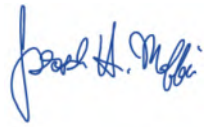




REVIEW MEMORANDUM #1

DATE: May 12, 2026
TO: Ocean City Zoning Board
FROM: Joseph H. Maffei, P.E., P.P., C.M.E. 
EDA #: OC-345Z
OCEAN CITY APP. #: ZBA 26-008
MEETING DATE: **TBD**
RE: Block 3305, Lot 3
 3323 Simpson Avenue
APPLICATION TYPE: Minor Subdivision/Minor Site Plan/D Variance Application
APPLICANT: PD Management, LLC
ZONE: Neighborhood Business (NB) Zoning District
PLANS PREPARED BY: Design Land Surveying, PA and Thomas Bechtold Architecture & Engineering

| Sheet | Description | Prepared By | Date | Latest Rev. Date |
|-------|------------------------|-----------------------|---------|------------------|
| --- | Minor Subdivision Plat | Design Land Surveying | 3/2/26 | --- |
| ZB-1 | Top Sheet | Thomas/Bechtold | 4/20/26 | --- |
| ZB-3 | Plot Plan and Details | Thomas/Bechtold | 4/20/26 | --- |
| ZB-4 | Lot 3.01 Elevations | Thomas/Bechtold | 4/20/26 | --- |
| ZB-5 | Lot 3.01 Floor Plans | Thomas/Bechtold | 4/20/26 | --- |
| ZB-6 | Lot 3.02 Elevations | Thomas/Bechtold | 4/20/26 | --- |
| ZB-7 | Lot 3.02 Floor Plans | Thomas/Bechtold | 4/20/26 | --- |

The following additional documents were reviewed:

- Zoning Board Application dated 4/27/26;
- Memorandum from Lt. Chris Vivarelli dated 4/29/26;
- Correspondence from Leo Manos, Esq. dated 5/7/26;
- Report from the Ocean City Construction Office dated 5/4/26;
- Memorandum from the Ocean City Zoning Office dated 5/4/26;
- Memorandum from the Ocean City Municipal Engineer’s Office dated 4/30/26; and
- Correspondence from Jon D. Batastini, Esq. dated 4/24/26.

Zoning Requirements – Neighborhood Business Zone (NB)

| | <u>Required</u> | <u>Existing (Lot 3)</u> |
|--------------------------------------|------------------------|--------------------------------|
| <u>Principal Structure</u> | | |
| Use | Commercial/Office | Office |
| Minimum Lot Area (Interior) | 3,000 SF | 9,200 SF |
| Minimum Lot Width (Interior) | 30' | 80' |
| Minimum Lot Frontage (Interior) | 30' | 80' |
| Minimum Setbacks: | | |
| Front Yard | 10' | 9.8 ⁽¹⁾ |
| Side Yard (N) | 9' | 3.7 ⁽¹⁾ |
| Side Yard (S) | 9' | 28.4' |
| Side Yard (Total) | 21' | 32.1' |
| Rear Yard (Bldg.) | 20' | 3.4 ⁽¹⁾ |
| Minimum Lot Depth | 100' | 115' |
| Maximum Roof Height (Pitch) (BFE+1') | 33' | 22' |
| Maximum Stories | 3 | 2 |
| Maximum Building Coverage | 75% | 30.4% |
| Maximum Impervious Coverage | 90% | 85.8% |
| Minimum Parking Spaces (1/1,000 SF) | 5 | 6 |

(1) Existing non-conforming condition

Zoning Requirements – Neighborhood Business Zone (NB)

| | <u>Required</u> | <u>Proposed Lot 3.01</u> | <u>Variance</u> |
|-------------------------------------|------------------------|---------------------------------|------------------------|
| <u>Principal Structure</u> | | | |
| Use | Commercial/Office | 2 Family | YES |
| Minimum Lot Area (Interior) | 3,000 SF | 4,600 SF | NO |
| Minimum Lot Width (Interior) | 30' | 40' | NO |
| Minimum Lot Frontage (Interior) | 30' | 40' | NO |
| Minimum Setbacks: | | | |
| Front Yard (Bldg.) | 10' | 20' | NO |
| Front Yard (Covered Porch) | 10' | 10' | NO |
| Side Yard (N) | 5' | 6.92' | NO |
| Side Yard (S) | 5' | 5.08' | NO |
| Side Yard Total | 11' | 12' | NO |
| Rear Yard (Bldg) | 20' | 28' | NO |
| Rear Yard (Deck) | 20' | 21' | NO |
| Minimum Lot Depth | 100' | 115' | NO |
| Maximum Roof Height (Pitch) | 33' | 28.81' | NO |
| Maximum Stories | 3 | 2 | NO |
| Maximum Building Coverage | 75% | 37.9% | NO |
| Maximum Impervious Coverage | 90% | 58.7% | NO |
| Maximum Roof Deck Area | 200 SF | 197 SF | NO |
| Minimum Roof Deck Setback | 4' | 4' | NO |
| Maximum Roof Deck Height Above Eave | 14" | (1) | --- |
| Minimum Setback to Steps | 0.5' | 1' | NO |
| Minimum Parking Setback | 1' | 1' | NO |
| Minimum # Parking Spaces (2-5 BR) | 6 | 8 | NO |

(1) Information shall be provided

Zoning Requirements – Neighborhood Business Zone (NB)

| | <u>Required</u> | <u>Proposed Lot 3.02</u> | <u>Variance</u> |
|-------------------------------------|------------------------|---------------------------------|------------------------|
| <u>Principal Structure</u> | | | |
| Use | Commercial/Office | 2 Family | YES |
| Minimum Lot Area (Interior) | 3,000 SF | 4,600 SF | NO |
| Minimum Lot Width (Interior) | 30' | 40' | NO |
| Minimum Lot Frontage (Interior) | 30' | 40' | NO |
| Minimum Setbacks: | | | |
| Front Yard (Bldg.) | 10' | 20' | NO |
| Front Yard (Covered Porch) | 10' | 10' | NO |
| Side Yard (N) | 5' | 6.92' | NO |
| Side Yard (S) | 5' | 5.08' | NO |
| Side Yard Total | 11' | 12' | NO |
| Rear Yard (Bldg) | 20' | 28' | NO |
| Rear Yard (Deck) | 20' | 21' | NO |
| Minimum Lot Depth | 100' | 115' | NO |
| Maximum Roof Height (Pitch) | 33' | 28.52' | NO |
| Maximum Stories | 3 | 2 | NO |
| Maximum Building Coverage | 75% | 37.9% | NO |
| Maximum Impervious Coverage | 90% | 58.7% | NO |
| Maximum Roof Deck Area | 200 SF | 197 SF | NO |
| Minimum Roof Deck Setback | 4' | 4' | NO |
| Maximum Roof Deck Height Above Eave | 14" | (1) | --- |
| Minimum Setback to Steps | 0.5' | 1' | NO |
| Minimum Parking Setback | 1' | 1' | NO |
| Minimum # Parking Spaces (2-5 BR) | 6 | 8 | NO |

(1) Information shall be provided

Project Description

The Applicant is seeking Minor Subdivision, Minor Site Plan and Use Variance Approval to demolish the existing commercial office structure, subdivide the parcel into two (2) lots and construct a residential duplex on each new lot at 3323 Simpson Avenue.

Review Comments

Based on our review of the project documents, we offer the following comments:

Minor Subdivision

1. A Waiver is requested from Section 25-1500.5.2.c.9 to show the existing drainage system.
This is acceptable.
2. A Waiver is requested from Section 25-1500.5.2.e to provide sewer service availability.
We do not support this waiver, but it can be a Condition of Approval.
3. The proposed lot numbers shall be verified by the City Tax Assessor.
4. Prior to recording the plat, the applicant shall provide the appropriate fee as per Section 30-1.12 for any tax map updates.
5. Prior to recording the plat, the applicant shall provide the Residential Development Fee as per Section 25-1900.5.
6. Prior to recording the plat, applicant shall post the appropriate Performance Guaranty.
7. Any revisions as requested by any approval shall be completed.
8. Monumentation shall be provided for all newly created lots, set in the field, and verified by the Zoning Board Engineer.
9. The applicant's surveyor shall submit two (2) mylars and five (5) paper copies of the revised plan to the Ocean City Planning Office for review and signatures.
10. Provide copies of any other outside agency approvals.
11. The referenced meridian used for bearings on the map shall be provided. The coordinate base shall be shown on the plan.
12. The signature blocks for the Board Chairman, Secretary and Engineer shall be corrected to show the "Zoning Board".
13. The Zoning Chart shall be corrected to indicate the existing non-residential building height is measured from BFE+1'.
14. The bulk requirements for the R-2-40 Zone shall be removed from the plan.
15. It shall be clarified whether the Minor Subdivision is to be filed by deed or plat.

Use Variance

1. The property is located in the Neighborhood Business (NB) Zone. As per Section 25-205.4.3 residential dwelling units are a conditional use subject to the following conditions outlined in Section 25-208.2.5:

- a. Residential units shall not occupy any part of the first (grade level) floor of any building.

The proposed structure indicates residential garage and storage space on the grade level. This condition is not met.

- b. Eating establishments including, but not limited to, cafes, coffee shops, luncheonettes, pizzerias, restaurants and snack shops, candy, nut, confectionery stores and bakeries shall not be prohibited or limited at any time or by any means including, but not limited to, conditions contained within a master deed, deed restriction, Certificate of Occupancy, Mercantile License, Certificate of Zoning Compliance or other instrument. This requirement shall be memorialized in the decision and resolution approving the Site Plan and shall be promptly recorded thereafter.

Since no commercial use is proposed for this application, this condition is not met.

- c. The maximum permitted base density within the NB Zone for this 2,700 SF property is as follows:

Maximum Base Density (4,000 SF & Greater) = 1 dwelling unit/2,000 SF

Proposed Base Density = 1 dwelling unit/2,300 SF

This project does meet the allowable base density.

The proposed project does not meet all the conditions above and is proposing a residential use on the ground level. Therefore, a D1 Variance is required.

Minor Site Plan

1. A waiver is requested from Section 25-1500.13.2.q to provide a Soil Erosion and Sediment Control Plan

We do not support this waiver since a Soil Erosion and Sediment Control Permit will be required.

2. The Zoning Chart shall be corrected to indicate the existing commercial building height is measured from BFE+1'.
3. The proposed height of the garage floor to bottom of the ceiling joists shall be provided and indicated on the plans.
4. Three (3) street trees are proposed and in conformance with the permitted species and number.
5. The concrete curb and sidewalk shall be clearly indicated to be removed and replaced.
6. The height of the roof deck appears to be 14". The proposed height shall be verified and noted on the plans.

