Ocean City, NJ	08226
1105 18	C1	1105-ADN LLC	Ocean City, NJ	08226
1105 19	C1	Gannon, John	Ocean City, NJ	08226
1105 20	C2	Love, David & Jennie	Ocean City, NJ	08226
1105 21	C1	Finkel, Ronald H & Donna L	Ocean City, NJ	08226
1105 22	C1	K R Subdiv of NJ LLC	Ocean City, NJ	08226
1105 23	C1	Ginneth, Richard & Nancy	Ocean City, NJ	08226
1105 24	C1	Plano, Lisa M & John	Ocean City, NJ	08226
1105 25	C1	Premia, Anthony & Donna	Ocean City, NJ	08226
1105 26	C1	Premia, Maria A	Ocean City, NJ	08226
1105 27	C1	Blond, George B & Denise E	Ocean City, NJ	08226
1105 28	C1	Quayle, Lucie	Ocean City, NJ	08226
1105 29	C1	Kornick, Edward & Rose	Ocean City, NJ	08226
1105 30	C1	Wagoner, Keith & Michelle	Ocean City, NJ	08226
1105 31	C1	Culotta, Josephine	Ocean City, NJ	08226
1105 32	C1	O'Leary, Anthony J & Emily B	Ocean City, NJ	08226
1105 33	C1	Hong, Robert J & Dawn, Christy Ann	Ocean City, NJ	08226
1105 34	C1	M&J Management LLC	Ocean City, NJ	08226
1105 35	C1	Shoemaker Lumber Co & Est	Ocean City, NJ	08226
1105 36	C1	V-T Properties, LLC	Ocean City, NJ	08226
1105 37	C1	Southern Michael K & Allison L	Ocean City, NJ	08226
1105 38	C1	De Rite, LLC	Ocean City, NJ	08226
1105 39	C1	Li Rental LLC	Ocean City, NJ	08226
1105 40	C1	New Jersey Water Company	Ocean City, NJ	08226
1105 41	C1	Vanatta, Timothy W & Emily A	Ocean City, NJ	08226
1105 42	C1	Higgin, Charles B & Patricia C	Ocean City, NJ	08226
1105 43	C1	Pritchard, Thomas E & Janine M	Ocean City, NJ	08226
1105 44	C1	Tippack, Joseph W & Melissa N	Ocean City, NJ	08226
1105 45	C1	MC Corp LLC	Ocean City, NJ	08226
1105 46	C1	CBS Holdings, LLC	Ocean City, NJ	08226
1105 47	C1	Prichard, Nicholas & Thomas	Ocean City, NJ	08226
1105 48	C1	Benjamin, Kimberly Ann	Ocean City, NJ	08226
1105 49	C1	Rosa, Anthony & Denise M	Ocean City, NJ	08226
1105 50	C1	Kelly, Carl R	Ocean City, NJ	08226
1105 51	C1	Samm Partners, LLC	Ocean City, NJ	08226
1105 52	C1	Whelan, Lawrence J & Mary E	Ocean City, NJ	08226
1105 53	C1	Balof, Eric Evan & Renee Michele	Ocean City, NJ	08226
1105 54	C1	Vasson, Bruce & Mary Anne	Ocean City, NJ	08226
1105 55	C1	Edelman, Nicholas C & Wendy	Ocean City, NJ	08226
1105 56	C1	Darrah, Francis X & Penelope	Ocean City, NJ	08226
1105 57	C1	Finkel, Gregory	Ocean City, NJ	08226
1105 58	C1	Jacobs, Anthony J & Nancy L	Ocean City, NJ	08226
1105 59	C1	Duncan, David Eastman Investments, LLC	Ocean City, NJ	08226
1105 60	C1	Comanay, Daniel & Cayna	Ocean City, NJ	08226
1105 61	C1	Murphy, Christine R	Ocean City, NJ	08226
1105 62	C1	Ligon, Matthew & Melissa	Ocean City, NJ	08226
1105 63	C1	Meyers, Robert & Kathleen	Ocean City, NJ	08226
1105 64	C1	McKee, Michael & Kimberly A	Ocean City, NJ	08226
1105 65	C1	O'Connor, Michael & Joseph	Ocean City, NJ	08226
1105 66	C1	Racco Properties, LLC	Ocean City, NJ	08226
1105 67	C1	Shoemaker Lumber Co, Inc	Ocean City, NJ	08226
1105 68	C1	Alex Gryn Ocean City NJ LLC	Ocean City, NJ	08226
1105 69	C1	Shoemaker Enterprises, LLC	Ocean City, NJ	08226
1105 70	C1	The Shoemaker Manufacturing	Ocean City, NJ	08226
1105 71	C1	Van Tine, Kevin K & J John W	Ocean City, NJ	08226
1105 72	C1	Gordon, Theres	Ocean City, NJ	08226

# Proposed Major Site Plan for Shoemaker Lumber

BLOCK 1106, LOTS 10 & Block 1206, Lot 3  
1124-62 & 1200 West Avenue  
Ocean City, Cape May County, New Jersey  
PROJECT NUMBER: 31747.04 C



SHEET No.	CONTENTS
G001	Title Sheet
V101	Survey of Premises
CD101	Demolition & SESC Plan
C101	Site Plan
C102	Grading & Utility Plan
C401	Alley & Intersection Improvements
C501	Details & Notes
L101	Landscape & Lighting Plan
AP101	First Floor Plan
AP102	Second Floor Plan
AP 201	Building Elevations
AP 202	Building Elevations
AP 301	Building Sections



- ### GENERAL NOTES
- Site: Being known as Tax Lot 10, Tax Block 1106 and Tax Lot 3, Block 1206 as shown on sheet number 16 of the current official Tax Map of the City of Ocean City commonly known as 1124-62 and 1200 West Avenue, Ocean City, NJ 08226.
  - Plan Reference: Existing conditions shown hereon per plan sheets prepared by The Hyland Group entitled "Survey of Premises" bearing drawing numbers V101 dated March 17, 2025.
  - Owner/Applicant:  
Shoemaker Lumber Co., Inc.  
1200 West Avenue,  
Ocean City, NJ 08226
  - Existing Site Conditions: Currently Lot 3, Block 1206 is developed with a 2 story retail building, "Shoemaker Lumber Company". Currently, Lot 10, Block 1106 is developed with (3) storage buildings, loading dock and asphalt parking lot associated with Shoemaker Lumber Company.
  - Proposed Project: This application seeks to redevelop Lot 10, Block 1106 with a new 2 story retail sales building, asphalt parking lot and lumber storage racks. New building to include retail sales area, offices, showrooms, restrooms and warehouse. Additionally, this application seeks to demolish the existing improvements of Lot 3, Block 1206 and leave vacant for future development (under separate application).
  - The project site is located in the Drive-In Business (DB) zone. Properties to the northeast and southwest are located in the Drive-In Business (DB) zone, properties to the northwest and southeast (across West Avenue) are located in the Central Business zone.
  - Areas:  
Existing Tax Lot 3 = 10,000 sf (0.23 ac)  
Existing Tax Lot 10 = 31,000 sf (0.71 ac)  
Total Project Site = 41,000 sf (0.94 ac)
  - Environmental: No wetlands exist on the subject site and the proposed project does not require a N.J.D.E.P. CAFRA Permit.
  - Flood Zone: The subject property is located in Flood Zone AE (EI, 9 NAVD 1988 Datum) per FEMA FIRM with an effective date of October 5, 2017, map number 34009C0089F.
  - Soils: The subject property is located in an area mapped as being Urban land-Psammments (USPSBR) (Wet substratum complex, 0 to 2 percent slopes, rarely flooded & Sulfidic substratum complex, 0 to 2 percent slopes, rarely flooded) per the USDA Web soil survey.
  - Utilities: It is anticipated that the project will be provided sewer, water, gas, electric, telephone and cable services by the existing utilities within West Avenue, Public Alley
  - Street Parking: The project will result in the loss of one street parking space on West Avenue.
  - Requested Submission Waivers:  
13.1. Boring Logs 25-1500.8.2.o  
13.2. USGS Map 25-1500.8.2.q  
13.3. Trash Enclosure Separation 25-1700.31.5  
13.4. Direction of Surface Flow 25-1500.8.2.1.3  
13.5. Off-Site Drainage Plan 25-1500.8.2.M  
13.6. (3) Street Trees (12" Street) 25-1700.38.12.a, In Lieu of contribution to the Shade Tree Fund to be provided according to 25-1700.38.20
  - Additional Variances Requested:  
14.1. Trash Enclosure Size 25-300.15.h.5  
14.2. Fence Height 25-1700.14.1  
14.3. Alley Access Required 25-204.19.6

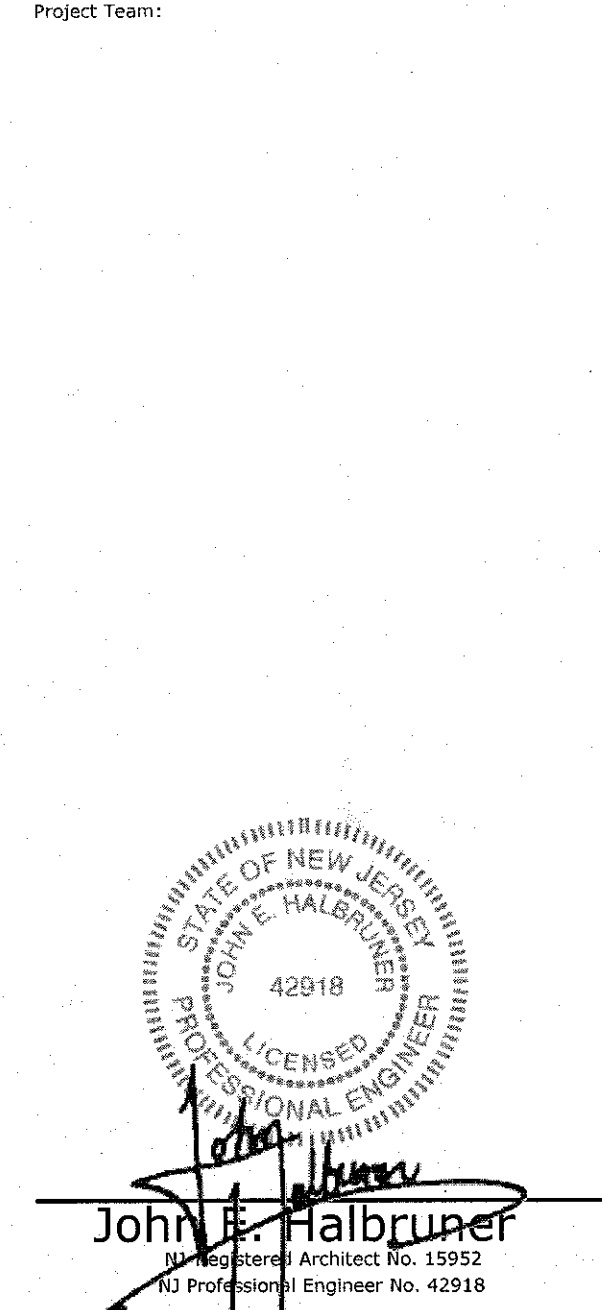


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Project Team:



## Shoemaker Lumber New Retail Sales Building

Location:  
1124-62 & 1200 West Avenue  
Block 1106 Lot 10 &  
Block 1206, Lot 3  
City of Ocean City  
Cape May County  
New Jersey

Client:

## Shoemaker Lumber

No.	Description	Date
1.	Progress Issuance	06.04.22
2.	Initial Issuance	08.12.22
3.	Updated Sign Schedule, Added Plan Sheet C401, Revised Schedules	11.28.22
4.	Revise Sign Schedule, Waiver Note	03.17.23
5.	General Note #2, Revising Zoning Chart per Building Redesign	04.04.25
6.	West Avenue Sign Area	06.02.25

Drawn By: JWF  
Checked By: JEH  
Project No. 31747.04C

## Preliminary & Final Major Site Plan

Title Sheet  
G001  
Sheet 1 of 1





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Project Team:

I declare that, to the best of my professional knowledge and belief, this map or plan is the result of a field survey made on the date shown, by me or under my direct supervision, in accordance with the rules and regulations promulgated by the "State Board of Professional Engineers and Land Surveyors". This property is subject to documents of record, Underground improvements, easements, rights, restrictions, right of ways, exceptions or covenants not visible or unknown to the surveyor are not shown. The illustration of any mapped or regulated environmental constraints that may be within the jurisdictional limits of federal, state and/or local regulatory agencies affecting the subject property are not included as part of contract with the client unless specifically shown.

*Thomas A. Prendergast*  
Thomas A. Prendergast  
NJ Professional Land Surveyor No. 37604

Project:

Location:

1124-62 & 1200 West Avenue  
Block 1106, Lot 10 &  
Block 1206, Lot 3  
City of Ocean City  
Cape May County  
New Jersey

Certify To:

Shoemaker Lumber

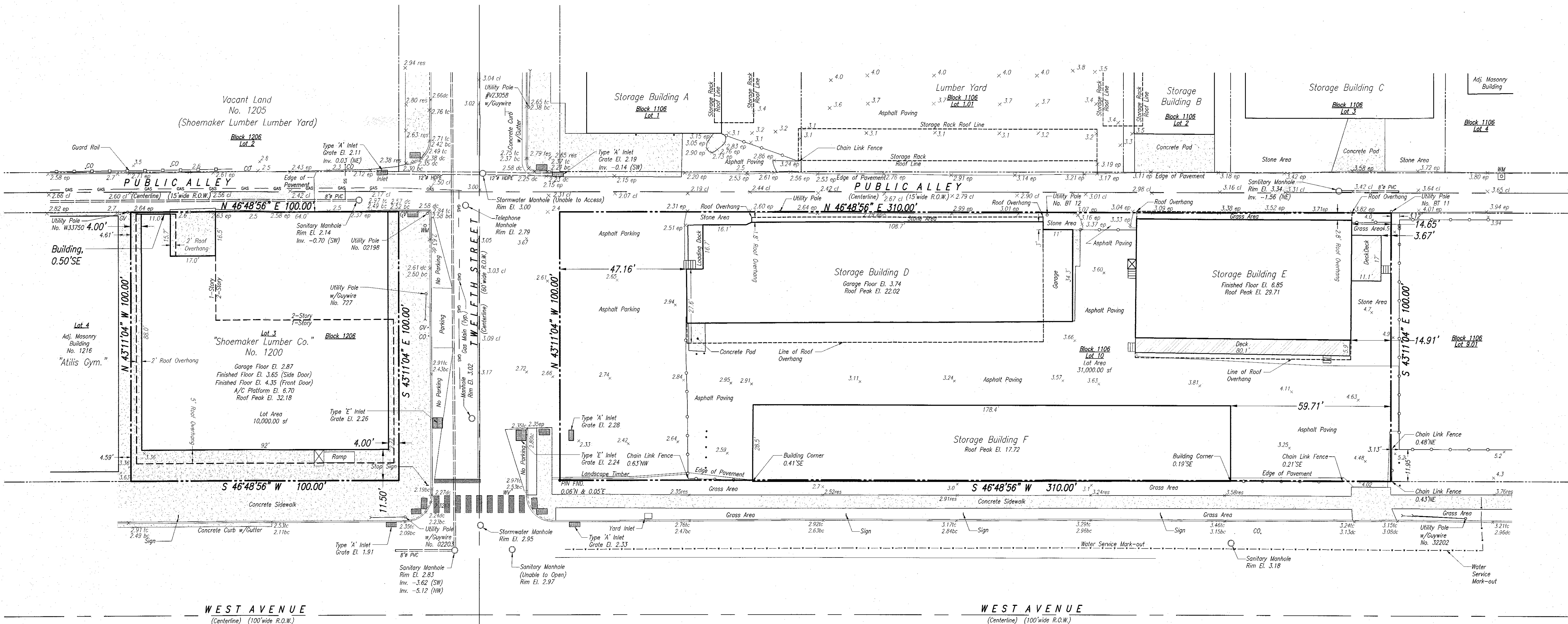
No.	Description	Date
1.	Initial Issuance	03.17.25