Minor Site Plan (Continued)

7. The scale for the Elevation views shall be provided on the plans.
8. Confirm whether both units have access to the roof deck.
9. Any revisions as requested by any approval shall be completed and submitted for review.
10. Provide copies of any other outside agency approvals.
11. A Performance Guaranty for all public improvements shall be provided.
12. An Inspection Escrow shall be posted based on the site improvement cost.

JHM/km

Enclosures

cc: Jaime M. Felker, Board Secretary
Jessica Fenton, Zoning Officer
Elias T. Manos, Esquire
Jon D. Batastini, PLS
Thomas N. Tolbert, PLS
Andrew Bechtold, RA, PP
PD Management, LLC
All above via email

ENGINEERING DESIGN ASSOCIATES, P.A.

3323 SIMPSON AVENUE

ZBA 26-008

EDA #OC-345Z



Picture 1

View of the site from Simpson Avenue on 5/12/26

ENGINEERING DESIGN ASSOCIATES, P.A.

3323 SIMPSON AVENUE

ZBA 26-008

EDA #OC-345Z



Picture 2

View of the existing sidewalk along Simpson Avenue looking south on 5/12/26

ENGINEERING DESIGN ASSOCIATES, P.A.

3323 SIMPSON AVENUE

ZBA 26-008

EDA #OC-345Z



Picture 3

View of the existing structure from the Alley looking northwest on 5/12/26

ENGINEERING DESIGN ASSOCIATES, P.A.

3323 SIMPSON AVENUE

ZBA 26-008

EDA #OC-345Z



Picture 4

View of the existing structure from the Alley looking southwest on 5/12/26

ENGINEERING DESIGN ASSOCIATES, P.A.

3323 SIMPSON AVENUE

ZBA 26-008

EDA #OC-345Z



Picture 5

View looking west from the Alley along the northerly property line on 5/12/26

ENGINEERING DESIGN ASSOCIATES, P.A.

3323 SIMPSON AVENUE

ZBA 26-008

EDA #OC-345Z



Picture 6

View looking west from the Alley along the southerly property line on 5/12/26

ENGINEERING DESIGN ASSOCIATES, P.A.

3323 SIMPSON AVENUE

ZBA 26-008

EDA #OC-345Z



Picture 7

View of the existing sidewalk along Simpson Avenue looking north on 5/12/26

ENGINEERING DESIGN ASSOCIATES, P.A.

3323 SIMPSON AVENUE

ZBA 26-008

EDA #OC-345Z



Picture 8

**View looking east from Simpson Avenue along the southerly property line on
5/12/26**

ENGINEERING DESIGN ASSOCIATES, P.A.

3323 SIMPSON AVENUE

ZBA 26-008

EDA #OC-345Z



Picture 9

**View looking east from Simpson Avenue along the northerly property line on
5/12/26**

GARRETT & BATASTINI

Robert F. Garrett, III
2021
Jon D. Batastini
e-mail jdb@lgblaw.com

A Professional Association
Attorneys at Law
3318A Simpson Avenue
Ocean City, New Jersey
08226-3625

French B. Loveland
(1924-1972)

(609) 399-0035
Fax (609) 398-6847
[Website: lgblaw.com](http://Website:lgblaw.com)

May 19, 2026

City of Ocean City Zoning Board
Michael Buck, Chairperson
115 12th Street
Ocean City, NJ 08226

Re: Applicant – PD MANAGEMENT LLC
Property – 3323 Simpson Avenue Block 3305 Lot 3

Dear Mr. Buck:

As you may know, our firm represents the above Applicant regarding the referenced Block and Lot.

Here, the Applicant seeks to demolish the existing office building, subdivide the property into two (2) conforming lots and construct a residential duplex on each conforming lot. The minor subdivision is by-right and results in two (2) oversized lots. The duplex buildings will be conforming as to all bulk requirements. However, the property is in the NB zone, which does not permit duplexes. A (d1) variance is required for duplex uses. The Applicant also seeks minor site plan approval.

Under N.J.S.A. 40:55D-70(d), the Board of Adjustment has the power, in particular cases for special reasons, to grant a variance to allow a use or principal structure in a district restricted against such use or principal structure. To obtain approval, an applicant must satisfy both the positive and the negative criteria.

The positive criteria requires the applicant to demonstrate special reasons why the use is particularly suited for the property, accomplished by proving that the use will promote the purposes of zoning identified in the MLUL. The structure will be new construction, code compliant, appropriately and will present a built form consistent in mass, density, and character with the predominantly duplex residential development that defines this interior block. Traffic generation will be modest and entirely consistent with the residential character of the street. Parking demand will be limited to the predictable needs of two residential households, which will be a fraction of the demand that would be generated by the as-of-right alternative, which would permit commercial activity on this block with no customer parking requirement whatsoever. Further, the demolition of the tired office building and the new construction of two (2) esthetically appealing duplexes enhances the neighborhood.

As to the second prong – the negative criteria, no variance may be granted without a showing that such variance can be granted without substantial detriment to the public good and will not substantially impair the intent and the purpose of the zone plan and zoning ordinance. In

Medici, the Court established that zoning boards must address both the positive and the negative criteria found in the MLUL, and required that the negative criteria be demonstrated in accordance with an enhanced quality of proofs.

Here, the zone is designated mixed residential, and the overriding residential character of that designation is fully honored by the proposed duplex on this side of the street. The commercial trigger in the ordinance has not produced mixed-use development on this block — the adjacent parcels remain residential in use, and the only commercial presence in the vicinity is the bank on the corner of the main street and Trader Lane across the street. The governing body's mixed-use objective has not been realized in this location and, given the absence of any commercial market or demand on this interior residential block, is not realistically achievable here.

Indeed, granting a variance for a residential duplex under these circumstances does not undermine the zone plan — it recognizes the plan as it has actually manifested on this block and brings this parcel into conformity with the neighborhood's established residential pattern. As the Supreme Court recognized in Medici, reconciliation of a non-permitted use with the zoning ordinance may be demonstrated through proof that the character of the community supports a use not incompatible with the intent of the governing body when the ordinance was enacted.

It bears emphasis that the mixed-use development the ordinance would otherwise allow — with commercial customers, employees, and associated vehicle turnover — would impose a far greater burden on the neighborhood's on-street parking supply than the purely residential use proposed here. The variance as sought thus produces less detriment to the public good than strict enforcement of the ordinance would permit.

With respect to the ancillary approvals required by the Board, CAFRA is not required in these areas and there are no wetlands on or within the wetland buffers. Thus, neither CAFRA nor Wetlands approvals are required.

Further, the Applicant meets the checklist requirements, subject to certain waivers, for minor site plan approval.

As to the Certificate of Title that is required, there are no existing, known or proposed covenants or deed restrictions applying to the land being subdivided. As an attorney in the State of New Jersey, I can certify that statement.

Should you have any questions, please call. As always, I remain,

Very truly yours,
Jon D. Batastini
Jon D. Batastini

Enclosure

Cc/wo: Andy Palmer

Andrew Bechtold

Tom Tolbert



CITY OF OCEAN CITY
 DIVISION OF PLANNING
 115 12th Street
 OCEAN CITY, NJ 08226
 609-399-6111 * FAX 609-399-8419

PART II
DEVELOPMENT APPLICATION

PLEASE COMPLETE ALL SECTIONS OF THIS APPLICATION

CHECK ONE: ZONING BOARD APPLICATION XX PLANNING BOARD APPLICATION _____

A. Applicant's Name PD MANAGEMENT LLC
 Applicant's Mailing Address 25 SOUTH ELMWOOD ROAD EVESHAM, NJ 08053
 Applicant's E mail Address _____
 Phone Number (Home) _____ (Work) _____
 Owner's Name TRADERS EAST LLC
 Owner's Mailing Address 3323 SIMPSON AVENUE, OCEAN CITY, NJ 08226

Relationship of applicant to owner (i.e. same person, tenant, agent, purchase under contract or other)
 (Circle one)

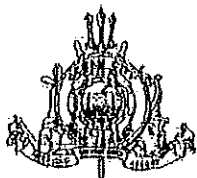
Location of Premises 3323 Simpson Avenue
 (Street address)

Block(s) 3305 Lot(s) 3 Zone NB
 (Tax Map reference)

B. Description the application: Subdivision by-right. Demolition and construction of duplex without commercial. Needs use variance and minor site plan approval.

C. Please check the type(s) of approvals requested:

- | | | |
|--|--|---|
| <input type="checkbox"/> Amendment | <input type="checkbox"/> Appeal | <input type="checkbox"/> Conditional Use |
| <input type="checkbox"/> "C" Variance | <input checked="" type="checkbox"/> "D"/Use Variance | <input type="checkbox"/> Interpretation |
| <input type="checkbox"/> Site Plan Major Preliminary | <input type="checkbox"/> Site Plan Major Final | <input checked="" type="checkbox"/> Subdivision Minor |
| <input type="checkbox"/> Subdivision Major Preliminary | <input type="checkbox"/> Subdivision Major Final | <input checked="" type="checkbox"/> Site Plan Minor |



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D. Request is hereby made for permission to (erect, alter, convert, use) a two (2) duplexes with no commercial

1) Said property is: 9,200 sqft (80' x 115')

(Give dimensions and area)

and has the following structures: office building

2) Size and setbacks of existing building: See attached plans

Width of building: _____ Length of building: _____

Height: _____ Stories: _____

Front: _____ Rear: _____

Side: _____ Side: _____

% Building Coverage: _____ % Impervious Surface Coverage: _____

3) Size and setbacks of proposed building and/or addition: See attached plans

Width of building: _____ Length of building: _____

Height: 28.52' from ZFE Stories: 2

Front: 10' Rear: 21' to deck

Side: 5.08 Side: 6.92'

% Building Coverage: 37.9% % Impervious Surface Coverage: 58.7%

4) Date property acquired and prevailing zoning at time of acquisition: 4/25/2024 - NB

5) Has there been any previous appeal, requests or applications to this or any other City Boards, Construction Official, or other City Official involving these premises? YES _____ NO XX

"If yes, state the nature, date and the disposition of said matter include a copy of the Resolution, a copy of the building permit or any other pertinent information previously submitted"



CITY OF OCEAN CITY
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 115 12th Street
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- 6) When variance approvals are requested:
- Describe the exceptional conditions of property preventing application from complying with Zoning Ordinance.
 - Supply a statement of facts showing why relief can be granted without substantial detriment to the public good and will not substantially impair the intent and purpose of the zone plan and zoning ordinance.

7) All applicants must complete the following, as applicable:

Type of construction: (frame, stone, brick, cement) frame

Present use of existing building(s) and premises: office

Describe any deed restrictions affecting this property: none

Existing and proposed number of dwelling units: 0 - 2 proposed on each lot

Existing and proposed square footage of professional office: Not applicable

Existing and proposed gross floor area: Not applicable

Existing and proposed parking spaces: 5 - 8 proposed per lot

Existing and proposed number of lots: 1 into 2

Portion of lot being subdivided: 100%

Purpose for which lots will be utilized: residential

Facilities for solid waste and recyclables.

Thomas N. Tolbert, P.L.S.
 Design Land Surveying, P.A.
 P.O. Box 667 Turnersville, NJ

A photograph(s) of the land and building(s) involved in the application.

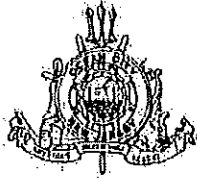
Names, addresses and E-mail of all expert witness proposed to be used:

08012
 office: 856-374-1134
~~tom_tolbert@comcast.net~~

ANDREW C. BECHTOLD, 599 Shore Road, Somers Point, NJ 08244
 Tel: 609-927-5050, Fax: 609-927-3330 andrew@gwthomas.net

- 8) If the applicant is a corporation or partnership, the names and addresses of all stockholders or partners owning 10% or greater interest in said corporation or partnership shall be set forth in accordance with P.L. 1977 Ch. 336.

(If applicable, attach list)



CITY OF OCEAN CITY
 DIVISION OF PLANNING
 115 12th Street
 OCEAN CITY, NJ 08226
 609-399-6111 * FAX 609-399-8419

ESCROW FEES SUBMITTED
FINANCIAL RESPONSIBILITY STATEMENT

Section 25-1300.15.2 Amounts Specified Are Estimates [Ord. #04-13, § 8], of the Ocean City Zoning Ordinance, 88-27, Volume II, reads as follows:

The amount specified for escrow deposits are estimates, and it is recognized additional escrow fees may be necessary in particular applications. In the event that more than the amount specified for escrow is required in order to pay the reasonable costs incurred, the applicant shall, prior to being permitted to move forward in the approval procedure, pay all additional required sums. In the event a negative escrow balance develops prior to obtaining Certificate of Occupancy for any portion of the project, applicant/owner shall pay all additional required sums.

.....
 I have read Section §25-1300.15.2 and understand that additional escrow fees may be charged at a later date. I herewith agree to pay these additional charged fees. If I fail to pay these fees when requested, I understand that the City will also charge reasonable attorney's fees for the collection of these fees.

Please Print Clearly

Andrew Palmer _____ (Name) _____ (Daytime Phone)

 25 SOUTH ELMWOOD ROAD, EVESHAM, NJ 08053 (Billing Address)
 Andrew Palmer _____ 4/23/20 (Date)
 (Signature)

Note: The application will be deemed incomplete if all information above is not fully completed.



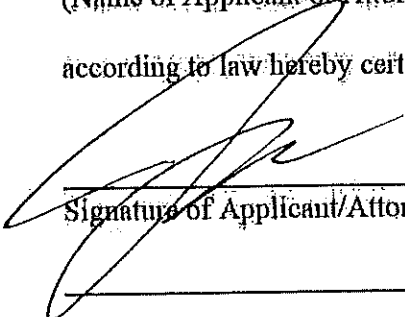
CITY OF OCEAN CITY
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 115 12th Street
 OCEAN CITY, NJ 08226
 609-399-6111 * FAX 609-399-8419

Jon D Batastini

Being duly sworn

(Name of Applicant or Attorney Representing)

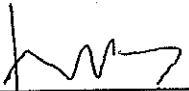
according to law hereby certifies that the information presented in this application is true and accurate.


 Signature of Applicant/Attorney

If applicant is not the owner of the property, have owner sign below or file with application a letter signed by the owner consenting to this application:

The foregoing application is hereby consented to this _____ day of _____, 20_____.

TRADERS EAST LLC



 (Signature of property owner) Robert L. Bachich

3323 SIMPSON AVENUE OCEAN CITY, NJ 08226
 (Address)

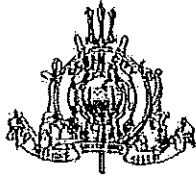
609-391-1616
 (Telephone Number)

Sworn and subscribed before me:

This 23rd day of April 2026


 Signature of Person authorized to take oaths - Notary

MEGAN M MILLER-SCHMIDT
 Notary Public, State of New Jersey
 Comm. # 50099380
 My Commission Expires 02/25/2029



CITY OF OCEAN CITY
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 115 12th Street
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PART III

ADMINISTRATIVE COMPLETENESS

APPLICATION CHECKLIST

(Please submit with your application document)

NAME OF APPLICANT:

PD MANAGEMENT LLC

NAME OF OWNER:

TRADERS EAST LLC

NAME OF PROFESSIONAL(S):

Andrew Bechtold, Tom Tolbert

Required Documents

- | | |
|--|------------------|
| a) One original & 5 copies of the application WITH the completed Checklist | <u>X</u> |
| b) One original & 5 copies of the required plat meeting requirements set forth in Chapter 1500 of the City Ordinance | <u>X</u> |
| c) Required Application Fees as set forth in Chapter XXX of the City Code | <u>X</u> |
| d) Copy of CAFRA application or written explanation of why one isn't needed | <u>See Cover</u> |
| e) Copy of NJDEP Wetlands application or written explanation of why one isn't needed | <u>See Cover</u> |
| f) Current signed and sealed Survey of property (less than 1 year old) | <u>X</u> |
| g) Other submittals required by Board Professionals (if any) | <u>X</u> |
| h) Written description and justification for Waivers & Variances | <u>See Cover</u> |
| i) Certified list of persons to whom notice must be sent, as compiled by the proper administrative officer of the appropriate municipality (Tax Assessor). | <u>X</u> |
| j) Proof from the Tax Collector that real estate taxes and local Assessments have been paid to date | <u>X</u> |
| k) (For Subdivisions only) A Certificate of Title | <u>X</u> |



CITY OF OCEAN CITY
 DIVISION OF PLANNING
 115 12th Street
 OCEAN CITY, NJ 08226
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PART IV

PLAT REQUIREMENTS

MINOR SUBDIVISION PER §25-1500.5.2

NAME OF APPLICANT: PD Management Company, LLC

NAME OF OWNER: Traders East LLC

BLOCK: 3305 LOT: 3 ADDRESS: 3323 Simpson Avenue

a. General Requirements. The plat for a minor subdivision shall be drawn at a scale of not less than twenty feet (20') to the inch with North oriented to the top of the page, shall conform to the provisions of the New Jersey Map Filing Law, N.J.S.A. 46:23-9.9 et seq, and shall include or be accompanied by the information specified below:

1. All dimensions both linear and angular, of the exterior boundaries of the subdivision, all lots and lands reserved or dedicated for public use shall balance and their descriptions shall close within a limit of error of not more than one (1) part in ten thousand (10,000). X

2. The minor subdivision shall be based upon a current boundary survey prepared in accordance with N.J.A.C. 13:40-5.1, Preparation of Land Surveys, certified to the subdivider and prepared or recertified not more than twelve (12) months prior to the date of application. X

3. All topographical data (based on North American Vertical Datum (NAVD88) on-site and within twenty five feet (25') of the site. Contours shall be shown at one foot (1') intervals throughout. X

b. *Title Block.* A title block shall appear on all sheets and include:

1. Title to read "Minor Subdivision." X

2. Name of the subdivision, if any. X

3. Date (of original and all revisions). X

4. Name, signature, address and license number of the land surveyor who prepared the map and made the survey (the plat shall bear the embossed seal of said land surveyor). X

c. *Detailed Information.*

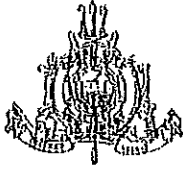
1. A key map (at a scale of not less than one inch (1") equals one thousand feet (1,000') showing the location of the tract to be subdivided with reference to surrounding areas, existing streets which intersect or border the tract, the names of all such streets and any zone district boundaries and City boundary which is within five hundred feet (500') of the subdivision. X

2. The names of all owners of and property lines of parcels within two hundred feet (200') of the land to be subdivided as shown by the most recent records of the City. X



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- 3. Tax map sheet, block and lot number(s) of the tract to be subdivided as shown on the latest City Tax Map, the date of which shall also be shown. X
- 4. Acreage of the tract being subdivided to the nearest hundredth of an acre. X
- 5. Names and addresses of owner and subdivider so designated. X
- 6. All zone district boundaries, City borders, existing public easements, tax map lot and block numbers, watercourses, floodways and flood hazard areas within two hundred feet (200'), and the width of the right-of-way of each street within two hundred feet (200') of the subdivision. X
- 7. All existing structures, with an indication of those which are to be destroyed or removed, and the front, rear and side yard dimensions of those to remain, referenced to proposed lot lines. X
- 8. All proposed public easements or right-of-ways and the purposes thereof. Attorney
- 9. The existing systems of drainage of the subdivision and of any larger tract of which it is a part, together with information on how it is proposed to dispose of surface drainage (where required by the Board or City Engineer). Waiver
- 10. All proposed lot lines and the areas of all lots in square feet. The areas and dimensions specified shall be shown to the nearest hundredth of a square foot or hundredth of a linear foot. X
- 11. North arrow. X
- 12. Written and graphic scales. X
- 13. A copy of any existing or proposed covenants or deed restrictions applying to the land being subdivided or certification that none exists. Such certification may be in letter form signed by a member of the New Jersey Bar, by a title officer or authorized agent of a title insurance company licensed to do business in New Jersey. Attorney
- 14. Proposed lot and block numbers as assigned by the City Tax Assessor in accordance with the digitized lot numbering system specifications promulgated by the New Jersey Division of Taxation. X
- 15. Such other information as the Board and/or City Engineer may require or request during the review of the application for classification and approval as a minor subdivision. X
- 16. In those instances where the minor subdivision application requires variance approval pursuant to N.J.S.A. 40:55D-70c, floor plans, elevation drawings and plot plans for each lot and structure depicting building and yard dimensions, architectural details, fenestration and building materials. X
- d. County Planning Board (if located on County Road) N/A
- e. Sewerage Service Availability Waiver



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PLAT REQUIREMENTS
MINOR SITE PLAN PER §25-1500.13.2

NAME OF APPLICANT: PD Management Company, LLC

NAME OF OWNER: Traders East LLC

BLOCK: 3305 LOT: 3 ADDRESS: 3323 Simpson Avenue

a. General Requirements. The plan for a minor site plan shall be drawn with North oriented to the top of the page, at a scale of not less than fifty feet (50') to the inch nor larger than ten feet (10') to the inch, with North oriented to the top of the page, on one of the four standard sheet sizes (8.5" x 14", 15" x 21", 24" x 36", 30" x 42"), shall conform to the provisions of the New Jersey Map Filing Law, N.J.S.A. 46:23-9.9 et seq., and shall include or be accompanied by the information specified below:

1. The minor site plan shall be based upon a current boundary survey prepared in accordance with N.J.A.C. 13:40-5.1, Preparation of Land Surveys, certified to the owner and prepared or recertified not more than twelve (12) months prior to the date of application. If more than twelve (12) months has passed since the date of (or date of last recertification) of the survey, it shall be recertified and, if necessary, brought up-to-date.