Drawn By: BSP  
Checked By: TAP  
Project No. 31747.04C

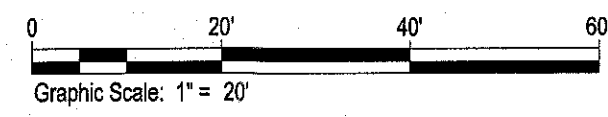
Survey of Premises

V101

Sheet 01 of 01

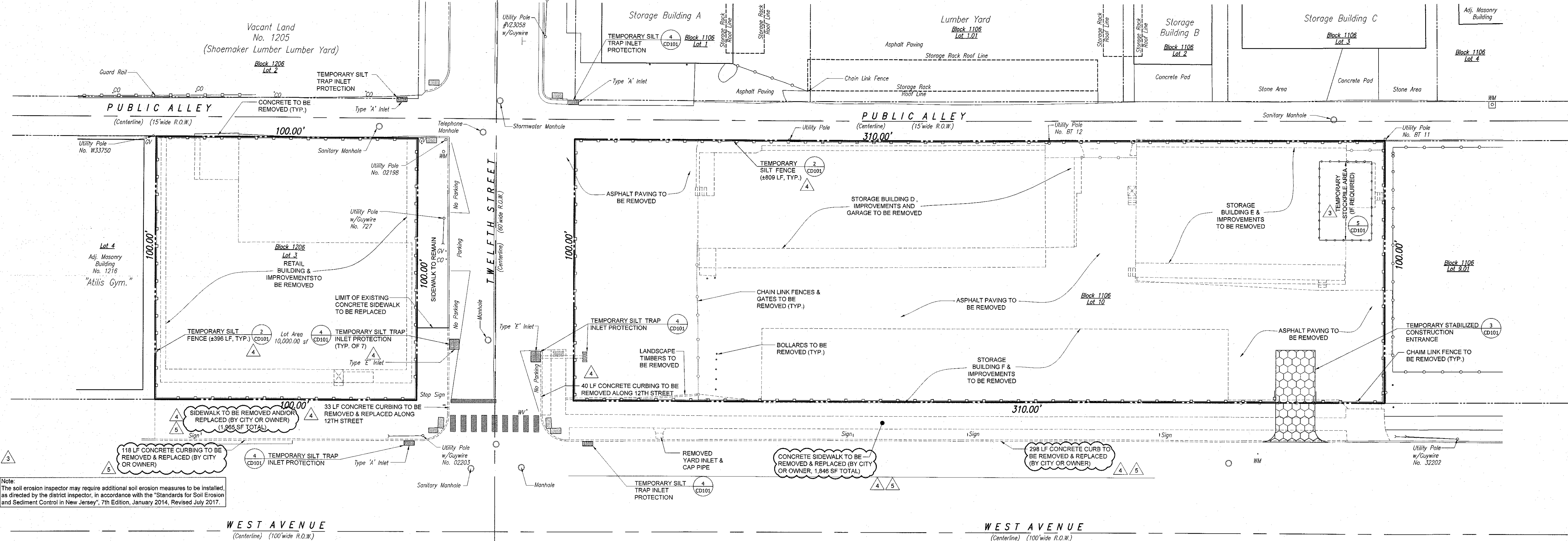


1 Survey of Premises  
Scale: 1"=20'





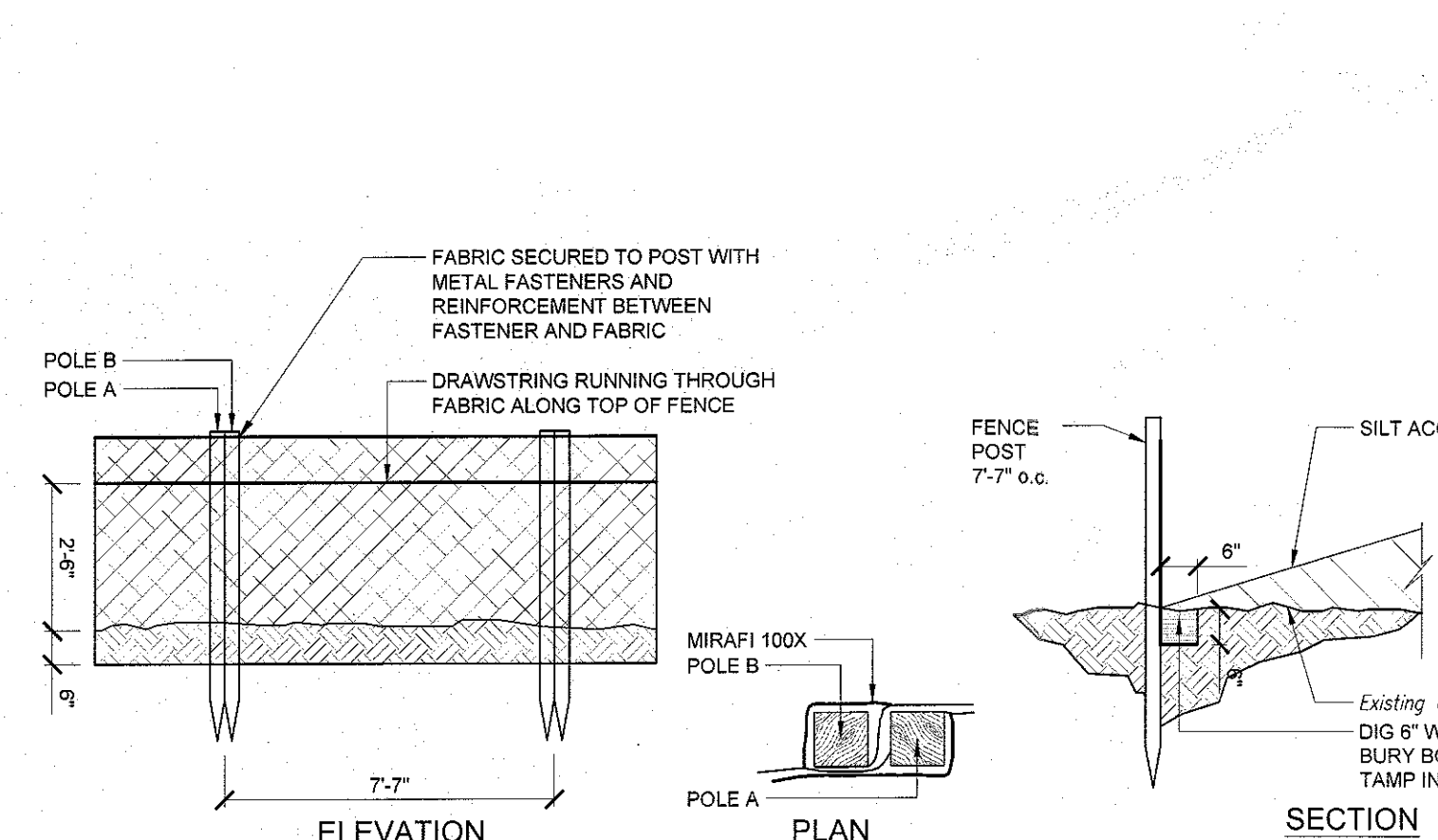
No.	Description	Date
1.	Progress Issuance	08.04.22
2.	Initial Issuance	08.12.22
3.	Notes Revised & Construction Schedule, Stockpile Area/Detail Added	06.07.23
4.	Curbs & Sidewalk Changes, Silt Fence & Inlet Protection Tabulations	04.04.25
5.	Responsibility Notes Added for Curbs & Sidewalk within West Avenue	06.02.25



**1 Demolition & SESC Plan**



NOTE: Any removal, replacement or other associated improvements completed within the West Avenue right-of-way is the responsibility of the City or Owner.

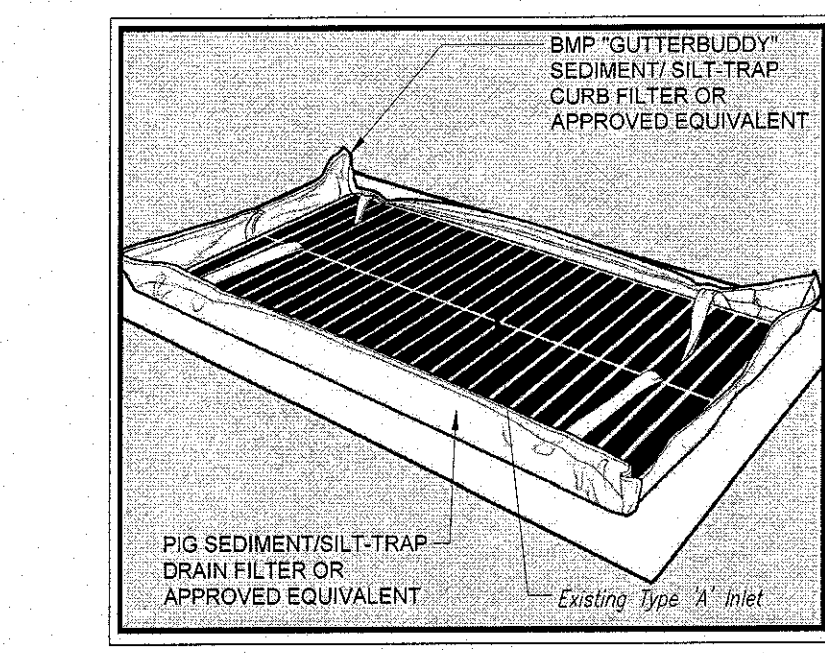


**2 Silt Fence Elevation/Plan Detail**

Scale: 1/2" = 1'-0"

**3 Stabilized Construction Entrance Detail**

Scale: 1/2" = 1'-0"



**4 Type 'A' Inlet Silt Trap Detail**

Scale: N.T.S.



**5 Soil Stockpile Area Detail**

Scale: 3/8" = 1'-0"

**SOIL EROSION & SEDIMENT CONTROL NOTES**

- Owner/Applicant: Shoemaker Lumber Co., Inc. 1200 West Avenue Ocean City, NJ 08226
- The proposed project involves the demolition of existing buildings located on Tax Lots 3 and 10, addition of paved parking, and construction of a new retail building.
- The project's lot area is 41,000 s.f. (0.94 acre).
- Subject property is located in "Coastal" Flood Zone AE (el. 9) per FEMA FIRM No. 34008C0089F with an effective date of October 5, 2017.
- Soils: Subject property is located in an area mapped as being Urban Land-Plantations (USPSBR) per the Natural Resources Conservation Service Web Soil Survey.
- On-Site Area of Disturbance Includes:
  - Building & Pavement: 28,296 s.f. (0.65 ac)
  - Landscape: 12,704 s.f. (0.29 ac)
  - Total Area of Disturbance: 41,000 s.f. (0.94 ac)
- No existing streams exist on-site.
- All work is to be done in accordance with the "State Standards for Soil Erosion and Sediment Control of New Jersey" (NJAC 2:90-1.1 ET SEQ.), as revised July 2017.
- All Soil Erosion and Sediment Control practices are to be installed prior to any major soil disturbance, or in their proper sequence, and maintained until permanent protection is established.
- Any changes to the Certified Soil Erosion and Sediment Control Plans will require the submission of revised Soil Erosion and Sediment Control Plans to the District for re-certification. The revised plans must meet all current State Soil Erosion and Sediment Control Standards.
- In that N.J.S.A. 4:24-32 et. Seq. requires that no Certificates of Occupancy be issued before the provisions of the Certified Plan for Erosion Control have been complied with for permanent measures.
- Any disturbed areas that will be left exposed more than thirty (30) days, and not subject to construction traffic, will immediately receive a temporary seeding of 1 lb/1,000 s.f. of Annual Ryegrass. If the season prevents the establishment of temporary cover, the disturbed areas will be mulched with straw, or equivalent material, at a rate of 2 to 2 1/2 tons per acre, according to State Standard for Stabilization with Mulch Only (Section 5 of State Standards).
- Immediately following initial disturbance or rough grading, all critical areas subject to erosion (i.e. steep slopes and roadway embankments) will receive temporary seeding in combination with straw mulch or a suitable equivalent, at a rate of 1 1/2 to 2 tons per acre, according to State Standards.
- The Standard for Stabilized Construction Access requires the installation of a pad of clean crushed stone at points where traffic will be accessing the construction site.
- All soil washed, dropped, spilled, or tracked outside the limit of disturbance or onto public right-of-ways will be removed immediately.
- Permanent vegetation is to be seeded or sodded on all exposed areas within ten (10) days after final grading.
- At the time that site preparation for permanent vegetative stabilization is going to be accomplished, any soil that will not provide a suitable environment to support adequate vegetative ground cover shall be removed or treated in such a way that it will permanently adjust the soil conditions and render it suitable for vegetative ground cover. If the removal or treatment of the soil will not provide suitable conditions, non-vegetative means of permanent ground stabilization will have to be employed.
- In accordance with the Standard for Management of High Acid Producing Soils, any soil having a pH of 4 or less containing iron sulfides shall be covered with a minimum of twelve (12) inches of soil having a pH of 5 or more prior to seedbed preparation. Areas where trees or shrubs are to be planted shall be covered with a minimum of twenty-four (24) inches of soil having a pH of 5 or more. Unfiltered dewatering is not permitted. Necessary precautions must be taken during all dewatering operations to minimize sediment transfer. Any dewatering methods used must be in accordance with the Standard for Dewatering.
- Should the control of dust at the site be necessary, the site will be sprinkled until the surface is wet, temporary vegetative cover shall be established or mulch shall be applied as required by the Standard for Dust Control (Section 16 of State Standards).
- Stockpile and staging locations established in the field shall be placed within the limit of disturbance according to the certified plan. Staging and stockpiles not located within the limit of disturbance will require certification of a revised Soil Erosion and Sediment Control Plan. Certification of a new Soil Erosion and Sediment Control Plan may be required for these activities if an area greater than 5,000 square feet is disturbed.
- All soil stockpiles are to be temporarily stabilized in accordance with Soil Erosion and Sediment Control note #12.
- The property owner shall be responsible for any erosion or sedimentation that may occur below stormwater outfalls or offsite as a result of construction of the project.
- Non-structural soil stabilization will be established during growing season shall be as follows:
  - 24.1. Placement of topsoil shall be in compliance with Section 8 of the Standards for Soil Erosion and Sediment Control of New Jersey and the following:
    - 24.1.1. A uniform application to a depth of 6" is required for soils with a pH greater than 4.0. Soils with a pH of 4.0 or less or containing iron sulfides shall be covered with a minimum of 12 inches of topsoil having a pH range of 5.0 or more.
    - 24.1.2. Topsoil shall be friable, loamy, free of debris, weeds and stone and contain no toxic substances harmful to plant growth. Topsoil hauled in from off site should have a minimum organic matter content of 2.75%. Organic matter may be raised by additives.
    - 24.1.3. Subsoil should be tested for lime requirement and lime, if needed, should be applied to bring soil pH to 6.5 and incorporated into soil as nearly as practical to a depth of 4".
    - 24.1.4. Topsoil should be handled only when dry enough to work without damaging soil structure. Immediately prior to topsoil distribution, the surface of subsoil should be scarified 6"-12" to provide a good bond with topsoil.
  - 24.2. Fertilizer and lime mixed into topsoil at a rate of 11 lbs. 10-20-10 (or equal) per 1,000 s.f. with 50% water insoluble nitrogen and 90 lbs. pulverized dolomitic lime per 1,000 s.f.
  - 24.3. Planters, landseeded buffer and shrub areas to be planted with trees, shrubs and ground cover to be provided with 2" thick layer of wood chip mulch.
  - 24.4. Lawn areas to be seeded with:
    - 4.0 lbs./1,000 s.f. Strong Creeping Red Fescue
    - 1.0 lbs./1,000 s.f. Kentucky Bluegrass (blend)
    - 1.0 lbs./1,000 s.f. Perennial Ryegrass
    - 6.0 lbs./1,000 s.f. Total