X

b. *Title Block.* A title block shall appear on all sheets and include:

1. Title to read "Minor Site Plan."
2. Name of development, if any.
3. Tax map sheet, block and lot designation.
4. Street Address.
5. Name of applicant and owner.
6. Date (of original and all revisions).

X

X

X

X

X

X

7. Name, signature, address and license number of the professional who prepared the plan and their embossed seal.

X

8. If the site plan contains more than one sheet, each sheet shall be numbered and titled.

X

c. *Detailed Information.*

1. A current aerial image (at a scale of not less than one inch (1") equals one thousand feet (1,000') with North oriented to top of the page, indicating the location of the subject parcel with reference to surrounding areas, existing streets which intersect or border the parcel, the names of all such streets and any zone district boundaries and City boundary which is within five hundred feet (500') of the subject parcel.

X



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2. The names and addresses of all owners, and property classifications of all parcels within two hundred feet (200') of the subject parcel as shown by the most recent records of the City. X

3. A portion of the current Ocean City Zoning Map showing the subject parcel and zone district boundaries, existing easements, watercourses, floodways and flood hazard areas within two hundred feet (200'), and the width of the right-of-way of each street within two hundred feet (200') of the subject parcel. X

4. A portion of the current Ocean City Tax Map showing the subject parcel, zone district boundaries, existing easements and public rights-of-way within two hundred feet (200') of the subject parcel. X

5. A schedule shall be placed on the site plan indicating:
- a) The area of the tract and site (the portion of the tract involved in the site plan). X
 - b) The floor area (and floor area ratio where appropriate) of the existing and proposed building (listed separately). X
 - c) The proposed use or uses and the floor area devoted to each use. X
 - d) The zone in which the site is located. X
 - e) Proposed and required lot dimensions and front, rear and side setbacks. X
 - f) Proposed and required off-street parking spaces. X
 - g) Square footage and percentage of the site retained in unoccupied open space. X
 - h) Square footage and percentage of the site considered as Building Coverage. X
 - i) Building height measured from the appropriate reference point. X
 - j) Applicant's compliance with the zoning requirements. X

6. All existing structures, with an indication of those which are to be removed, and the front, rear and side yard dimensions of those to remain, referenced to existing lot lines. X

7. All existing and proposed private and public easements or rights-of-way and the purposes thereof. Attorney

8. North arrow. X

9. Written and graphic scales. X

10. All required endorsements or certifications and space for the appropriate signatures. X

11. A copy of any existing or proposed covenants or deed restrictions applying to the subject property or certification that none exists. Such certification may be in letter form signed by a member of the New Jersey Bar, by a title officer or authorized agent of a title insurance company licensed to do business in New Jersey. Attorney

12. Spot elevations at all four (4) corners of the subject parcel (oceanfront parcels require two (2) additional spot elevations, one (1) at midpoint on each of the two (2) side lot lines). X



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13. Sufficient spot elevations (NAVD88 datum) and/or contour lines to indicate the proposed system of surface drainage and the relationship of proposed grading to the land surrounding the site. X

14. FEMA flood zone, base flood elevation, Zoning Flood Elevation and such other information as may assist the Planning Board in the determination of floodway and flood hazard area limits. X

15. The following shall also be required unless the administrative officer determines that they are not necessary to provide a full understanding of the application:

a) Existing at point of connection and all proposed manholes, sewer lines, waterlines, fire hydrants, utility poles and all other topographical features of a physical or engineering nature within the site and within fifty (50) feet thereof. X

b) All existing structures on the site and within fifty (50) feet thereof, including their use, thereof including those to be destroyed or removed and those to remain. X

c) Location, use, finished grade level, ground coverage, first-floor and basement elevations, front, rear and side setbacks of all buildings and other pertinent improvements. X

d) The capacity of off-street parking areas including setbacks, location and dimensions of all access drives, aisles and parking stalls. X

e) The location and size of proposed loading docks. N/A

f) Location of curbs, sidewalks, above-ground utilities including overhead electric transmission wires. X

g) Cross-section(s) showing the composition of pavement areas, curbs and sidewalks. X

h) Exterior lighting plan, including the location, direction of illumination, amount of illumination expressed in horizontal footcandles, wattage and drawn details of all outdoor lighting standards and fixtures. X

i) Landscaping and screening plan including planting note and plant guarantees, showing the size, location, type, spacing and number of each type of street tree, shrub and groundcover to be utilized. X

j) Location of signs and drawn details showing the size, nature of construction, height, lighting and content of all signs. X

k) Drawn details of the type of screening to be utilized for refuse storage areas, air conditioning units, outdoor equipment and bulk storage areas. N/A

l) Floor plans and building elevation drawings of any proposed structure or structures or existing structures to be renovated. X



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m) Written description of the proposed operations in sufficient detail to indicate the effects of the use in producing traffic congestion, noise, glare, air pollution, fire hazards or safety hazards. The written description shall indicate the use, the number of shifts to be worked, the number of employees in each shift, the number of vehicles to be stored or parked on the site, and provisions to be made for site maintenance. Attorney

n) Road dedication, where required. X

o) Proposed sight easements, where required. X

p) Proposed drainage easements, where required. X

q) Soil Erosion and Sediment Control plan, where required. Waiver

16. Such other information as the Board Engineer and/or Planner may require or request during their review of the application. X



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PLAT REQUIREMENTS

VARIANCE 525-1500.6.2

NAME OF APPLICANT: PD Management Company, LLC

NAME OF OWNER: Traders East LLC

BLOCK: 3305 LOT: 3 ADDRESS: 3323 Simpson Avenue

a. *General Requirements.* The plan for a variance shall be drawn at a scale of not less than twenty feet (20') to the inch, with North oriented to the top of the page, shall conform to the provisions of the New Jersey Map Filing Law, N.J.S.A. 46:23-9.9 et seq., and shall include or be accompanied by the information specified below:

1. The variance plan shall be based upon a current boundary survey prepared in accordance with N.J.A.C. 13:40-5.1, Preparation of Land Surveys, certified to the owner and prepared or recertified not more than twelve (12) months prior to the date of application. X

2. Spot elevations at all four (4) corners of the subject parcel (oceanfront parcels required two (2) additional spot elevations, one (1) at midpoint on each of the two (2) side lot lines). X

b. *Title Block.* A title block shall appear on all sheets and include:

1. Title to read "Variance Plan." X

2. Tax map sheet, block and lot designation. X

3. Street address. X

4. Name of the applicant and owner. X

5. Date (of original and all revisions). X

6. Name, signature, address and license number of the professional who prepared the plan. X

c. *Detailed Information.*

1. A key map (at a scale of not less than one inch (1") equals one thousand feet (1,000') with North oriented to top of the page, showing the location of the subject parcel with reference to surrounding areas, existing streets which intersect or border the parcel, the names of all such streets and any zone district boundaries and City boundary which is within five hundred feet (500') of the subject parcel. X

2. The names and addresses of all owners, and property classifications of all parcels within two hundred feet (200') of the subject parcel as shown by the most recent records of the City. X



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 115 12th Street
 OCEAN CITY, NJ 08226
 609-399-6111 * FAX 609-399-8419

3. A portion of the current Ocean City Zoning Map showing the subject parcel and zone district boundaries, existing easements, watercourses, floodways and flood hazard areas within two hundred feet (200'), and the width of the right-of-way of each street within two hundred feet (200') of the subject parcel.

X

4. A zoning schedule showing all zoning requirements applicable to the parcel in question, existing conditions, proposed conditions and extent of applicant's compliance with the zoning requirements.

X

5. All existing structures, with an indication of those which are to be removed, and the front, rear and side yard dimensions of those to remain, referenced to existing lot lines.

X

6. All proposed private and public easements or rights-of-way and the purposes thereof.

Attorney

7. North arrow.

X

8. Written and graphic scales.

X

9. All required endorsements or certifications and space for the appropriate signatures.

X

10. A copy of any existing or proposed covenants or deed restrictions applying to the land being subdivided or certification that none exists. Such certification may be in letter form signed by a member of the New Jersey Bar, by a title officer or authorized agent of a title insurance company licensed to do business in New Jersey.

Attorney

11. Such other information as the Board Engineer and/or Planner may require or request during their review of the application.

X

PD Management Company, LLC
3323 Simpson Avenue
Block 3305, Lot 3
Ocean City, NJ
File #5726

Variances Requested:

- Use – two (2) two-family residences are proposed where two-family over commercial is permitted.

Exhibit to Plat Requirements / Minor Subdivision §25-1500.5.2

8. To be supplied by the Applicant's Attorney.
9. Waiver. The existing municipal stormwater system has and will continue to be satisfactory for stormwater management.
13. To be supplied by the Applicant's Attorney.
 - d. N/A
 - e. Waiver. Sewerage Service Availability has been requested as the utility service approval letters will be submitted prior to final approval.

Exhibit to Plat Requirements / Minor Site Plan §25-1500.13.2

7. To be supplied by the Applicant's Attorney.
11. To be supplied by the Applicant's Attorney.
12.
 - a. N/A. No loading docks are proposed.
 - k. No screening is proposed for the HVAC units as they will be located on each unit's deck.
 - m. To be supplied by the Applicant's Attorney.
 - q. A waiver is requested for providing a soils engineer's report at this time. The site is urban in character; the stormwater is largely managed by directing it to the municipal stormwater system.

Exhibit to Plat Requirements / Variance §25-1500.6.2

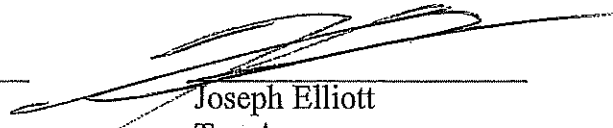
6. To be supplied by the Applicant's Attorney.
10. To be supplied by the Applicant's Attorney.

THE CITY OF OCEAN CITY
TAX ASSESSMENT OFFICE
861 ASBURY AVE, RM 107
OCEAN CITY, NJ 08226
609-525-9374 (TELE #)
609-391-0650 (FAX #)

APPLICANT C/O THOMAS BECHTOLD LLC (200' LIST)
BLOCK NUMBER 3305
LOT NUMBER 3
PROPERTY LOCATION 3323 SIMPSON AVENUE, OCEAN CITY, NJ

I HEREBY CERTIFY THAT THE ATTACHED LIST IS A TRUE COPY OF THE OWNERS OF RECORD AS INDICATED BY THE CORRESPONDING BLOCK AND LOT ON THE TAX MAP OF THE CITY OF OCEAN CITY. 1,2

DATE 3/27/2026



Joseph Elliott
Tax Assessor

1. This report was developed using digital data from the Ocean City/Remington and Vernick, Engineers Geographic Information System. This report is a secondary product and has not been verified by Remington and Vernick Engineers.
2. The attached report was developed using digital data from the Ocean City/Remington and Vernick Engineers GIS system to establish the properties that fall within the 200 foot criteria. In addition, the owner names, address, etc. (as defined by the 200' criteria) data was taken from the BRT Technologies, Inc. Tax Assessor Report Generator. The information contained in the attached report is subject to the accuracy limitations of said programs and subject to the accuracy of the information contained therein as of the date of the report generation.

| Block Lot Qual | Property Location Additional Lot Additional Lot | Property Class | Owner Address City, State | Zip Code |
|----------------------|---|-------------------|---|----------|
| 3304 3 C1 | 3329 HAVEN AVE | 2 | STIGNORA, THOMAS & DIANE 403 PORTLAND DR BROOMALL, PA | 19008 |
| 3304 3 C2 | 3331 HAVEN AVE | 2 | OCNJ SHORE HOLDINGS LLC 120 GRANT AVE DEPTFORD, NJ | 08096 |
| 3304 4 C1 | 3325-27 HAVEN AVE | 2 | WEISS, CHRISTINE M 3325 HAVEN AVE OCEAN CITY, NJ | 08226 |
| 3304 4 C2 | 3325-27 HAVEN AVE | 2 | FUCHS, MICHAEL J & JENNIFER ANN 2933 HANNAH AVE NORRISTOWN, PA | 19401 |
| 3304 5 C1 | 3321 HAVEN AVE 6;DEED OF CONSOLIDAT FILED 7/23 | 2 | ENGLISH, ROBERT P & BONNIE 329 N TYSON AVENUE GLENVIEW, PA | 19038 |
| 3304 5 C2 | 3323 HAVEN AVE 6;DEED OF CONSOLIDAT FILED 7/23 | 15F | CACCIA, JOHN F III & JILL M 3323 HAVEN AVE OCEAN CITY, NJ | 08226 |
| 3304 7 | 3317-19 HAVEN AVE 243304 L293 | 2 | WHITEHEAD, C J & J R PO BOX 105 WESTTOWN, PA | 19395 |
| 3304 8 | 3313-15 HAVEN AVE OB3304 L292 | 2 | WHITEHEAD, C J & J R PO BOX 105 WESTTOWN, PA | 19395 |
| 3304 9 C1 | 3309 HAVEN AVENUE | 2 | HANSEN, DAVID P SR & SUSAN E 602 COLUMBIA MILLS COURT WALLINGFORD, PA | 19086 |
| 3304 9 C2 | 3311 HAVEN AVENUE | 2 | HAGGERTY, GREGORY & NICOLE 4 HEATHER LANE MORRISTOWN, NJ | 07960 |
| 3305 1 | 101 34TH ST OB3305,L177.A-179B | 4A | STURDY SAVINGS BANK 506 S MAIN ST CAPE MAY COURT HOUSE, NJ | 08210 |
| 3305 2 C1 | 3325A SIMPSON AVE OB3305,L175,176 | 2 | BRAULINGER, ARNO J 25 HUNTINGTON FARM DR GLEN MILLS, PA | 19342 |
| 3305 2 C2 | 3325D SIMPSON AVE | 2 | SANTELLA, JOSEPH & DENISE 3325 SIMPSON AVE, D OCEAN CITY, NJ | 08226 |

| Block Lot Qual | Property Location Additional Lot Additional Lot | Property Class | Owner Address City, State | Zip Code |
|----------------|---|----------------|---|----------|
| 3305 2 C3 | 3325B SIMPSON AVE | 2 | STOLARSKI, EDWARD J & PATRICIA C- 20 GARNET CIRCLE CONSHOHOCKEN, PA | 19428 |
| 3305 2 C4 | 3325E SIMPSON AVE | 2 | RHOADES, LORI K 138 LATTICE LANE COLLEGEVILLE, PA | 19426 |
| 3305 2 C5 | 3325C SIMPSON AVE | 2 | MEYER, CHRISTOPHER S & JANICE L 312 METSGER WAY CHALFONT, PA | 18914 |
| 3305 2 C6 | 3325F SIMPSON AVE | 2 | TOMLIN, STEPHANIE 3325F SIMPSON AVE OCEAN CITY, NJ | 08226 |
| 3305 3 | 3323 SIMPSON AVE OB3305 L173 | 4A | TRADERS EAST LLC 3323 SIMPSON AVE OCEAN CITY, NJ | 08226 |
| 3305 4 C1 | 3309-11 SIMPSON AVE | 2 | TRAUNER FAMILY LIMITED PARTNERSHIP 5151 LATROBE DR WINDERMERE, FL | 34786 |
| 3305 4 C2 | 3309-11 SIMPSON AVE | 2 | HOFFMAN, PATRICK & STACEY 3084 HIGHLEY RD AUDUBON, PA | 19403 |
| 3305 5 C1 | 3305-07 SIMPSON AVE | 2 | KARVER, CHRISTINE KOLBE 436 E 3RD ST BOYERTOWN, PA | 19512 |
| 3305 5 C2 | 3305-07 SIMPSON AVE | 2 | WORRELL, FRANK R & FRANCES M 3307 SIMPSON AVE OCEAN CITY, NJ | 08226 |
| 3305 6 C1 | 3303 SIMPSON AVE | 2 | RAE, JOHN J JR & CAROL M 605 VERNON RD SPRINGFIELD, PA | 19064 |
| 3305 6 C2 | 3303 SIMPSON AVE | 2 | KRAWCZUN, DANIEL & BARBARA 300 HIGHVIEW CIRCLE WEST CHESTER, PA | 19382 |
| 3305 7 C1 | 3301 SIMPSON AVE | 2 | BOYLE, MAUREEN T & ANN MARIE 3301A SIMPSON AVE OCEAN CITY, NJ | 08226 |
| 3305 7 C2 | 3301 SIMPSON AVE | 2 | SPEERS, BRENDAN P & LEIGHANN M 1292 DEEP RUN RD OTTSTVILLE, PA | 18942 |

| Block Lot Qual | Property Location Additional Lot Additional Lot | Property Class | Owner Address City, State | Zip Code |
|----------------------|---|-------------------|--|----------|
| 3305 7 C3 | 3301 SIMPSON AVE | 2 | FLORIG, WM & LOIS D 115 VILLAGE WAY PHOENIXVILLE, PA | 19460 |
| 3305 7 C4 | 3301 SIMPSON AVE | 2 | SPERING, JENNIFER A TRUSTEE 17789 SE 91ST GAYLARK AVE THE VILLAGES, FL | 32162 |
| 3305 8 C1 | 3300 HAVEN AVE | 2 | GRUBE, TERRENCE C & SANDRA M ETAL 2301 WASHINGTON LN BETHLEHEM, PA | 18015 |
| 3305 8 C2 | 3302 HAVEN AVE | 2 | DUBLISKY, MARK T & DONNA R. 50 KAILA CT MEDIA, PA | 19063 |
| 3305 9 | 3306 HAVEN AVE OB3305,L230.B | 2 | PANNONE, GARY J TRUSTEE ETAL 6 SLEEPY HOLLOW RD MARMORA, NJ | 08223 |
| 3305 10 | 3304 HAVEN AVE OB3305 L230A | 2 | PANNONE, GARY JR 429 E BERNARD ST WEST CHESTER, PA | 19382 |
| 3305 11 C3308 | 3308-10 HAVEN AVE | 2 | PHILLIPS, SALLY & THOMAS WILLIAMS 898 CRUM CREEK ROAD SPRINGFIELD, PA | 19064 |
| 3305 11 C3310 | 3308-10 HAVEN AVE | 2 | QUINN, DAVID J & KRISTEN M 805 WESSEX LN SOMERDALE, NJ | 08083 |
| 3305 12 | 3312 HAVEN AVE OB3305 L232 | 2 | HARRIS, JAMES 3314 HAVEN AVE OCEAN CITY, NJ | 08226 |
| 3305 13 | 3316 HAVEN AVE OB3305 L233 | 2 | HOLSTON, JOHN S JR& NANCY J 20 N HORACE ST WOODBURY, NJ | 08096 |
| 3305 13.01 | 3318 HAVEN AVE | 2 | ROTHSTEIN, DAVID A & MARIAN B 35 N VALENTINE DRIVE GARNET VALLEY, PA | 19060 |
| 3305 14 | 3322 HAVEN AVE OB3305 L234B | 2 | DEVLIN, REBECCA R II 3241 WEST CHESTER PK #C47 NEWTOWN SQUARE, PA | 19073 |
| 3305 15 C1 | 3324-26 HAVEN AVE | 2 | PETRUN, STEPHEN TRUSTEE 668 MILLIKEN CT PERKASIE, PA | 18944 |

| Block Lot Qual | Property Location Additional Lot Additional Lot | Property Class | Owner Address City, State | Zip Code |
|----------------------|---|-------------------|---|----------|
| 3305 15 C2 | 3324-26 HAVEN AVE | 2 | CONWAY, JOHN P JR & ERICA 201 BURLEIGH DR SOMERDALE, NJ | 08083 |
| 3305 16 C1 | 3328-30 HAVEN AVE | 2 | FRASER, PATRICIA 3328 HAVEN AVE OCEAN CITY, NJ | 08226 |
| 3305 16 C2 | 3328-30 HAVEN AVE | 2 | ROOT, SUZY B 4 SPRING LANE PIPERSVILLE, PA | 18947 |
| 3305 17 C1 | 3332-34 HAVEN AVE L18 | 2 | HIGMAN, LORRAINE K 4489 E ALLEN ST PHILADELPHIA, PA | 19137 |
| 3305 17 C2 | 3332-34 HAVEN AVE L18 | 2 | COARY, KRISTEN 356 WHEAT SHEAF WAY COLLEGEVILLE, PA | 19426 |
| 3305 19 | 109 34TH ST 0B3305 L238 | 4A | 109 34TH STREET TT ZZ LLC 100 S SHORE RD UNIT C MARMORA, NJ | 08223 |
| 3306 3 | 3300-02 SIMPSON AVE 0B3306, L109 | 2 | ELMWOOD EVELOPERS LLC 840 NORTH SHORE RD BEESLEYS POINT, NJ | 08226 |
| 3306 3.01 | 3304-06 SIMPSON AVE | 1 | ELMWOOD EVELOPERS LLC 840 NORTH SHORE RD BEESLEYS POINT, NJ | 08226 |
| 3306 5 | 3332-46 SIMPSON AVE 0B3306, L117-120 | 1 | BOARDWALK DEVELOPMENT COMPANY LLC 822 BOARDWALK, STE D OCEAN CITY, NJ | 08226 |