- Waterway & Basin side slopes to be seeded with:
  - 3.0 lbs./1,000 s.f. Strong Creeping Red Fescue
  - 1.0 lbs./1,000 s.f. Kentucky Bluegrass
  - 0.5 lbs./1,000 s.f. Perennial Ryegrass
  - 4.5 lbs./1,000 s.f. Total
- 24.5. Lawn areas as an option may be covered with sod placed parallel with contours and snug/even joints. Roll or tamp following placement and immediately water sod.
25. Maintenance shall include proper watering, fertilization, cultivation and replacement as required. Responsibility of owner.
26. Lawn area vegetative cover shall be established between 2/1 and 4/30 and between 8/15 and 10/30.
27. All non-structural soil stabilization measures will be established during growing season.
28. Mulching is required on all seeding and mulching and shall be provided in accordance with Section 4.4 of Standards for Soil Erosion and Sediment Control of New Jersey and shall include the following:
  - 28.1. Seeded areas shall be mulched with un-rotted salt hay or small grain straw (70-90 lbs./1,000 s.f.)
  - 28.2. Mulch shall be completed immediately after placement to minimize loss by wind or water.
  - 28.3. Anchoring shall be completed immediately after placement to minimize loss by wind or water.
  - 28.4. A liquid mulch-binder, Peg & Twine, Mulch Netting or a Crimper shall be used to anchor the salt hay or hay.
29. All other areas of mulching shall include shredded hardwood mulch generally applied at a minimum depth of 2". Mulch anchoring will be accomplished as stated above.
30. Measures of dust control and wind erosion shall comply with the Standards for Soil Erosion and Sediment Control in New Jersey as revised July 2017 and shall include the following:
  - 30.1. Mulches: See notes above.
  - 30.2. Vegetative Cover: See notes above.
  - 30.3. Stone: Crushed stone or coarse gravel.
  - 30.4. Calcium Chloride: Loose, dry granules or flakes.
  - 30.5. Barriers: Solid board, snow or burlap fences, bales of hay.
  - 30.6. Sprinkling: Unit surface is wet.
  - 30.7. Tillage: Uses as a temporary emergency measure.
  - 30.8. Spray-On Adhesives:
    - 30.8.1. Anionic Asphalt Emulsion 7:1 water dilution, coarse spray, apply 1,200 gal./acre
    - 30.8.2. Latic Emulsion 12.5:1 water dilution, fine spray, apply 235 gal./acre
    - 30.8.3. Resin in Water 4:1 water dilution, fine spray, apply 300 gal./acre

**PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION**

1. Site Preparation for Permanent Vegetative Cover for Soil Stabilization:
  - 1A. Grade as needed and feasible to permit the use of conventional equipment for seedbed preparation, seeding, mulch application and mulch anchoring. All grading should be done in accordance with Standard for Land Grading.
  - 1B. Immediately prior to seeding and topsoil application, the subsoil shall be evaluated for compaction in accordance with the Standard for Land Grading.
  - 1C. Topsoil should be handled only when it is dry enough to work without damaging the soil structure. A uniform application to a depth of 5 inches (untested) is required on all sites. Topsoil shall be amended with organic matter, as needed, in accordance with the Standard for Topsoiling.
  - 1D. Install needed erosion control practices or facilities such as diversions, grade-stabilization structures, channel stabilization measures, sediment basins, and waterways.
2. Seeded Preparation
  - 2A. Uniformly apply ground limestone and fertilizer to topsoil which has been spread, firm, according to soil test recommendations such as offered by Rutgers Cooperative Extension. Soil sample materials are available from the local Rutgers Cooperative Extension offices. Fertilizer shall be applied at the rate of 500 pounds per acre or 11 pounds per 1,000 square feet of 10-10-10 or equivalent with 50% water insoluble nitrogen and a soil test indicates otherwise and incorporated into the surface 4 inches. If fertilizer is not incorporated, apply one-half the rate described above during seedbed preparation and repeat another one-half rate application of the same fertilizer within 3 to 5 weeks after seeding.
  - 2B. Work line and fertilizer into the topsoil as nearly as practical to a depth of 4 inches with a disc, spring-tooth harrow, or other suitable equipment. The final harrowing or disking operation should be on the general contour. Continue tillage until a reasonable uniform seedbed is prepared.
  - 2C. High acid producing soil. Soils having a pH of 4 or less or containing iron sulfide shall be covered with a minimum of 12 inches of soil having a pH of 5 or more before initiating seedbed preparation. See Standard for Management of High Acid-Producing Soils for specific requirements.
3. Seeding
  - 3A. 6.0 lbs./1,000 s.f. Tall Fescue
  - 0.5 lbs./1,000 s.f. Kentucky Bluegrass (blend)
  - 0.5 lbs./1,000 s.f. Perennial Ryegrass
  - 7.0 lbs./1,000 s.f. Total
- 3B. Conventional seeding is to be performed by applying seed uniformly by hand, cyclone (centrifugal) seeder, drop seeder, or cutspreader seeder. Except for drilled, hydroseeded or cutspreader seedings, seed shall be incorporated into the soil within 24 hours of seedbed preparation to a depth of 1/4 to 1/2 inch, by raking or dragging. Depth of seed placement may be 1/4 inch deeper or coarser-textured soil.
- 3C. After seeding, firming the soil with a corrugated roller will assure good seed-to-soil contact, restore capillarity, and improve seedling emergence. This is the preferred method. When performed on the contour, sheet erosion will be minimized and water conservation on site will be maximized.
- 3D. Hydroseeding is a broadcast seeding method usually involving a truck, or trailer-mounted tank, with an agitation system and hydraulic pump for mixing seed, water and fertilizer and spraying the mix onto the prepared seedbed. Mulch shall not be included in the tank with seed. Short-fibered mulch may be applied with a hydroseeder following seeding. Hydroseeding is not a preferred seeding method because seed and fertilizer are applied to the surface and not incorporated into the soil. When poor seed to soil contact occurs, there is a reduced seed germination and growth.

- 4.1. Seeded areas shall be mulched with un-rotted salt hay or small grain straw (70-90 lbs./1,000 s.f.)
- 4.2. Mulch shall be completed immediately after placement to minimize loss by wind or water.
- 4.3. Anchoring shall be completed immediately after placement to minimize loss by wind or water.
- 4.4. A liquid mulch-binder, Peg & Twine, Mulch Netting or a Crimper shall be used to anchor the salt hay or hay.
- 4.5. Pelletized mulch - compressed and extruded paper and/or wood fiber product, which may contain co-polymers, tackifiers, fertilizers, and coloring agents. The dry pellets, when applied to a seeded area and watered, form a mulch mat. Pelletized mulch shall be applied in accordance with the manufacturer's recommendation. Mulch may be applied by hand or mechanical spreader at a rate of 60-75 lbs./1,000 SF and activated with 0.2 to 0.4 inches of water. This material has been found to be beneficial for use on small lawn or renovation areas, seeded areas where weed-seed free mulch is desired, or on sites where straw mulch and tackifier agent are not practical or desirable. Applying the full 0.2 to 0.4 inches of water after spreading pelletized mulch on the seed bed is extremely important for sufficient activation and expansion of the mulch to provide soil coverage.
- 4.6. All other areas of mulching shall include shredded hardwood mulch generally applied at a minimum depth of 2". Mulch anchoring will be accomplished as stated above.
- 4.7. Irrigation
  - 4.7A. If soil moisture is deficient supply new seeding with adequate water (a minimum of 1/2 inch applied up to twice a day until vegetation is well established). This is especially true when seedlings are made in abnormally dry or hot weather or on droughty sites.
- 4.8. Topdressing
  - 4.8A. Since soil organic matter content and slow release nitrogen fertilizer (water insoluble) are prescribed in Section 2A - Seedbed Preparation in this Standard, no follow-up of topdressing is mandatory. An exception may be made where gross nitrogen deficiency exists in the soil to the extent that turf failure may develop. In that instance, topdress with 10-10-10 or equivalent at 200 pounds per acre or 7 pounds per 1,000 SF every 3 to 5 weeks until the gross nitrogen deficiency in the turf is ameliorated.
- 4.9. Establishing Permanent Vegetative Stabilization
  - 4.9A. The quality of permanent vegetation rests with the contractor. The timing of seeding, preparing the seedbed, applying nutrients, mulch and other management are essential. The seed application rates are required when a Report of Compliance is requested prior to actual establishment of permanent vegetation. Up to 50% reduction in application rates may be used when permanent vegetation is established prior to requesting a Report of Compliance from the District. These rates apply to all methods of seeding. Establishing permanent vegetation means 80% vegetative cover (of the seeded species) and mowed once. Note this designation of mowed once does not guarantee the permanency of the turf should other maintenance factors be neglected or otherwise mismanaged.

**CONSTRUCTION NOTES**

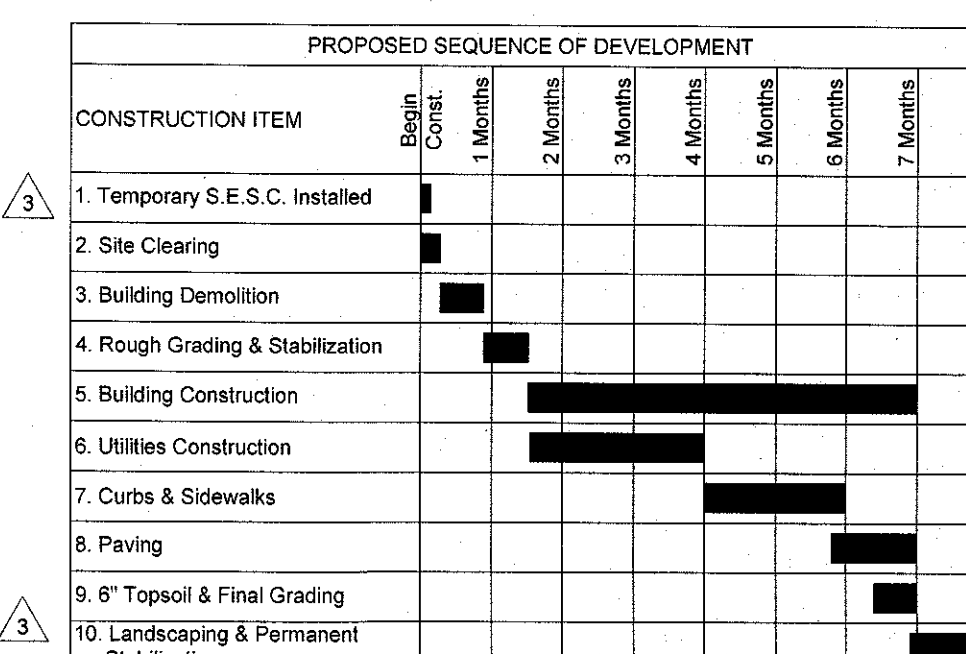
1. Hay bales and sediment barrier stone at existing stormwater outlets to be installed prior to site disturbance.
2. Silt fence is to be installed along the site perimeter and along all limits of clearing prior to site disturbance.
3. Barricades shall be installed at proposed site entrances where stabilized construction entrances have not been installed.
4. The contractor is to minimize the use of heavy construction equipment to the proposed building and pavement areas.

**STORMWATER SYSTEM MAINTENANCE SCHEDULE**

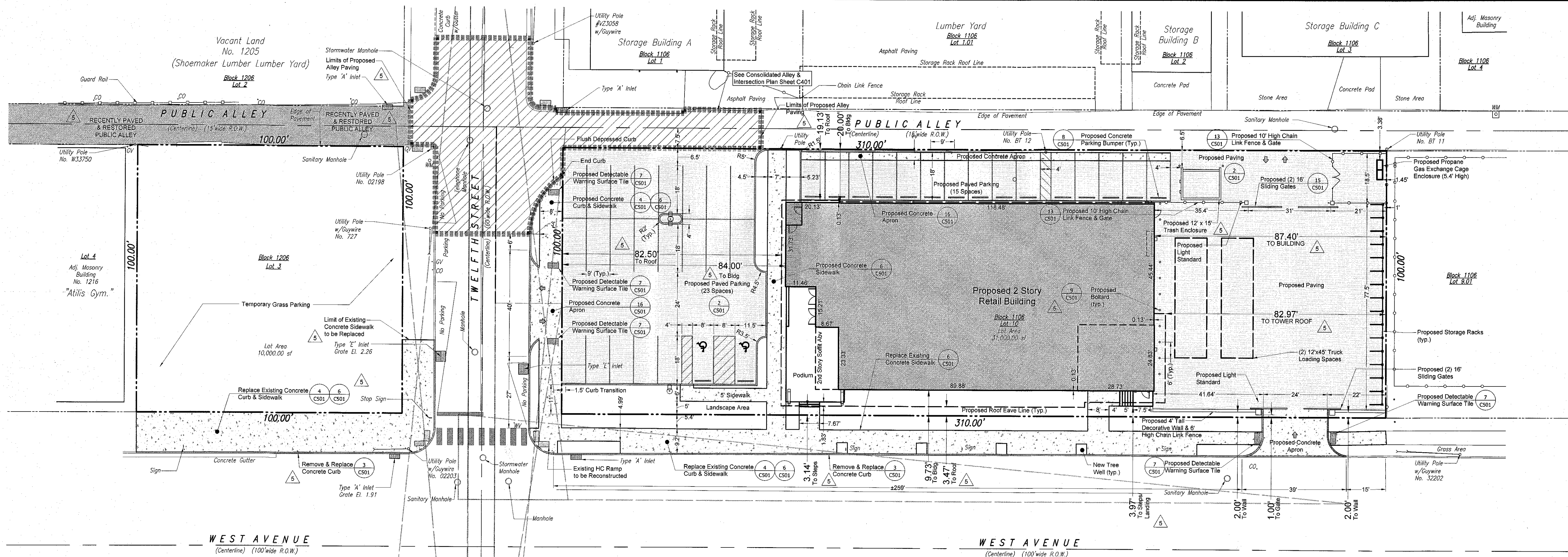
1. Inspection of all inlet and outlet structures for obstructions and sediment accumulation shall be conducted monthly and after storm events generating 1 inch or greater rainfall.
2. In the event of standing water greater than 3 days (27 hours) because of siltation, the system must be thoroughly cleaned.
3. If the system remains inoperable after thorough cleaning, the system must be removed and replaced so that the system will function as designed.
4. Mowing the grasses (fescue family) within basin is required at a minimum of twice a year (June & September). Additional mowing is recommended to insure aesthetic quality of site.

**PROJECT CONFORMANCE NOTE**

A report of compliance must be obtained from the district prior to receiving a certificate of occupancy from the municipality. A request for a district inspection for the release of a report of compliance must be made 5 working days in advance. This applies both to complete (final) and conditional (temporary) certificates.





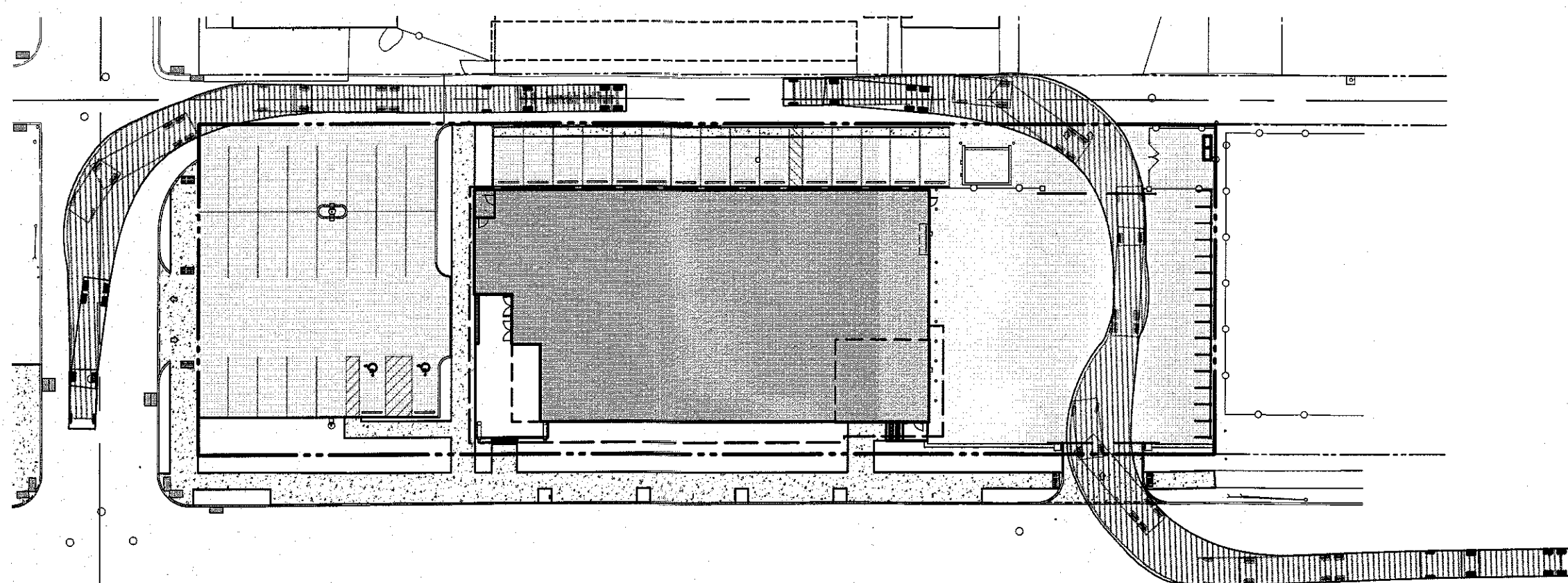


**1 Site Plan**

**GENERAL NOTE**

- Proposed improvements within West Avenue right-of-way coordinated with plans prepared by Arthur J. Chew Consulting LLC entitled "2023 NJDOT WEST AVE 10TH-18TH STREETS & 2024 NJDOT WEST AVE 9TH-11TH STREET VARIOUS ROAD IMPROVEMENTS CITY CONTRACT 24-29" bearing drawing numbers 10 & 11 (sheets 10-11 of 35) dated June 27, 2024 and last revised October 9, 2024.
- Any removal, replacement or other associated improvements completed within the West Avenue right-of-way is the responsibility of the City or Owner.