UTILITIES COMPANIES LISTED BELOW **MUST** ALSO BE NOTIFIED:

SOUTH JERSEY GAS COMPANY
CORPORATE HEADQUARTERS
1 SOUTH JERSEY PLAZA
FOLSOM, NJ 08037

VERIZON ENGINEERING DEPT
10 TANSBORO RD FLR 2
BERLIN, NJ 08009

CAPE MAY CO. MUNICIPAL UTILITIES AUTHORITY
ATTN: CORPORATE SECRETARY
1523 ROUTE 9 NORTH
CAPE MAY COURT HOUSE, NJ 08210

NEW JERSEY AMERICAN WATER CO.
JAMES RUNZER, MANAGER
3215 FIRE RD
EGG HARBOR TWP, NJ 08234-5857

COMCAST CABLE
ATTN: GREGORY SMITH, PROJECT MANAGER
901 WEST LEEDS AVE
ABSECON, NJ 08201

ATLANTIC CITY ELECTRIC COMPANY
5100 HARDING HIGHWAY SUITE 399
MAYS LANDING, NJ 08330

TO ALL APPLICANTS:

PLEASE BE ADVISED THAT IT IS THE APPLICANT'S BURDEN TO DETERMINE WHETHER THE
CAPE MAY COUNTY PLANNING BOARD AND/OR THE COMMISSIONER OF THE NJ
DEPARTMENT OF TRANSPORTATION MUST BE PROVIDED NOTICE IN ACCORDANCE
WITH NJSA 40:55D-12.

Rev: 2/10/2017

CONDOMINIUM'S

*PLEASE CONTACT PROPERTY MANAGEMENT/PRESIDENT OF CONDO ASSOCIATION:

B - 3306

L - 1

SEASPRAY CONDOS
3313 BAY AVENUE
OCEAN CITY, NJ 08226

(32 UNITS)

B - 3306

L - 4

TRADERS LANE
3308-30 SIMPSON AVE.
OCEAN CITY, NJ 08226

(14 COMM. UNITS)



CITY OF OCEAN CITY
DIVISION OF PLANNING
115 12th Street
OCEAN CITY, NJ 08226
609-399-6111 * FAX 609-399-8419

PART VI - FORMS

FORM A

CONFIRMATION OF PAID TAXES

[24 HOUR NOTICE MAY BE REQUIRED]

**TO BE COMPLETED BY APPLICANT AND
RETURNED TO THE TAX COLLECTION OFFICE**

NAME: PD MANAGEMENT LLC (TRADERS EAST, LLC - OWNER)

BLOCK: 3305 LOT: 3

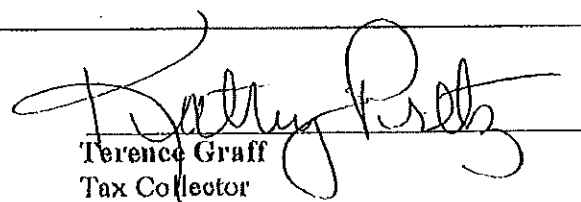
STREET ADDRESS: 3323 SIMPSON AVENUE

TO BE COMPLETED BY TAX COLLECTION OFFICE

Taxes current as of Current

Taxes paid through June 30th, 2nd quarter 20 26

Remarks: _____


Terence Graff
Tax Collector

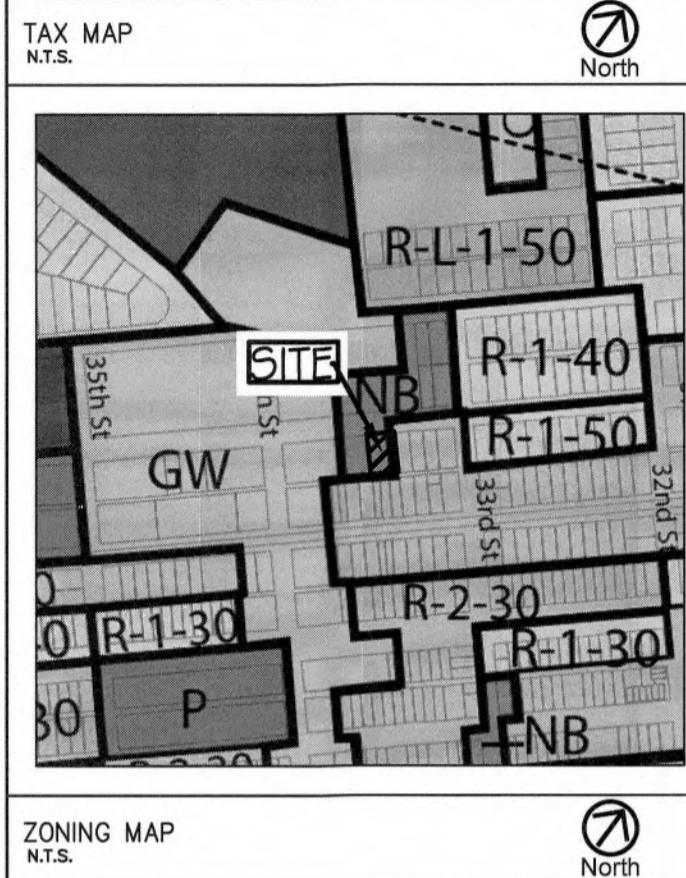
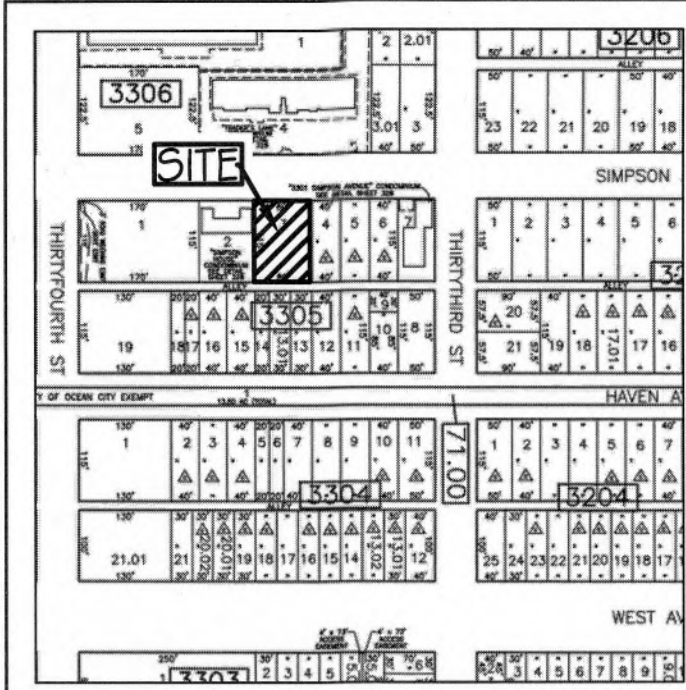
5/19/26
Date

THIS STATEMENT IS NOT AN OFFICIAL TAX SEARCH

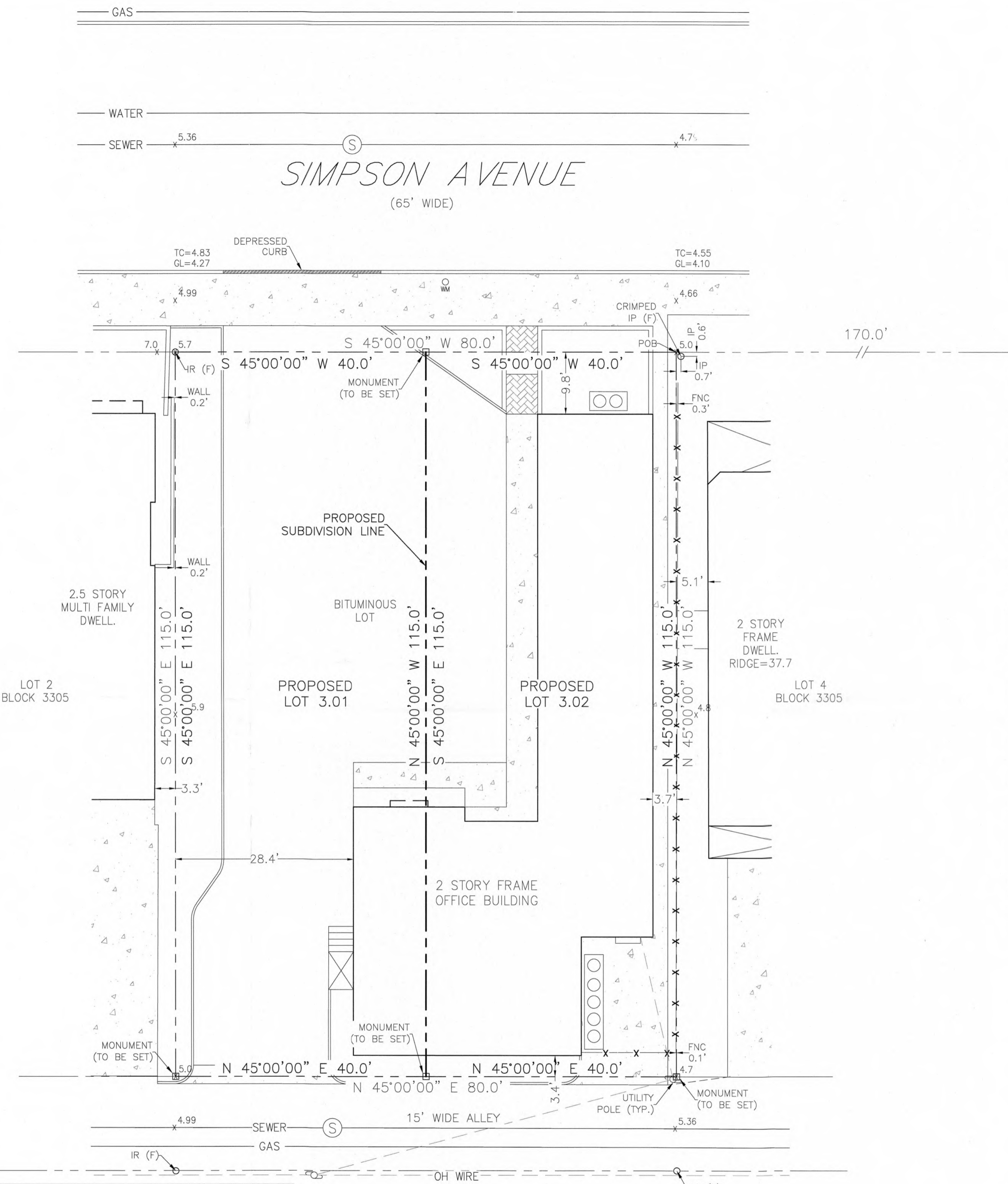
DISCLOSURE OF OWNERSHIP

PD MANAGEMENT LLC, IS A NEW JERSEY LIMITED LIABILITY COMPANY, WITH AN ADDRESS OF 25 SOUTH ELMWOOD ROAD, EVESHAM, NJ 08053.

ANDREW PALMER IS THE ONLY OWNER OF INTEREST IN PD MANAGEMENT LLC, ADDRESS OF MEMBER IS 25 SOUTH ELMWOOD ROAD, EVESHAM, NJ 08053.



- LEGEND:**
- 0.00 X - SPOT ELEVATION
 - ⊕ - CENTER LINE
 - - OVERHEAD WIRE
 - ⊕ - TELEPHONE POLE
 - 98 - BLOCK NUMBER
 - ⊕ - WATER VALVE



| ZONING STANDARD | ZONING COMPLIANCE | | | | ZONING COMPLIANCE | | | |
|-------------------------------------|---------------------|---------------------|---------------------------|-------------------|---------------------------|---------------------|---------------------|-------------------|
| | REQUIRED/ PERMITTED | EXISTING CONDITIONS | PROPOSED CONDITIONS | VARIANCE REQUIRED | REQUIRED/ PERMITTED | EXISTING CONDITIONS | PROPOSED CONDITIONS | VARIANCE REQUIRED |
| USE | 2 FAMILY OVER COMM | OFFICE | 2 FAMILY | NO | 2 FAMILY | YES | 2 FAMILY | NO |
| MINIMUM LOT AREA INTERIOR | 3,000 SF | 9,200 SF | 4,000 SF | NO | 4,000 SF | NO | 4,000 SF | NO |
| MINIMUM LOT WIDTH FRONTAGE INTERIOR | 30' | 60' | 40' | NO | 40' | NO | 40' | NO |
| MINIMUM BUILDING SETBACKS | | | | | | | | |
| FRONT | 10' | 9.8' | 10' | NO | 10' | NO | 10' | NO |
| SIDE INTERIOR | 5' | 3.7' | 5.0' | NO | 5.0' | NO | 5.0' | NO |
| SIDE-ADJACENT INTERIOR | 11' | 33.1' | 12' | NO | 12' | NO | 12' | NO |
| REAR | 20' | 3.4' | 20' HOUSE/ 21' DECK | NO | 20' HOUSE/ 21' DECK | NO | 20' | NO |
| MINIMUM LOT DEPTH | 100' | 110' | 110' | NO | 110' | NO | 100' | NO |
| MAXIMUM BUILDING HEIGHT | 30' FROM ZFE | 18' +/- FROM ZFE | 28.8' FROM ZFE | NO | 28.8' FROM ZFE | NO | 30' FROM ZFE | NO |
| FLATROOFED INTERIOR | | | | | | | | |
| MAXIMUM BUILDING COVERAGE | 75% | 30.4% 9,200SF | 1,747 SF 37.9% | NO | 1,747 SF 37.9% | NO | 38% | NO |
| MAXIMUM IMPERVIOUS COVERAGE | 60% | 85.8% 7,888 SF | 2,703 SF 58.7% | NO | 2,703 SF 58.7% | NO | 65% | NO |
| HABITABLE STORES | 3 | 2 | 2 | NO | 2 | NO | 2 | NO |
| TREES | REQUIRED | NONE | 2 TREES | NO | 2 TREES | NO | REQUIRED | NO |
| PARKING | 3 SPACES PER UNIT | 8 SPACES | 4 PARKING SPACES PER UNIT | NO | 4 PARKING SPACES PER UNIT | NO | REQUIRED | NO |

GENERAL NOTES:

1. BEING KNOWN AS: LOT 3, BLOCK 3305, BASED ON THE TAX MAP OF THE CITY OF OCEAN CITY.
2. PROPERTY IS ZONED NEIGHBORHOOD BUSINESS "NB".
3. AREA OF PARCEL IS: 9,200 S.F. (0.21 ACRES)
4. PER DOCUMENTS PROVIDED, NO KNOWN EASEMENTS EXIST (UNLESS NOTED) AND NONE ARE PROPOSED
5. THIS PLAN IS PREPARED FOR SUBDIVISION APPROVAL PURPOSES ONLY AND SHALL NOT BE UTILIZED FOR ANY OTHER PURPOSE.
6. SURVEYOR RESERVES THE RIGHT TO REVISE THE PLAN UPON RECEIPT AND REVIEW OF AN ACCURATE TITLE REPORT/ABSTRACT.
7. THE INTENT OF THIS PLAN IS TO SUBDIVIDE ONE LOT INTO TWO NEW LOTS, & TO BE FILED BY DEED ONLY.

8. ANY ELEVATIONS SHOWN ARE BASED ON NAVD 88 DATUM.
9. NO C.A.F.R.A. OR WETLAND PERMITS REQUIRED.
10. THE SUBJECT PROPERTY LIES WITHIN THE AREA SHOWN ON FEMA FLOOD INSURANCE RATE MAP NO. 34009C0088F, EFFECTIVE OCTOBER 5, 2017, FOR THE CITY OF OCEAN CITY, COMMUNITY NO. 345310. THE BASE FLOOD ELEVATION (BFE) AT THIS LOCATION IS 9.0 FEET. ALL DEVELOPMENT SHALL COMPLY WITH APPLICABLE FLOOD HAZARD REGULATIONS.
11. ANY UTILITIES SHOWN ARE PLOTTED IN APPROXIMATE LOCATION AND MUST BE VERIFIED PRIOR TO EXCAVATING.
12. ZONING SETBACKS SHOWN HEREON DEPICT CURRENT STANDARDS, THEY ARE NOT INTENDED AS DEED RESTRICTIONS.
13. ALL PROPOSED BUILDING, GRADING, AND LOT IMPROVEMENTS TO BE APPLIED FOR IN A SEPARATE APPLICATION.
14. AS PER NJ-GEOWEB, THE PROPERTY IS NOT IMPACTED BY WETLANDS, WETLAND TRANSITIONS, OR WETLAND BUFFERS.

200' ADJOINER'S LIST

| ADJOINER | ADDRESS | OWNER | DATE |
|---------------|---------------------|------------------|----------|
| 100' ADJOINER | 3323 SIMPSON AVENUE | TRADERS EAST LLC | 03/02/26 |
| 100' ADJOINER | 3321 SIMPSON AVENUE | TRADERS EAST LLC | 03/02/26 |
| 100' ADJOINER | 3319 SIMPSON AVENUE | TRADERS EAST LLC | 03/02/26 |
| 100' ADJOINER | 3317 SIMPSON AVENUE | TRADERS EAST LLC | 03/02/26 |
| 100' ADJOINER | 3315 SIMPSON AVENUE | TRADERS EAST LLC | 03/02/26 |
| 100' ADJOINER | 3313 SIMPSON AVENUE | TRADERS EAST LLC | 03/02/26 |
| 100' ADJOINER | 3311 SIMPSON AVENUE | TRADERS EAST LLC | 03/02/26 |
| 100' ADJOINER | 3309 SIMPSON AVENUE | TRADERS EAST LLC | 03/02/26 |
| 100' ADJOINER | 3307 SIMPSON AVENUE | TRADERS EAST LLC | 03/02/26 |
| 100' ADJOINER | 3305 SIMPSON AVENUE | TRADERS EAST LLC | 03/02/26 |
| 100' ADJOINER | 3303 SIMPSON AVENUE | TRADERS EAST LLC | 03/02/26 |
| 100' ADJOINER | 3301 SIMPSON AVENUE | TRADERS EAST LLC | 03/02/26 |
| 100' ADJOINER | 3299 SIMPSON AVENUE | TRADERS EAST LLC | 03/02/26 |
| 100' ADJOINER | 3297 SIMPSON AVENUE | TRADERS EAST LLC | 03/02/26 |
| 100' ADJOINER | 3295 SIMPSON AVENUE | TRADERS EAST LLC | 03/02/26 |
| 100' ADJOINER | 3293 SIMPSON AVENUE | TRADERS EAST LLC | 03/02/26 |
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| 100' ADJOINER | 3073 SIMPSON AVENUE | TRADERS EAST LLC | 03/02/26 |
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| 100' ADJOINER | 3061 SIMPSON AVENUE | TRADERS EAST LLC | 03/02/26 |
| 100' ADJOINER | 3059 SIMPSON AVENUE | TRADERS EAST LLC | 03/02/26 |
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| 100' ADJOINER | 3043 SIMPSON AVENUE | TRADERS EAST LLC | 03/02/26 |
| 100' ADJOINER | 3041 SIMPSON AVENUE | TRADERS EAST LLC | 03/02/26 |
| 100' ADJOINER | 3039 SIMPSON AVENUE | TRADERS EAST LLC | 03/02/26 |
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| 100' ADJOINER | 3007 SIMPSON AVENUE | TRADERS EAST LLC | 03/02/26 |
| 100' ADJOINER | 3005 SIMPSON AVENUE | TRADERS EAST LLC | 03/02/26 |
| 100' ADJOINER | 3003 SIMPSON AVENUE | TRADERS EAST LLC | 03/02/26 |
| 100' ADJOINER | 3001 SIMPSON AVENUE | TRADERS EAST LLC | 03/02/26 |
| 100' ADJOINER | 2999 SIMPSON AVENUE | TRADERS EAST LLC | 03/02/26 |
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LOT 3.02 BLOCK 3305
 LOT SIZE = 4600 SF
 BUILDING COVERAGE = 1741 SF, 37.8%
 (ALLOWABLE = 1748 SF, 38%)
 IMPERVIOUS COVERAGE = 2103 SF, 58.7%
 (ALLOWABLE = 2390 SF, 65%)
 RIDGE EL. = +42.5'
 HI GARAGE = +6.5' NAVD
 FIRST FL. EL. = +14.0' NAVD
 BFE = +3.0'
 PROPOSED STRUCTURE TO HAVE GUTTERS AND DOWNSPOUTS