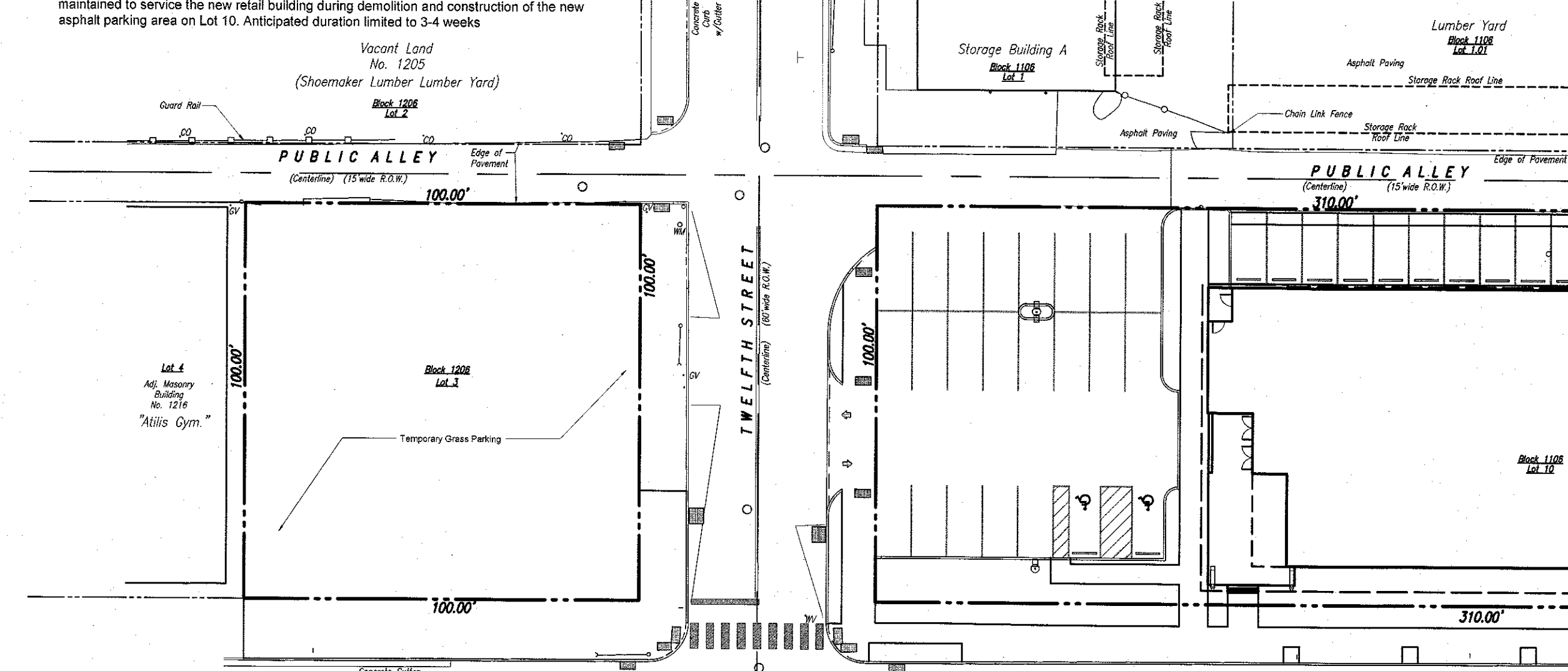
2. Any removal, replacement or other associated improvements completed within the West Avenue right-of-way is the responsibility of the City or Owner.



**2 Truck Turning Diagram**

**PARKING SEQUENCE**

- Site Construction:** The existing asphalt parking area on Lot 10 will be maintained to service the existing retail building on Lot 3 during construction of the new retail building, alley parking lot, storage yard, and improvements along West Avenue. Anticipated duration is 8 months.
- Demolition of Lot 3:** The existing asphalt parking area on Lot 10 will be maintained to service the new retail building during demolition of the existing improvements and installation of the temporary grass parking area on Lot 3. Anticipated duration limited to 2 weeks.
- Construction of Proposed Parking:** The temporary grass parking area on Lot 3 will be maintained to service the new retail building during demolition and construction of the new asphalt parking area on Lot 10. Anticipated duration limited to 3-4 weeks.



**3 Temporary Parking Plan**

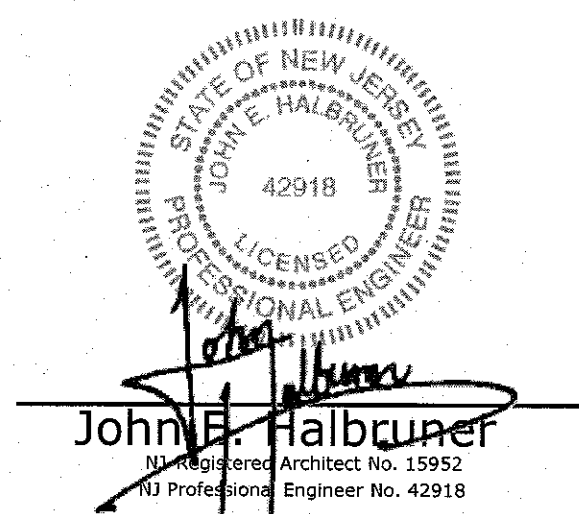


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Project Team:



**Shoemaker Lumber**  
New Retail Sales Building

Location:  
1124-62 & 1200 West Avenue  
Block 1106 Lot 10 &  
Block 1206, Lot 3  
City of Ocean City  
Cape May County  
New Jersey

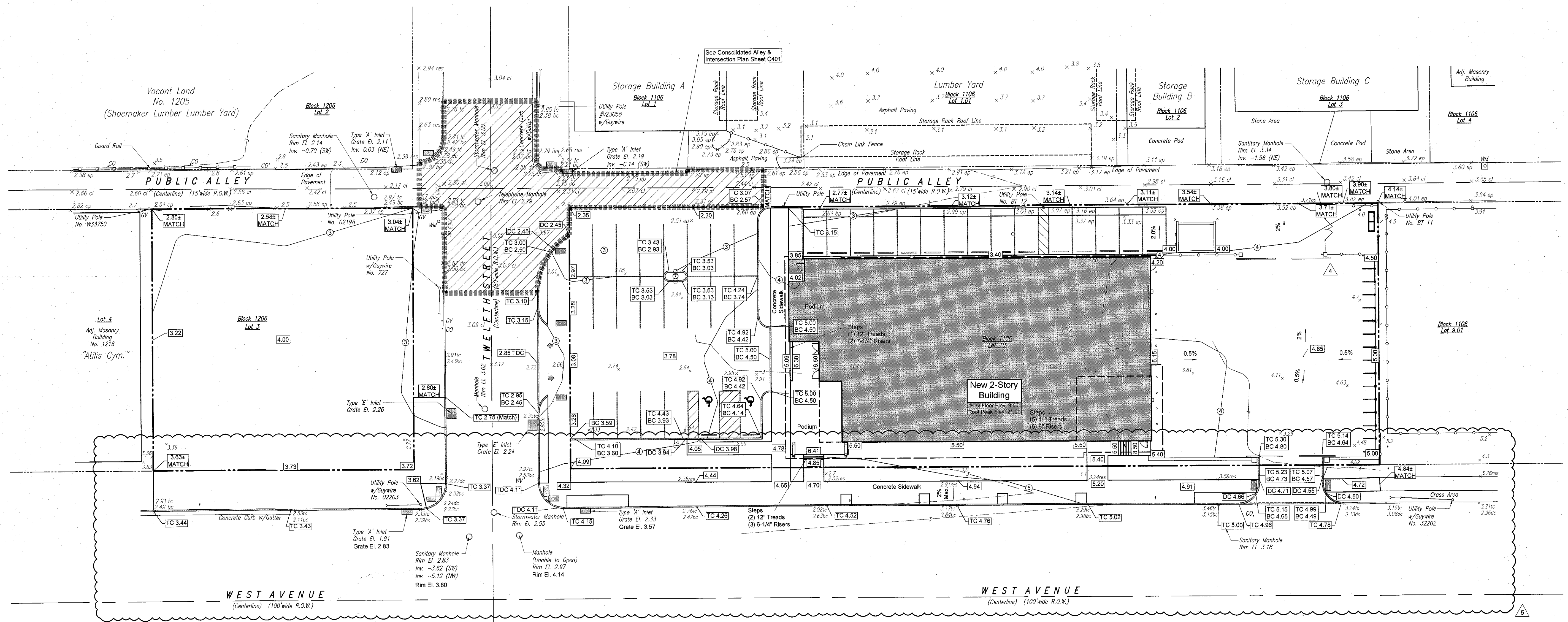
Client:  
**Shoemaker Lumber**

No.	Description	Date
1.	Progress Issuance	08.04.22
2.	Initial Issuance	08.12.22
3.	Concrete Apron, Revised Curb, Parking Notes & Plan	11.28.22
4.	Truck Turning, Propane Storage	03.17.23
5.	Changes per Building Redesign	04.04.25
6.	Responsibility Note added for Curb & Sidewalk within West Avenue	06.02.25

Drawn By: BSP  
Checked By: JEH  
Project No: 31747.04C

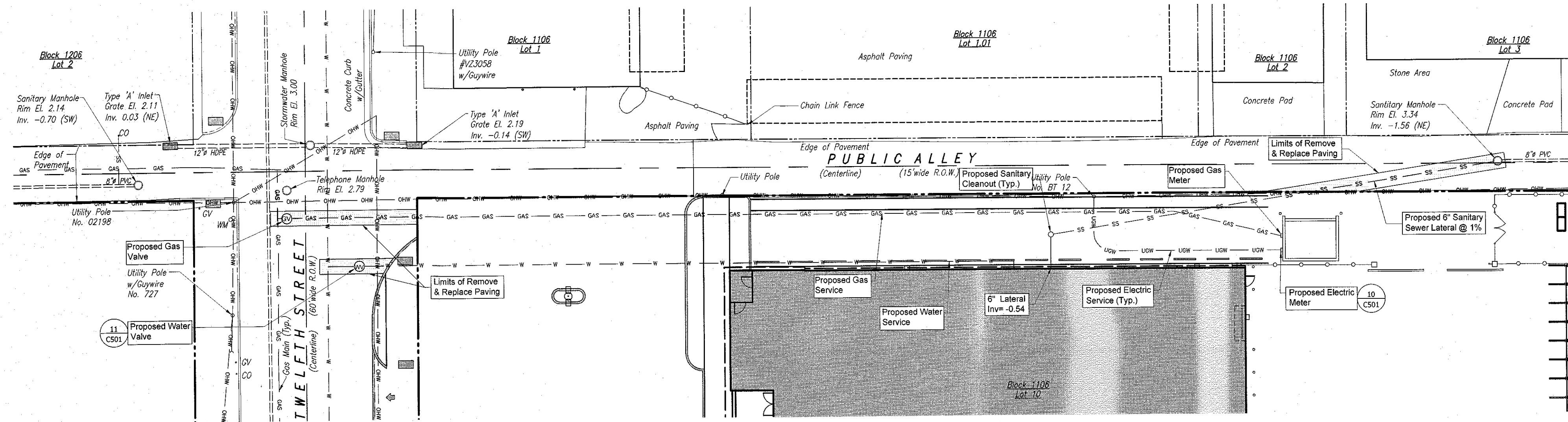
Site Plan  
**C101**  
Sheet 1 of 3





1 Grading Plan

**GENERAL NOTE**  
1. Proposed top of curb elevations and roadway elevations within West Avenue right-of-way coordinated with plans prepared by Arthur J. Chew Consulting LLC entitled "2023 NJDOT WEST AVE 15TH-18TH STREETS & 2024 NJDOT WEST AVE 9TH-11TH STREETS VARIOUS ROAD IMPROVEMENTS CITY CONTRACT 24-25" bearing drawing numbers 10 & 11 (sheets 10-11 of 35) dated June 27, 2024 and last revised October 9, 2024.

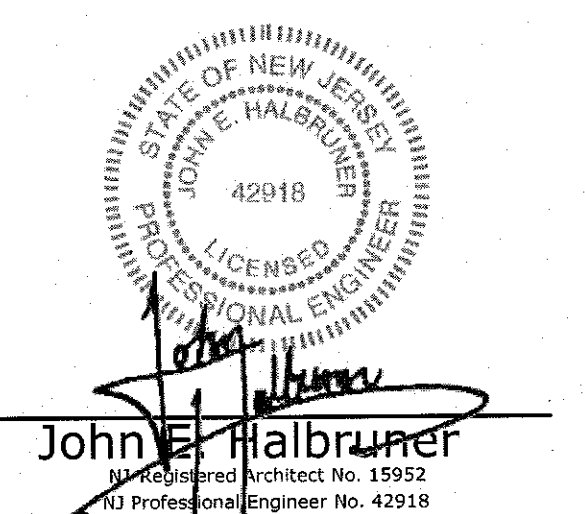


2 Utility Plan



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Project Team:



Shoemaker Lumber  
New Retail Sales Building

Location:  
1124-62 & 1200 West Avenue  
Block 1106 Lot 10 &  
Block 1206, Lot 3  
City of Ocean City  
Cape May County  
New Jersey

Client:  
Shoemaker Lumber

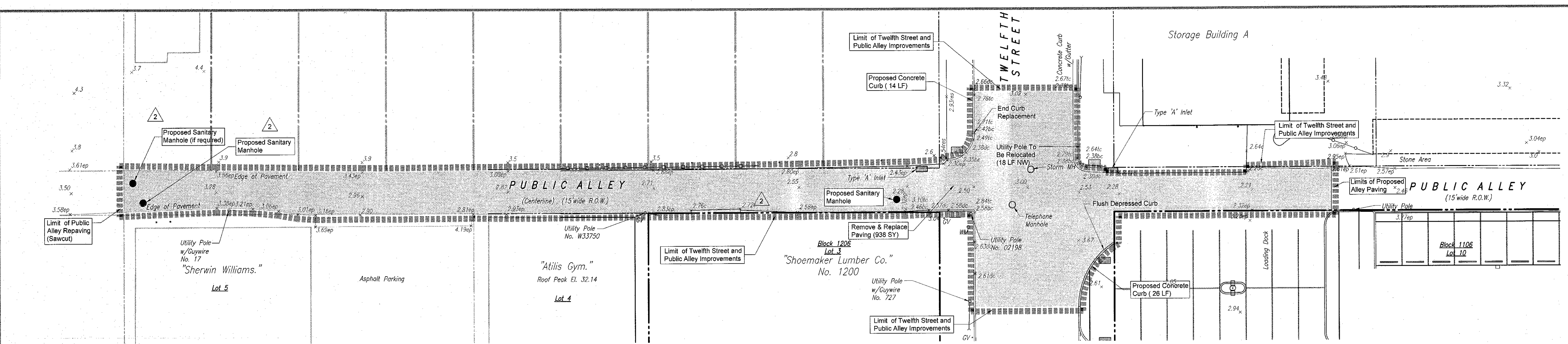
No.	Description	Date
1.	Progress Issuance	08.04.22
2.	Initial Issuance	08.12.22
3.	Limits of Paving Replacement, Spot Elevations	11.28.22
4.	Propane Storage	03.17.23
5.	Grading Changes per Building Redesign & Coordination with City West Ave Plans	04.04.25

Drawn By: JWF  
Checked By: JEH  
Project No. 31747.04C

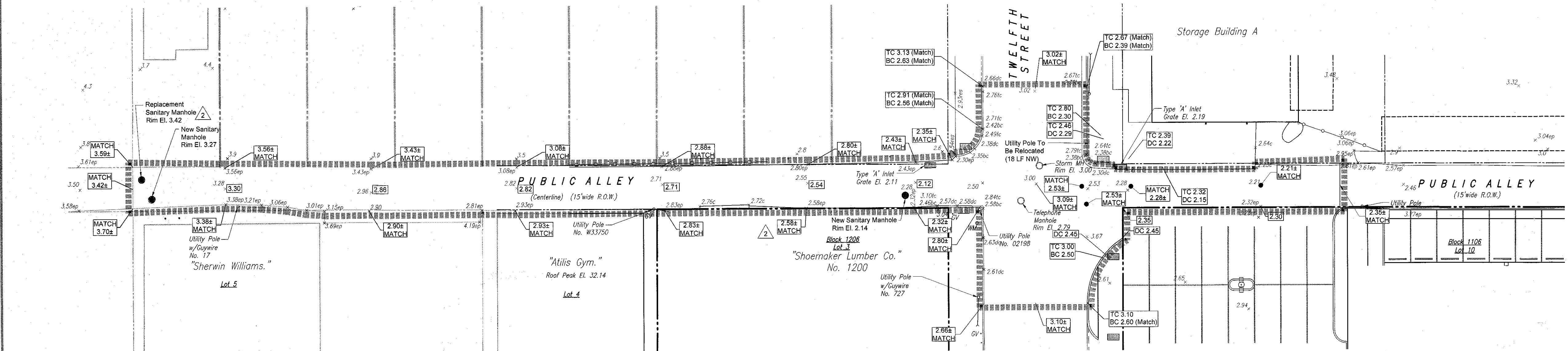
Preliminary & Final  
Major Site Plan

Grading & Utility Plan  
**C102**  
Sheet 2 of 3

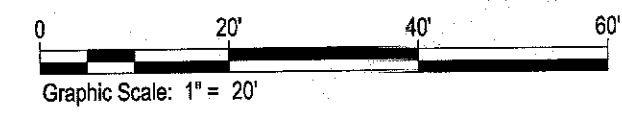




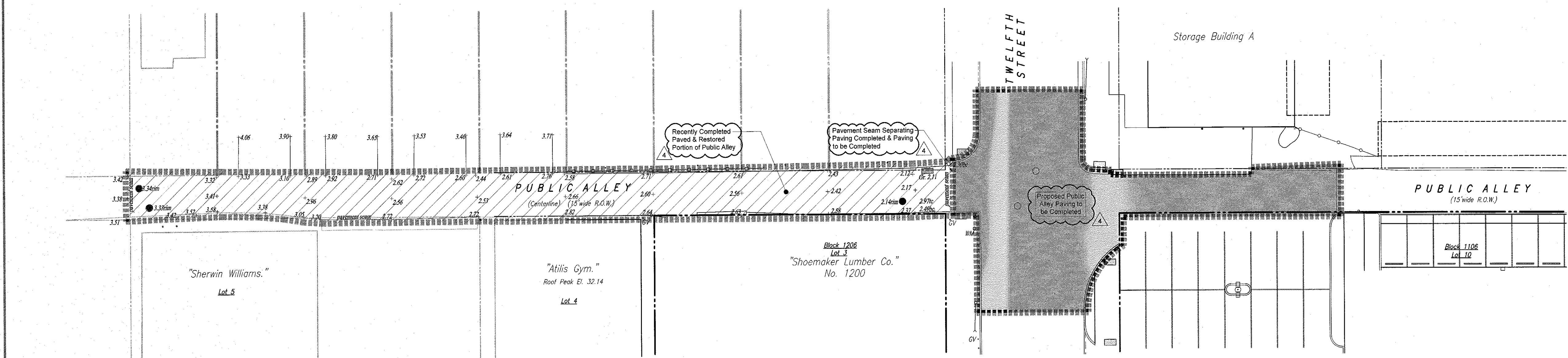
1 Alley Paving Plan



2 Alley Grading Plan



Benchmark: Sanitary Sewer Manhole in 12th Street Between Haven Avenue and Block 1206 Public Alley (Elev. 2.75)



3 Asbuilt Topographic Plan



NOTE: Elevations labelled as +2.4 are as-built elevations.

**The HYLAND GROUP**

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609.398.4477  
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Architectural Division Engineering Division

**ai<sup>5</sup> hdg**

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Project Team:

STATE OF NEW JERSEY  
JOHN E. HALBRUNER  
42918  
PROFESSIONAL ENGINEER

John E. Halbruner  
Professional Engineer No. 42918

Project:  
**Shoemaker Lumber**

Location:  
**Twelfth Street & Alley for Blocks 1106 & 1206**

City of Ocean City  
Cape May County  
New Jersey

Client:  
**Shoemaker Lumber**

No.	Description	Date
1.	Initial Issuance	11.28.22
2.	Revised Sanitary Sewer Manholes	06.16.23
3.	06.13.24 Asbuilt Topography Added	06.17.24
4.	03.25.25 Asbuilt Topography Added	04.04.25

Drawn By: JWF Checked By: JEH  
Project No. **31747.04**

Consolidated Alley & Intersection Improvement Plan

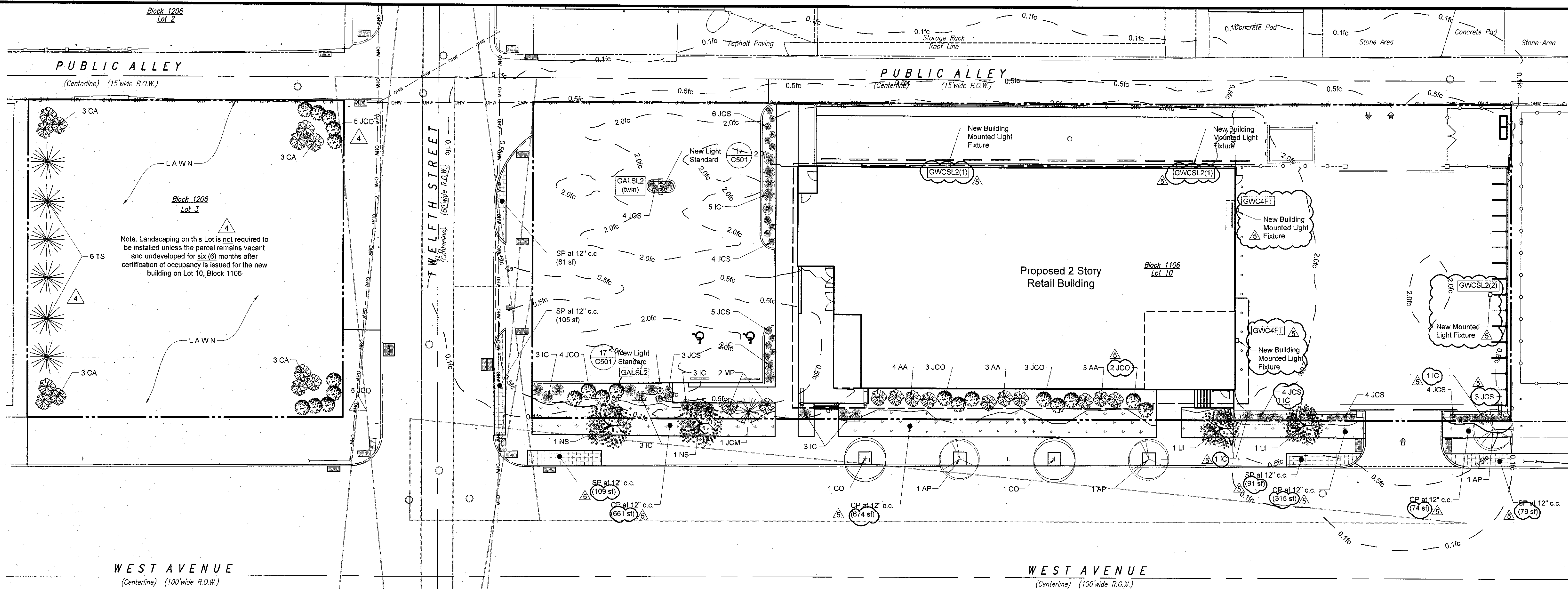
**C401**

Sheet 1 of 1







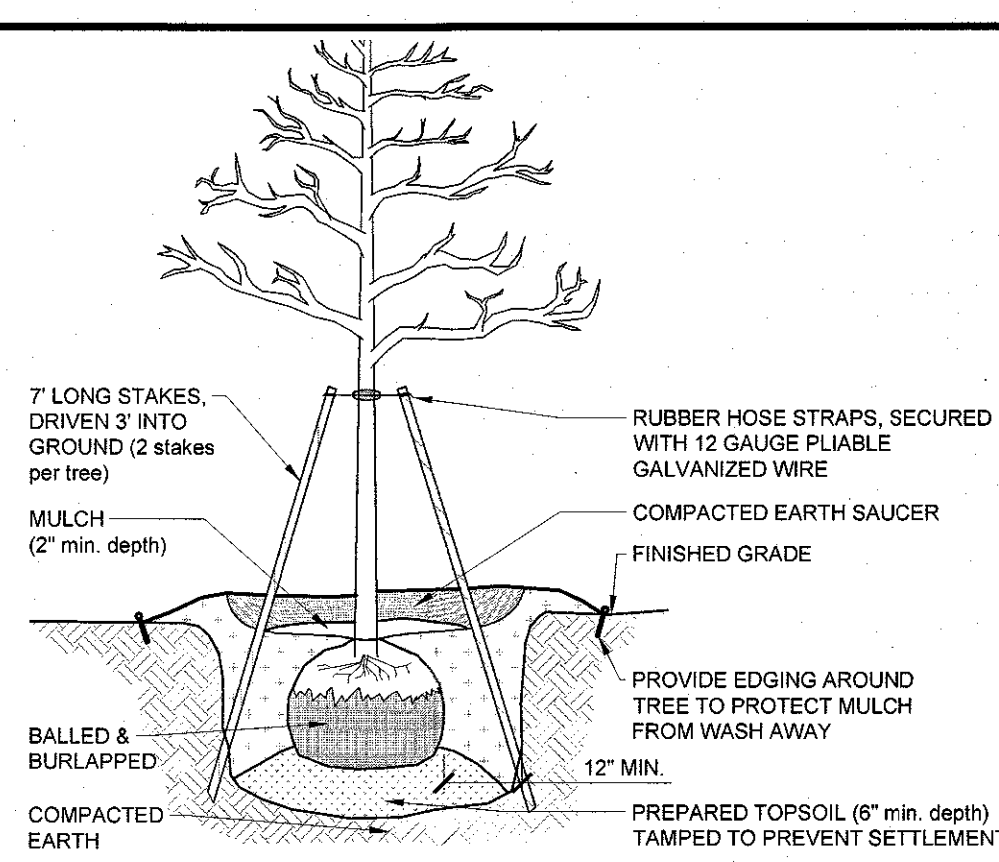


## 1 Landscape & Lighting Plan

Graphic Scale: 1" = 20'

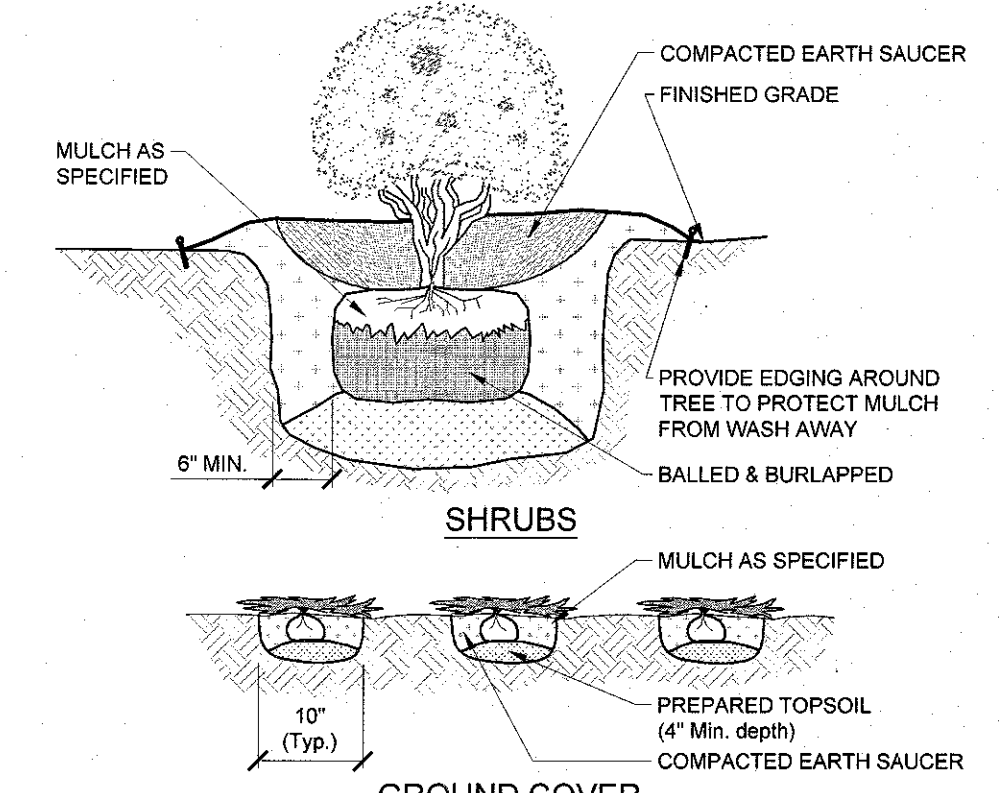
Qty.	Key	Botanical Name	Common Name	Size & Height	Remarks
10	JCO	Juniperus chinensis 'Old Gold'	Gold Juniper	18"-24"	3'-4' Mature Height, Bronze-Gold Color
12	CA	Clethra alnifolia	Hummingbird Summersweet	18"-24"	4'-5' Mature Height, Native, Salt Tolerant
6	TS	Thuja standishii x plicata	Green Giant	3'-5'	40'-60' Mature Height

Qty.	Key	Botanical Name	Common Name	Size & Height	Remarks
1	JCM	Juniperus chinensis 'Moutbatten'	Moutbatten Juniper	5'-6'	12'-14' Mature Height
3	AP	Acer pseudoplatanus	Sycamore Maple	12'-14' 2" Caliper	40'-50' Mature Height
2	CO	Celtis occidentalis	Hackberry	12'-14' 2" Caliper	30'-50' Mature Height, Native
2	NS	Nyssa sylvatica	Blackgum	8'-10' 2" Caliper	30'-50' Mature Height, Native
2	LI	Lagerstroemia indica	Crape Myrtle	6'-7'	Tree Form 20' Mature Height
21	IC	Ilex crenata 'Compacta'	Compact Japanese Holly	18"-24"	4'-5' Mature Height
12	JCO	Juniperus chinensis 'Old Gold'	Gold Juniper	18"-24"	3'-4' Mature Height, Bronze-Gold Color
10	AA	Aronia arbutifolia brilliantissima	Red Chokeberry	18"-24"	6'-8' Mature Height
33	JCS	Juniperus chinensis 'Sargentii'	Sargent Juniper	15'-18'	1.5'-2' Mature Height
2	MP	Myrica pensylvanica	Saltmarsh	2'-3'	6'-8' Mature Height, Native
445 sf	SP	Spartina patens	Saltmeadow Cordgrass	5 to 10 Stem Spots	1'-3' Groundcover Mature Height
1,724 sf	CP	Carex panicea	Sand Dune Sedge	Pots	1' Groundcover Mature Height



## 2 Tree Planting Detail

Scale: N.T.S.



## 3 Shrub/Ground Cover Planting Detail

Scale: N.T.S.

- LANDSCAPE GENERAL NOTES**
- All trees have been located with respect to proposed or existing utilities.
  - Verification of the total quantities as shown on the "Plant List" shall be the responsibility of the Landscape Contractor and the keyed plants shall govern.
  - All plant materials shall be specimen quality (American Association of Nurserymen Standard (A.A.N.)).
  - Proposed trees to not have branches lower than 7 feet to avoid conflicts with pedestrians.
  - Removed or damaged landscaping during construction shall be replaced.
  - All existing trees over 4" caliper in open areas shall be preserved.
  - The survival of all plant material shall be guaranteed for a period of two years or two growing seasons.
  - Vegetation removed beyond the proposed clearing limits shall be replaced in-kind to the limits shown hereon.
  - Automated drip irrigation shall be provided for all proposed plantings.
  - All trees, shrubbery, and plants which fail to survive for a period of twenty-four (24) months or are severely damaged within the 24-month period following certification shall be replaced with City-approved plantings by the builder at no cost to the City or the Shade Tree Committee.

- LANDSCAPE MAINTENANCE SCHEDULE**
- TREES**
- Spring Fertilizing: Each plant shall receive an application of 10-6-4 at a rate of one cup per caliper inch of tree.
  - Pruning: Remove dead wood as required, maintaining the natural shape of the tree.
  - Insecticides: Apply an oil in March according to manufacturers' instructions as a preventative spray. Make routine monthly inspections for infestations and treat accordingly.
- SHRUBS**
- Fertilizing: Apply "Holly-Tone" at a rate of 1 cup per foot spread or height, two times per year, spring & late fall.
  - Pruning: Remove dead or broken branches as required.
  - Insecticides: Make routine inspections, treat accordingly.
- GROUND COVER**
- Fertilizing: Broadcast "Holly-Tone" at recommended rates, two times per year, spring & late fall.
  - Pruning: Only as required to prevent spreading or to thicken. Remove top growth in spring.
  - Weed Control: Hand weeding may be necessary once per week to keep beds weed-free.

**McGraw-Edison**

**DESCRIPTION**

The McGraw-Edison LED luminaire delivers exceptional performance in a highly durable, weather-resistant, and easy-to-install design. The luminaire is designed for use in outdoor applications, including street lighting, parking lot lighting, and area lighting. The luminaire is designed for use in outdoor applications, including street lighting, parking lot lighting, and area lighting.

**FEATURES**

- LED Luminaire: LED luminaire is designed for use in outdoor applications, including street lighting, parking lot lighting, and area lighting.
- Weather-Resistant: The luminaire is designed for use in outdoor applications, including street lighting, parking lot lighting, and area lighting.
- Easy-to-Install: The luminaire is designed for use in outdoor applications, including street lighting, parking lot lighting, and area lighting.

**LEON GALLEON LED**

**DESCRIPTION**

The Leon Galleon LED luminaire is designed for use in outdoor applications, including street lighting, parking lot lighting, and area lighting. The luminaire is designed for use in outdoor applications, including street lighting, parking lot lighting, and area lighting.

**FEATURES**

- LED Luminaire: LED luminaire is designed for use in outdoor applications, including street lighting, parking lot lighting, and area lighting.
- Weather-Resistant: The luminaire is designed for use in outdoor applications, including street lighting, parking lot lighting, and area lighting.
- Easy-to-Install: The luminaire is designed for use in outdoor applications, including street lighting, parking lot lighting, and area lighting.

**McGraw-Edison**

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- Weather-Resistant: The luminaire is designed for use in outdoor applications, including street lighting, parking lot lighting, and area lighting.
- Easy-to-Install: The luminaire is designed for use in outdoor applications, including street lighting, parking lot lighting, and area lighting.

**WAVE LINX**

**DESCRIPTION**

The Wave Linx luminaire is designed for use in outdoor applications, including street lighting, parking lot lighting, and area lighting. The luminaire is designed for use in outdoor applications, including street lighting, parking lot lighting, and area lighting.

**FEATURES**

- LED Luminaire: LED luminaire is designed for use in outdoor applications, including street lighting, parking lot lighting, and area lighting.
- Weather-Resistant: The luminaire is designed for use in outdoor applications, including street lighting, parking lot lighting, and area lighting.
- Easy-to-Install: The luminaire is designed for use in outdoor applications, including street lighting, parking lot lighting, and area lighting.

806 GALLEON WALL

Mounting Details	
(If applicable, include details of mounting hardware, brackets, etc.)	
and (If applicable, include details of mounting hardware, brackets, etc.)	(If applicable, include details of mounting hardware, brackets, etc.)

Owner: [Redacted] Project: [Redacted] Date: [Redacted]

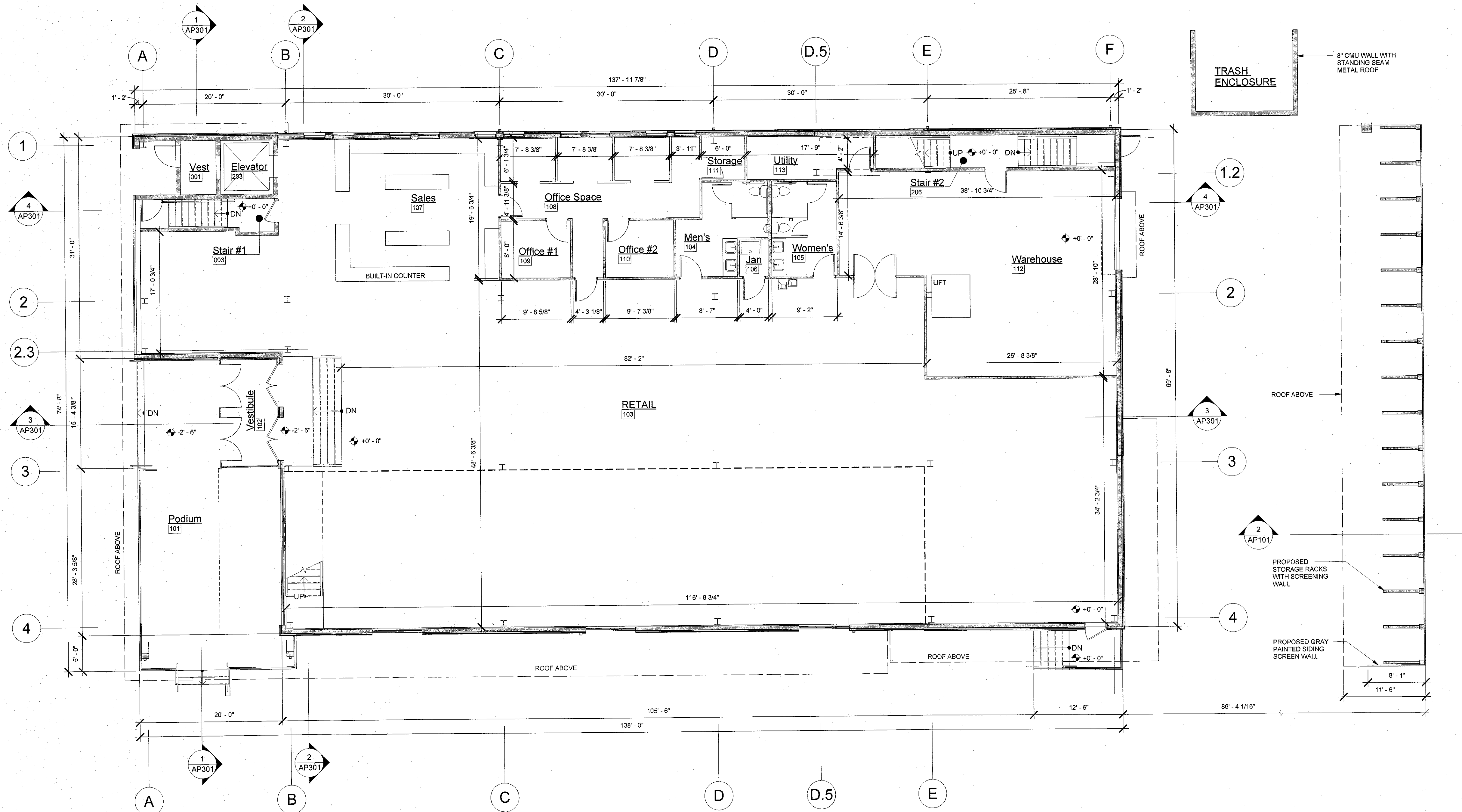
Owner: [Redacted] Project: [Redacted] Date: [Redacted]

Owner: [Redacted] Project: [Redacted] Date: [Redacted]

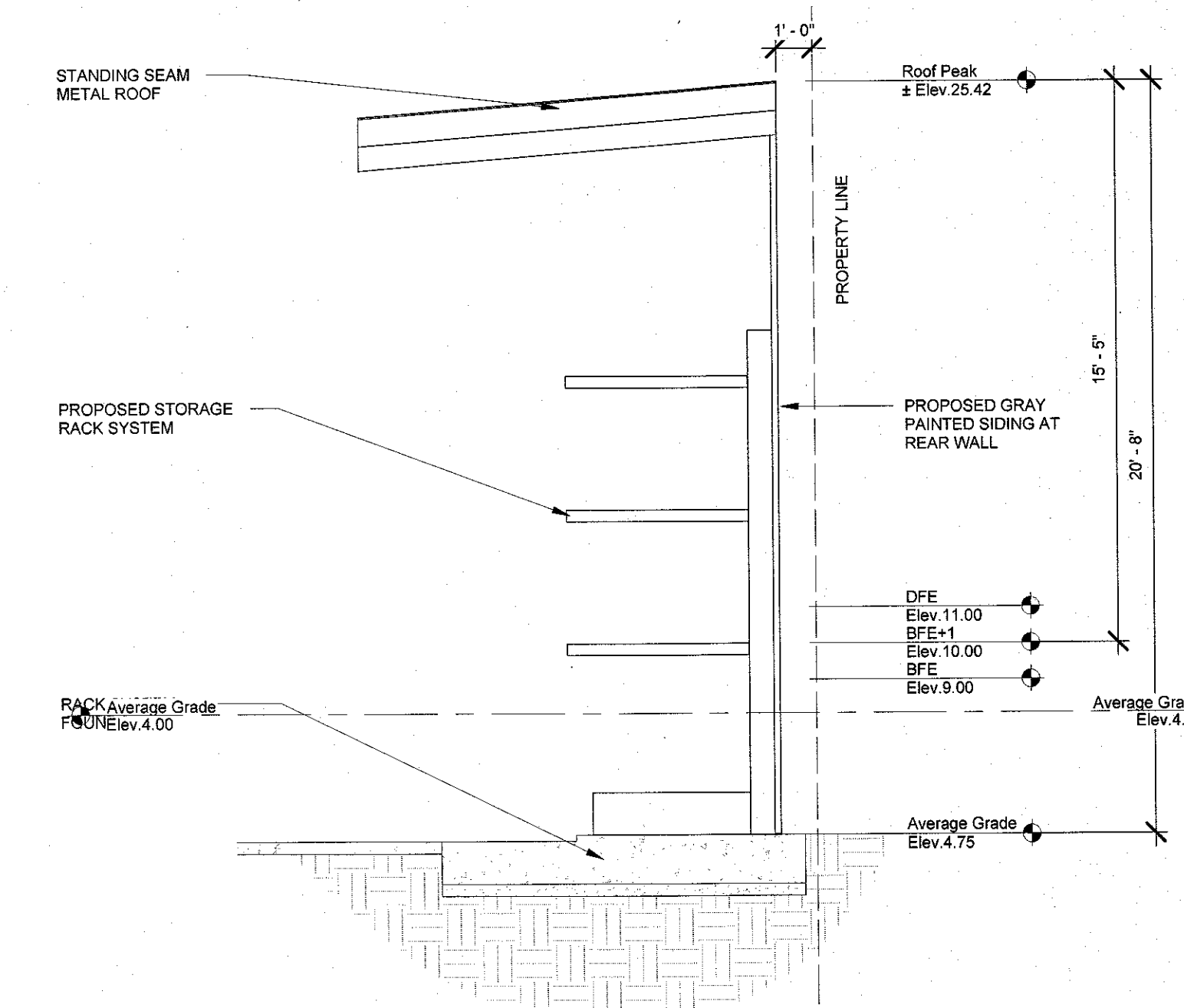
Owner: [Redacted] Project: [Redacted] Date: [Redacted]

Luminaire Schedule				
Symbol	Quantity	Manufacturer	Light Fixture	
GWC4FT	2	McGraw-Edison GWC Galleon Wall	GWC-AF-01-LED-E1-T4FT	
GWC5L2(1)	2	McGraw-Edison GWC Galleon Wall	GWC-AF-01-LED-E1-SL2	
GWC5L2(2)	1	McGraw-Edison GWC Galleon Wall	GWC-AF-01-LED-E1-SL2	
GALS2	1	McGraw-Edison Galleon LED	GLEON-AF-01-LED-E1-SL2-HSS	
GALS2 (twin)	1	McGraw-Edison Galleon LED	GLEON-AF-01-LED-E1-SL2-HSS	

Proposed lighting & specifications shown herein are for general design and approval purposes. An approved review and approval by owner.



1 1st Floor Plan  
Scale: 1/8" = 1'-0"  
Circulation & Service: 829 sf  
Office: 1,894 sf  
Retail: 5,774 sf  
Total: 8,497 sf



2 Rack System Detail  
Scale: 1/4" = 1'-0"



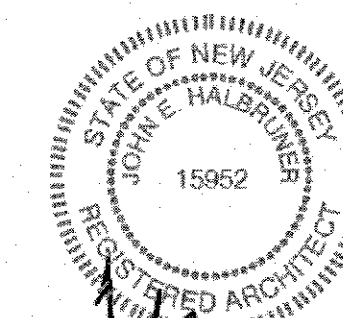
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Project Team:



John E. Halbruner  
NJ Professional Engineer No. 42918

Project:  
**Shoemaker Lumber**  
New Retail Sales Building

Location:  
1124-62 & 1200 West Avenue  
Block 1206, Lot 3  
City of Ocean City  
Cape May County  
New Jersey

Client:  
**Shoemaker Lumber**

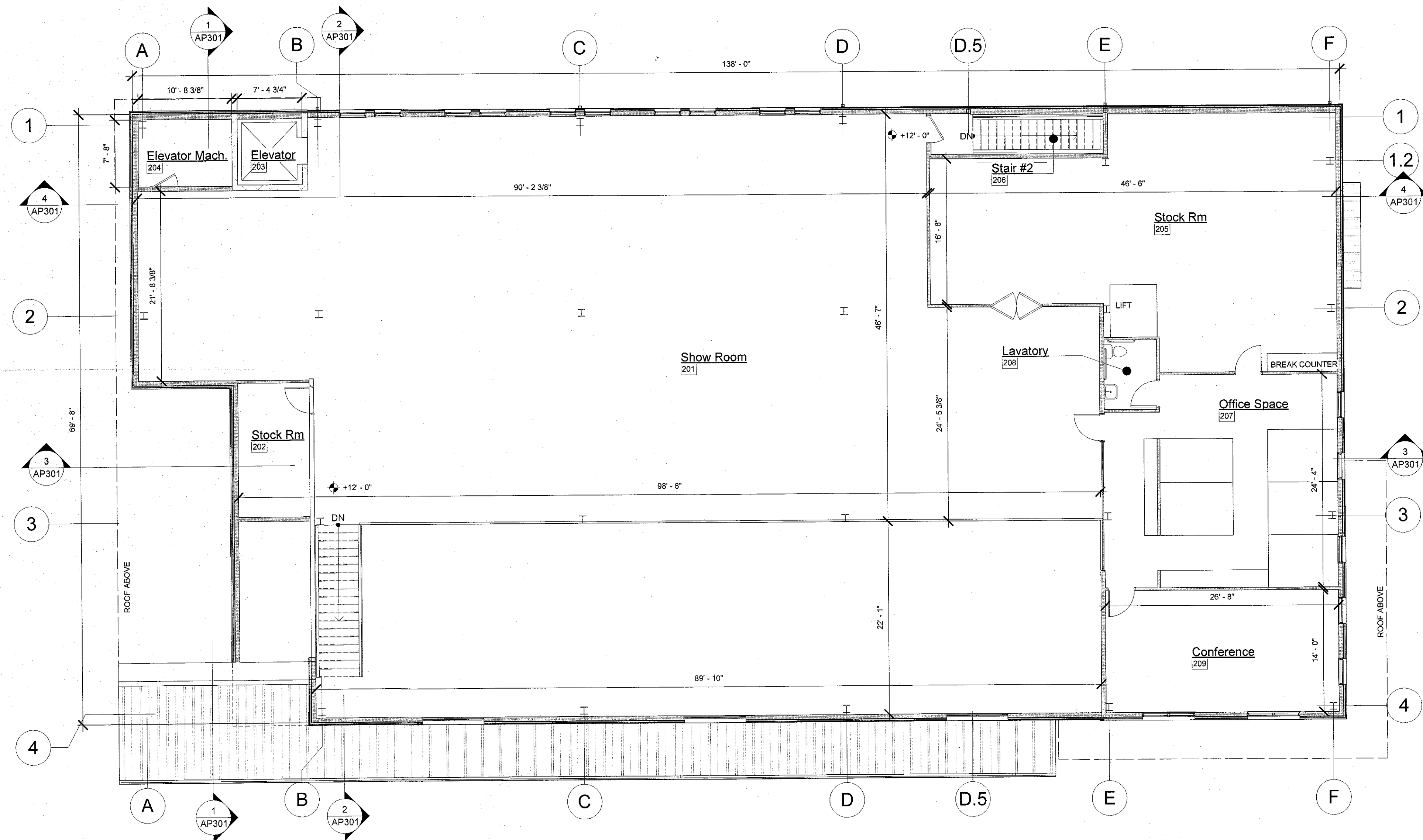
No.	Description	Date
1.	Initial Issuance	04.04.25
2.	Progress Issuance	08.04.22
3.	Initial Issuance	08.23.22
4.	Rack system changes	11.28.22
5.	Revisions per planning board comments	03.17.23
6.	Building redesign	04.04.25

Drawn By: SO Checked By: JEH  
Project No. 31747.04 C

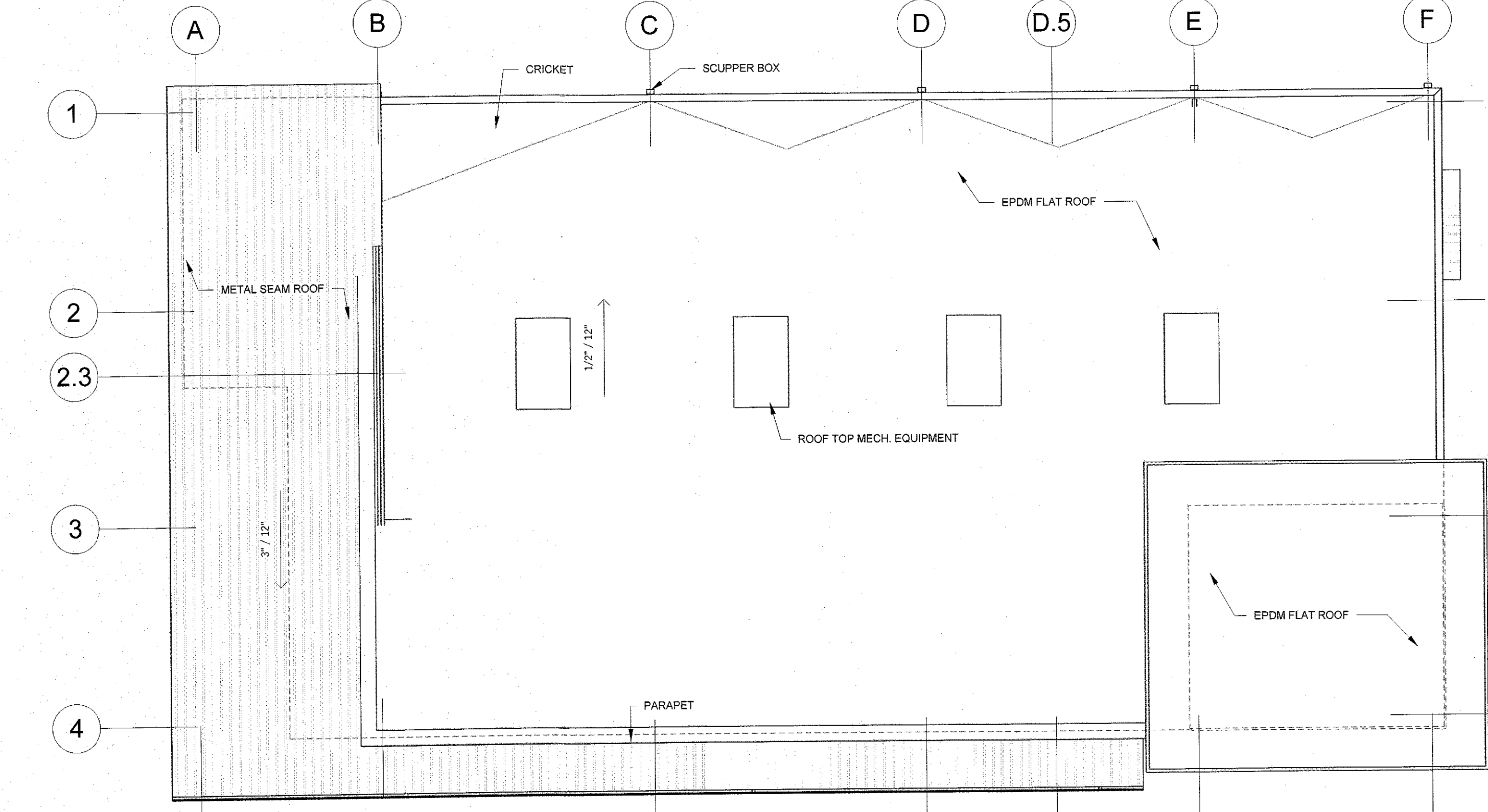
Preliminary & Final  
Major Site Plan

First Floor Plan  
**AP101**  
Sheet 01 of 05





**1 2nd Floor Plan**  
 Scale: 1/8" = 1'-0"  
 Circulation & Service: 220 sf  
 Office: 2,282 sf  
 Retail: 4,328 sf  
 Total: 6,810 sf



**2 Roof Plan**  
 Scale: 3/32" = 1'-0"



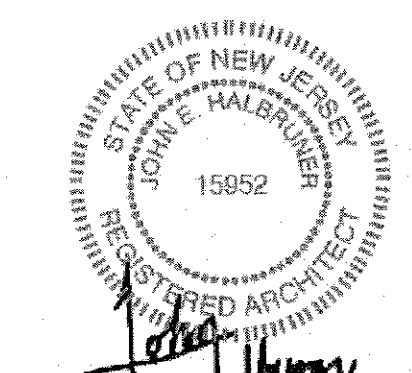
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Project Team:



**John E. Halbruner**  
 Architect No. 15952  
 NJ Professional Engineer No. 42918

Project:  
**Shoemaker Lumber**  
 New Retail Sales Building

Locations:  
 1124-62 & 1200 West Avenue  
 Block 1206, Lot 3  
 City of Ocean City  
 Cape May County  
 New Jersey

Client:  
**Shoemaker Lumber**

No.	Description	Date
1.	Initial Issuance	04.04.25
2.	Progress Issuance	08.04.22
3.	Initial Issuance	08.23.22
4.	Rack system changes	11.26.22
5.	Revisions per planning board comments	03.17.23
6.	Building redesign	04.04.25

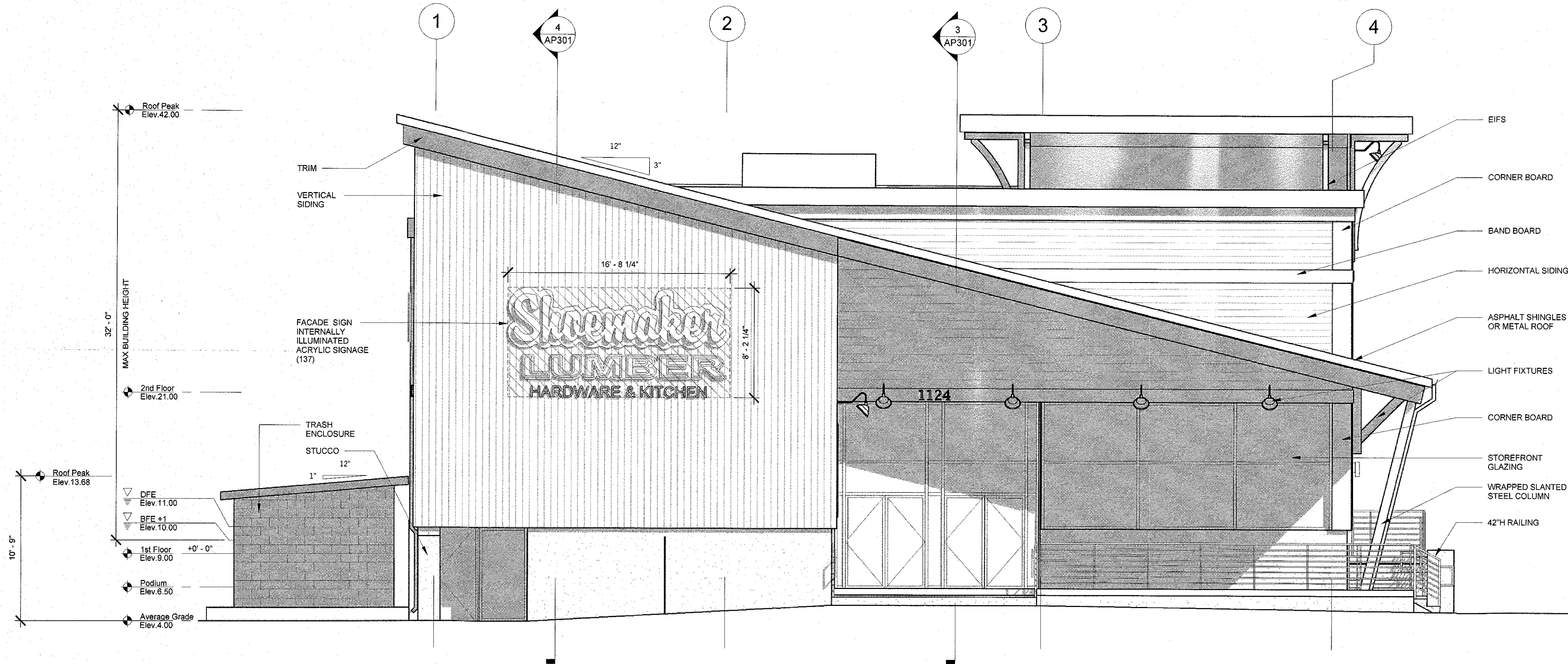
Drawn By: SO  
 Checked By: JEH  
 Project No. **31747.04 C**

**Preliminary & Final  
 Major Site Plan**

Second Floor and Roof Plan

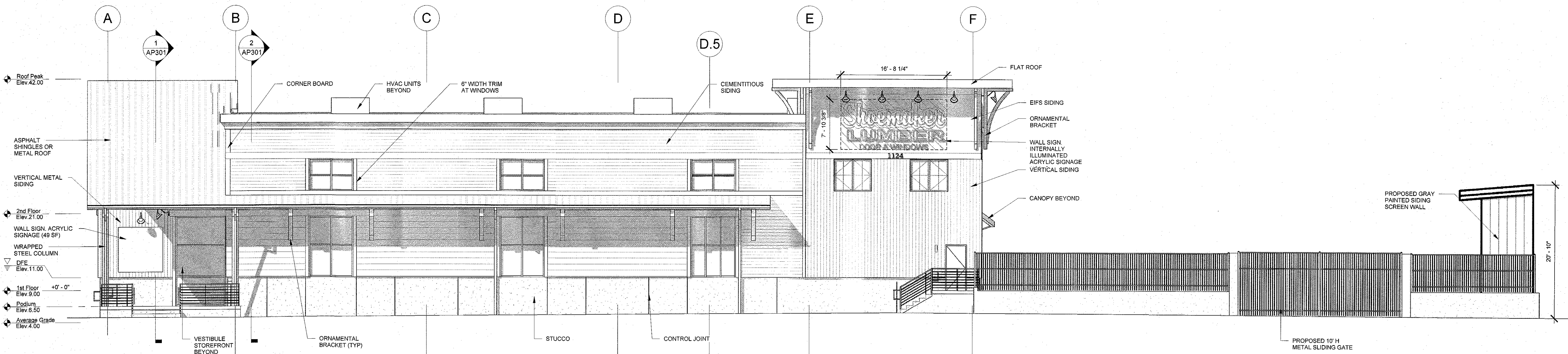
**AP102**  
 Sheet 02 of 05





1 Twelfth Street Elevation (Front)  
Scale: 3/16" = 1'-0"

	SIGNAGE	SF
TWELFTH STREET FACADE SIGN		137 SF
WEST AVE. WALL SIGN		131 SF
WEST AVE. SIGN WALL SIGN		49 SF
NORTH ELEVATION WALL SIGN		119 SF
ALLEY SIGN WALL SIGN		137 SF

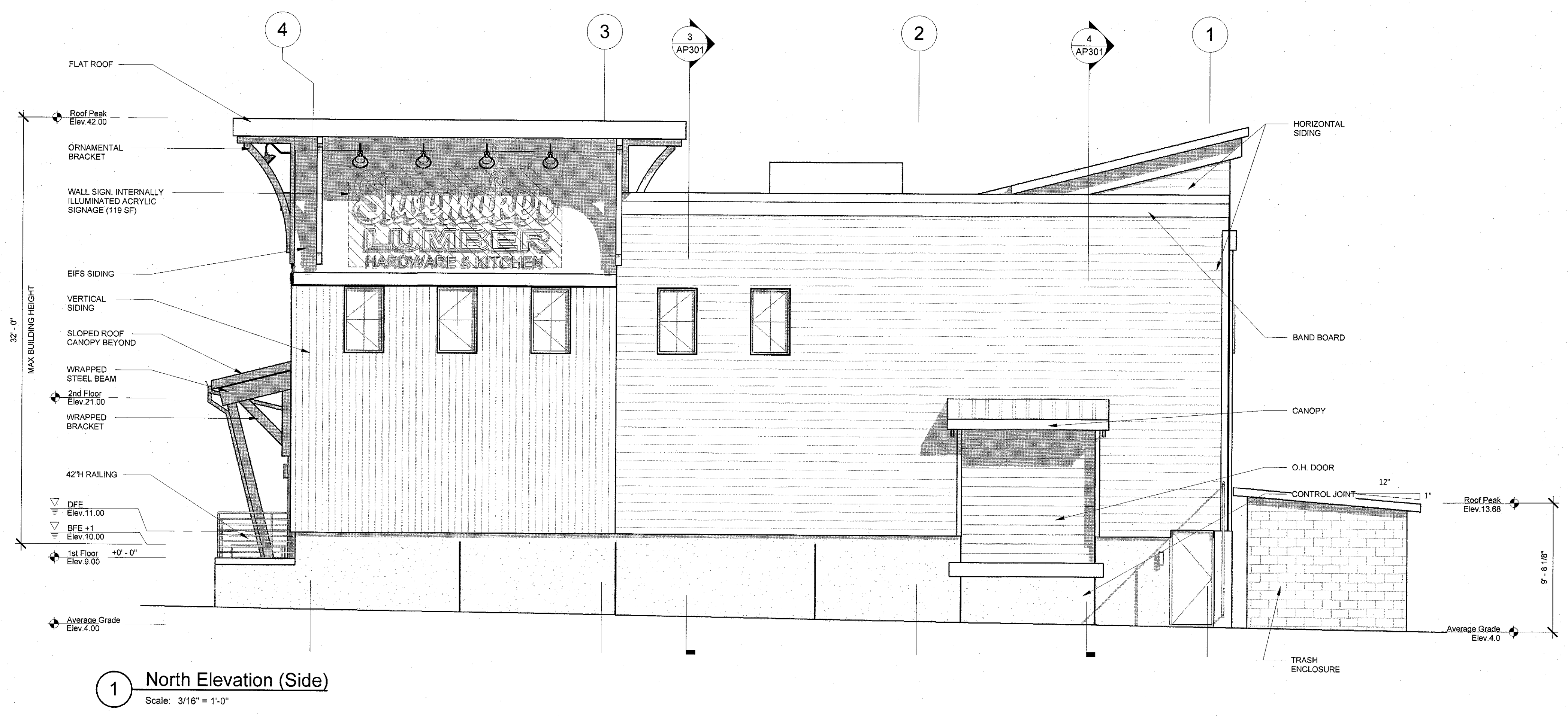


2 West Ave Elevation (Side)  
Scale: 1/8" = 1'-0"

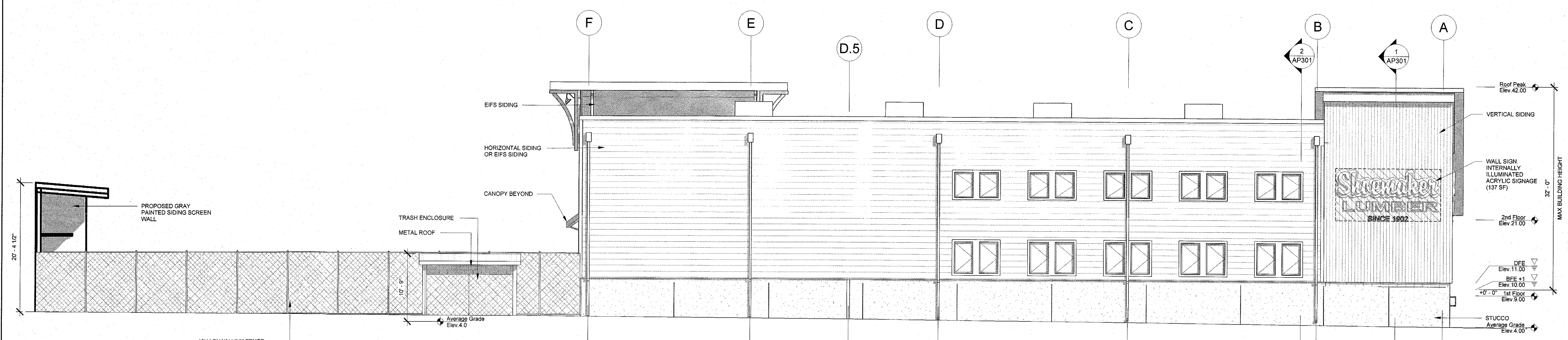
No.	Description	Date
1.	Initial Issuance	04.04.25
2.	Progress Issuance	08.04.22
3.	Initial Issuance	08.23.22
4.	Rack system changes	11.28.22
5.	Revisions per planning board comments	03.17.23
6.	Building redesign	04.04.25



No.	Description	Date
1.	Initial Issuance	04.04.25
2.	Progress Issuance	08.04.22
3.	Initial Issuance	08.23.22
4.	Rack system changes	11.28.22
5.	Revisions per planning board comments	03.17.23
6.	Building redesign	04.04.25



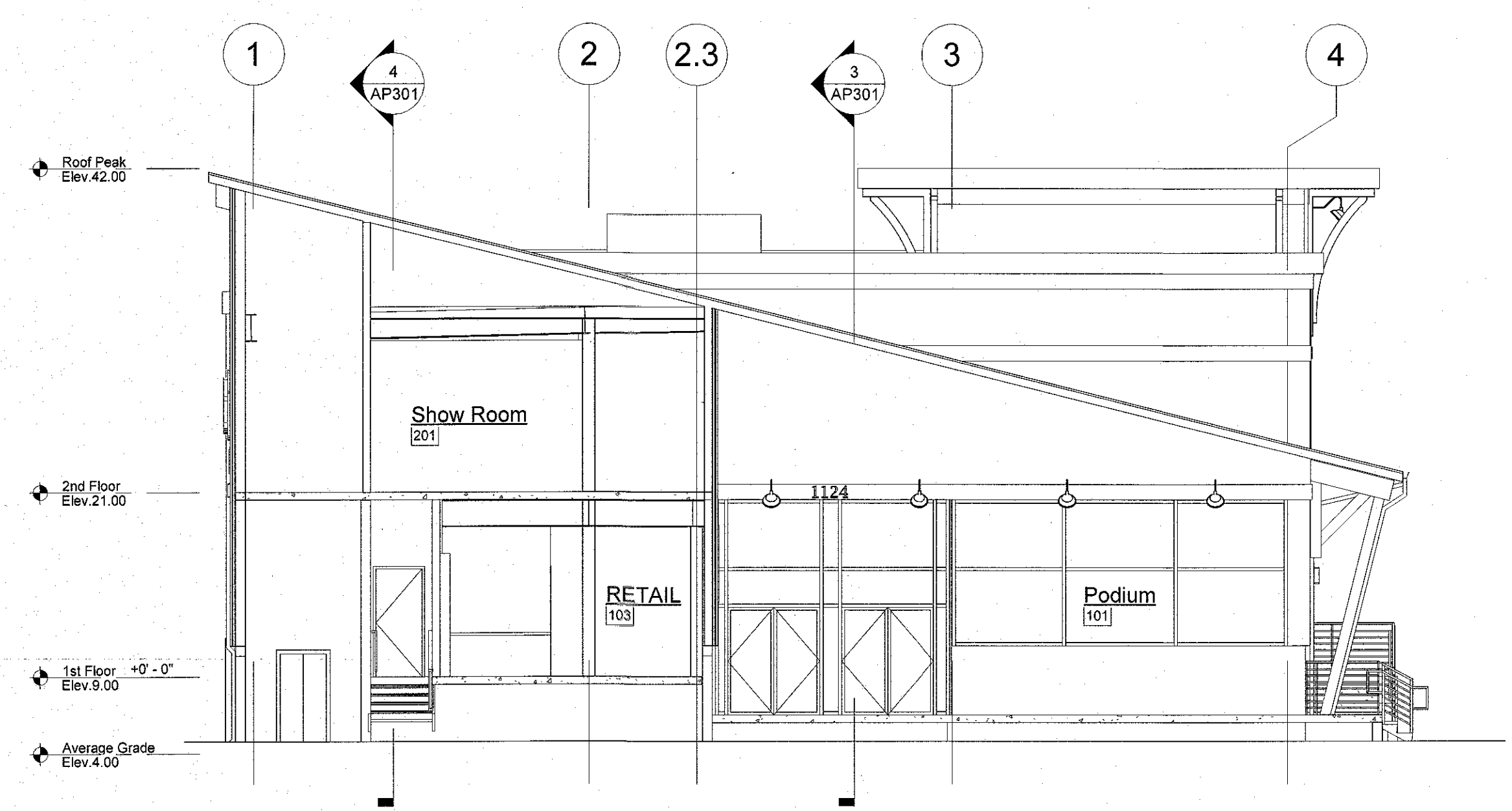
**1 North Elevation (Side)**  
Scale: 3/16" = 1'-0"



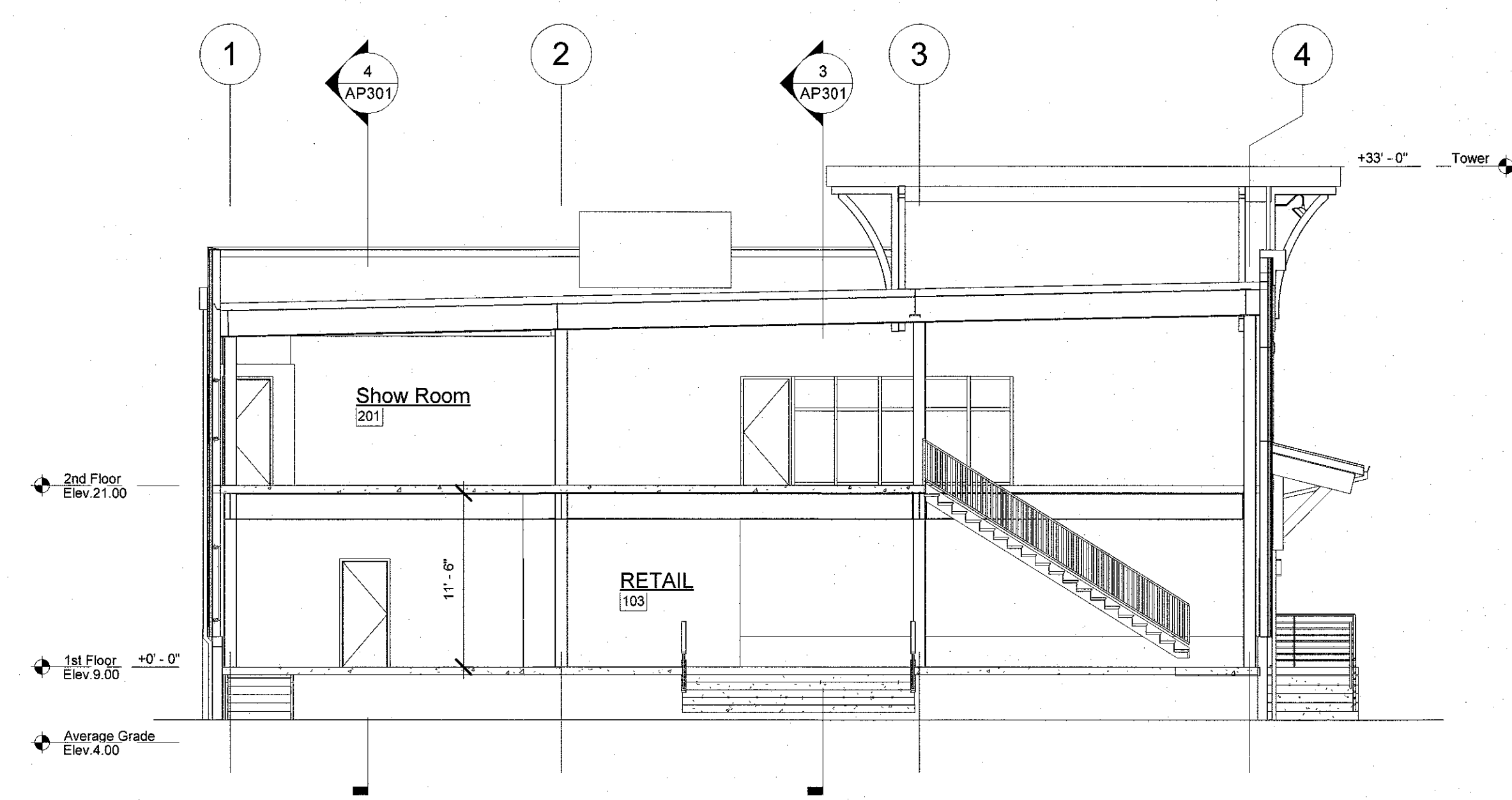
**2 Alley Elevation (Rear)**  
Scale: 1/8" = 1'-0"



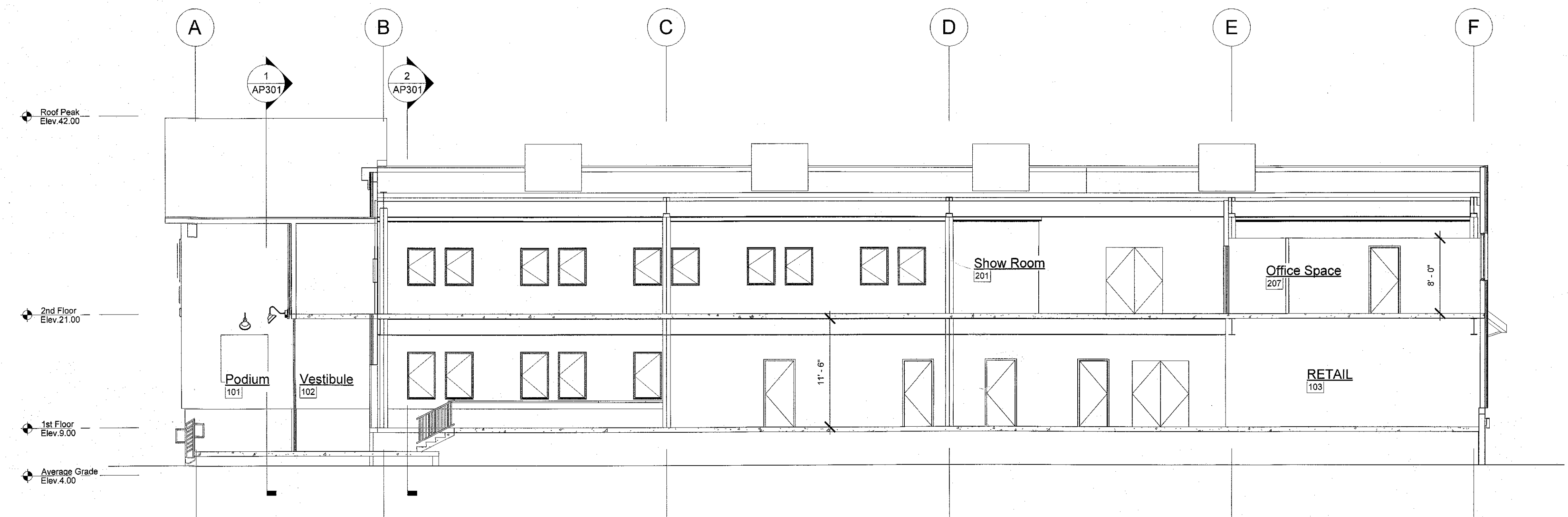
No.	Description	Date
1.	Initial Issuance	04.04.25
2.	Progress Issuance	08.04.22
3.	Initial Issuance	08.23.22
4.	Rack system changes	11.28.22
5.	Revisions per planning board comments	03.17.23
6.	Building redesign	04.04.25



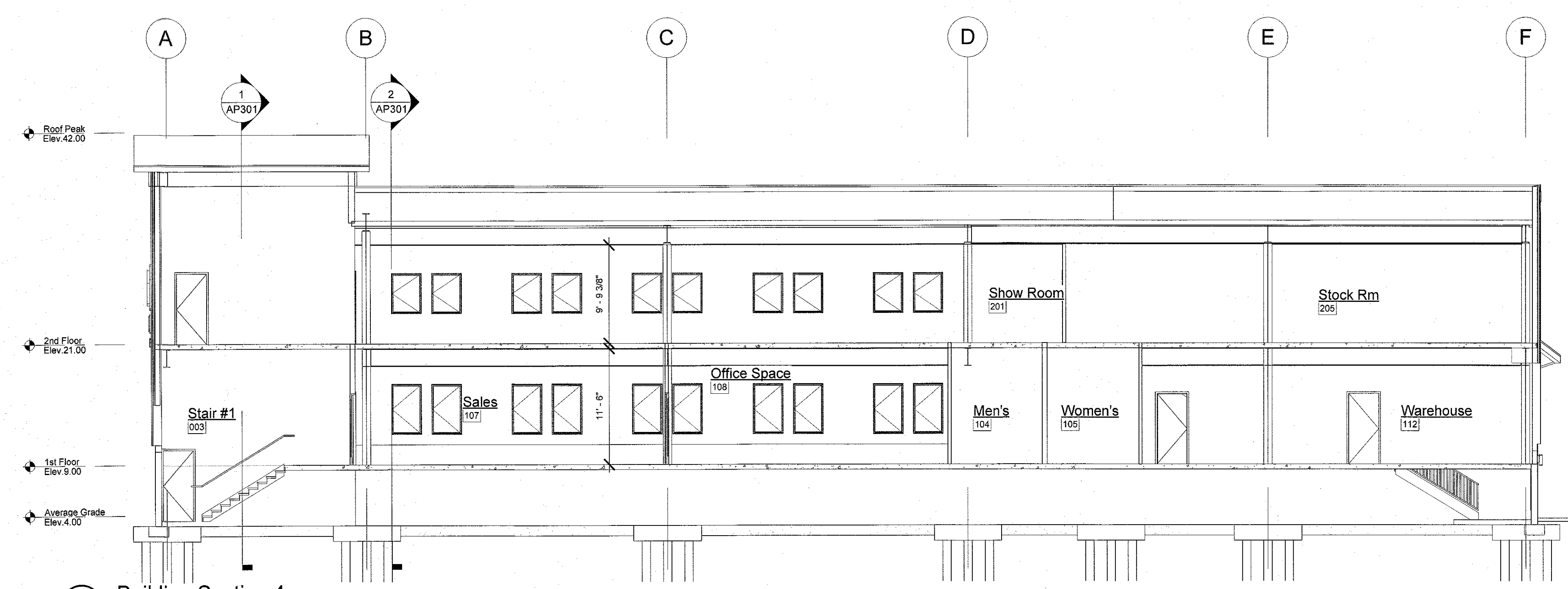
**1 Building Section 1**  
Scale: 1/8" = 1'-0"



**2 Building Section 2**  
Scale: 1/8" = 1'-0"



**3 Building Section 3**  
Scale: 1/8" = 1'-0"



**4 Building Section 4**  
Scale: 1/8" = 1'-0"