LOT 3.02 BLOCK 3305
 LOT SIZE = 4600 SF
 BUILDING COVERAGE = 1741 SF, 37.8%
 (ALLOWABLE = 1748 SF, 38%)
 IMPERVIOUS COVERAGE = 2103 SF, 58.7%
 (ALLOWABLE = 2390 SF, 65%)
 RIDGE EL. = +42.5'
 HI GARAGE = +6.5' NAVD
 FIRST FL. EL. = +14.0' NAVD
 BFE = +3.0'
 PROPOSED STRUCTURE TO HAVE GUTTERS AND DOWNSPOUTS

NOTE: SIDEWALKS AND DRIVEWAYS SHALL HAVE A MINIMUM CONCRETE THICKNESS OF 4" EXCEPT WHERE THE SIDEWALK IS PART OF A DRIVEWAY IN WHICH CASE THE MINIMUM CONCRETE THICKNESS SHALL BE 6". MINIMUM SIDEWALK WIDTH SHALL BE 6' EXCEPT IN THOSE BLOCKS OR AREAS WHERE PARTIALLY DEVELOPED SIDEWALKS OR LESSER OR GREATER WIDTHS EXIST.

THAT PORTION OF THE DRIVEWAY FROM THE INTERIOR PROPERTY LINE TO THE STREET SHALL HAVE A MINIMUM THICKNESS OF 6" AND SHALL BE CONSTRUCTED OF CONCRETE. ALL DRIVEWAYS SHALL BE REINFORCED WITH WELDED WIRE FABRIC (MIN. 6x6) FIBERGLASS OR AN EQUIVALENT APPROVED BY THE CITY ENGINEER OR HIS DESIGNEE.

EXPANSION JOINTS SHALL BE INSTALLED AT INTERVALS NOT EXCEEDING 20'. PREFORMED BITUMINOUS CELLULAR JOINT FILLERS 1/2" THICK SHALL BE PLACED IN THE EXPANSION JOINTS. FORMED JOINTS SHALL BE CUT INTO THE CONCRETE SIDEWALK BETWEEN THE EXPANSION JOINTS AT EQUAL INTERVALS NOT EXCEEDING WITH WIDTH OF THE SIDEWALK.

LOT 4 BLOCK 3305
 3305-11 SIMPSON AVE
 TRAINER FAMILY LIMITED PARTNERSHIP
 515 LATROBE DRIVE WINDYHIRE FL

LANDSCAPING MAINTENANCE PROGRAM

THE MAINTENANCE PROGRAM IS A FOUR SEASON LANDSCAPE PROGRAM. BELOW IDENTIFY A RECOMMENDED PROCEDURE FOR THE FOUR SEASONS. THIS PROGRAM IS TO BE FOLLOWED BY A LANDSCAPING CONTRACTOR.

SPRING: THE AREA IS TO BE POWER RAKED TO REMOVE ACCUMULATED DEBRIS AND TO READY ANY BARE AREAS FOR RESEEDING ACCORDING TO THE REQUIREMENTS OF THE SOIL EROSION AND SEDIMENTATION CONTROL PLAN.

SUMMER: ON A WEEKLY BASIS THROUGHOUT THE SPRING, SUMMER AND FALL SEASONS, THE VEGETATION WITHIN THE AREA WILL BE WEDED, PRUNED OR MOVED IN CONJUNCTION WITH OTHER AREAS OF THE SITE. ANY SEDIMENT BUILDUP IS TO BE REMOVED AND DISPOSED OF.

FALL: ON ALTERNATE YEARS, GRASSES IN THE AREA SHOULD BE DE THATCHED. IN ADDITION, ALL THATCHED MATERIAL AND ANY OTHER DEBRIS SHOULD BE REMOVED AND DISPOSED OF. LIME AND FERTILIZER SHALL BE PLACED ON THE SURFACE. APPLICATION RATE SHALL BE AS FOLLOWS:

LIMESTONE: 70 LBS/1000 SF
 FERTILIZER: 5 LBS/1000 SF

IN AREAS CONTAINING NO COVER, THE SURFACE SHALL BE RAKED AND SMOOTHED PRIOR TO THE APPLICATION OF THE LIMESTONE AND FERTILIZER AFTER WHICH A SEED MIXTURE OF KY-31 SHALL BE APPLIED AT A RATE OF 0.4 LBS. PER 1000 SF. IN AREAS CONTAINING MATURE GROWTH, THE RESEEDING APPLICATION RATE SHALL BE EQUAL TO 0.2 LBS. PER 1000 SF.

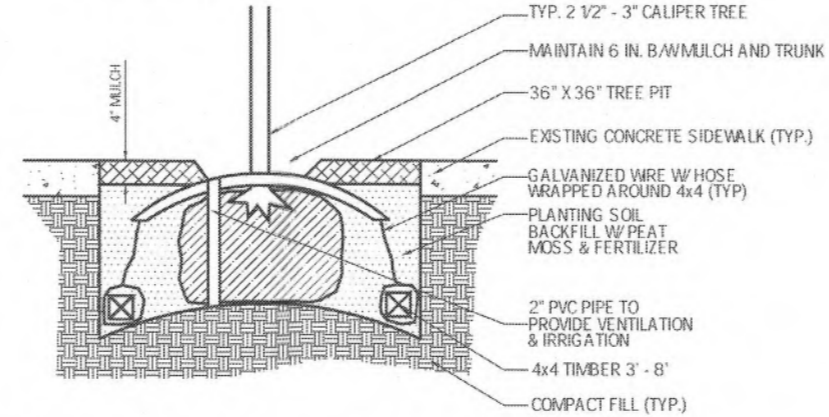
NEWLY SEEDD AREAS SHALL BE PROTECTED FROM EROSION EITHER BY MULCH ANCHORING WITH NETTING OR MULCH BINDERS OR USING LIQUID MULCH BINDERS.

WINTER: THE WORK EFFORT DURING THIS PERIOD WILL CONSIST OF THE REMOVAL OF ACCUMULATED TRASH, RUBBISH AND DEBRIS FROM THE AREA.

COST: IT IS ESTIMATED THAT THE COST OF PLACING SUCH A LANDSCAPE CONTRACT WILL BE APPROXIMATELY \$8,000.00 PER YEAR.

ALL TREES & SHRUBS WILL BE GUARANTEED FOR A PERIOD OF 24 MONTHS FROM THE DATE OF INSTALLATION OR THEY WILL BE REPLACED.

ALL LANDSCAPING IS REQUIRED TO MEET THE MINIMUM STANDARDS SET FORTH WITHIN THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1-2004



SECTION OF PLANTING METHOD

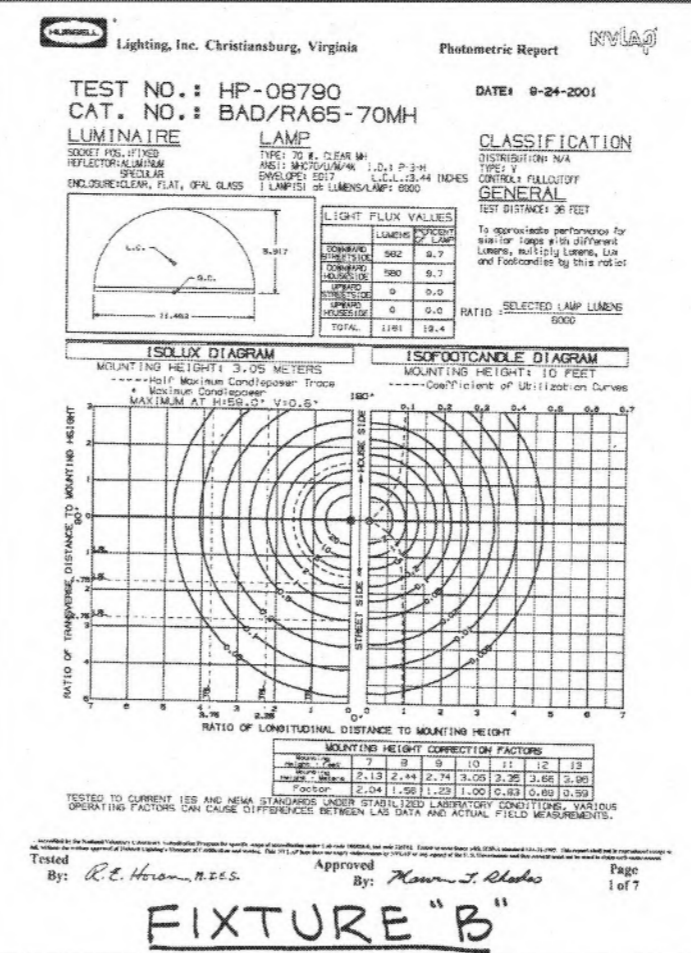
SEE PLOT PLANS

- NOTES:
- 1) SIDEWALKS SHALL BE 4" THICK AND BE CONSTRUCTED WITH CLASS 'B' CONCRETE AS PER N.J.S.I.D. STANDARDS SPECIFICATIONS.
 - 2) TRANSVERSE EXPANSION JOINTS, 1/2" WIDE, SHALL BE MINIMUM OF 20' O.C.
 - 3) LONGITUDINAL JOINTS, 1/2" WIDE, SHALL BE PROVIDED BETWEEN CURBS AND ABUTTING SIDEWALKS WITH PREFORMED BITUM JOINT FILLER.
 - 4) SIDEWALKS SHALL HAVE A BROOK FINISH.
 - 5) MAX CROSS SLOPE 2%.
 - 6) AREAS WHERE VEHICULAR TRAFFIC WILL DRIVE ON THE SIDEWALK THE CONC MUST BE 6" THICK WITH REINFORCEMENT.

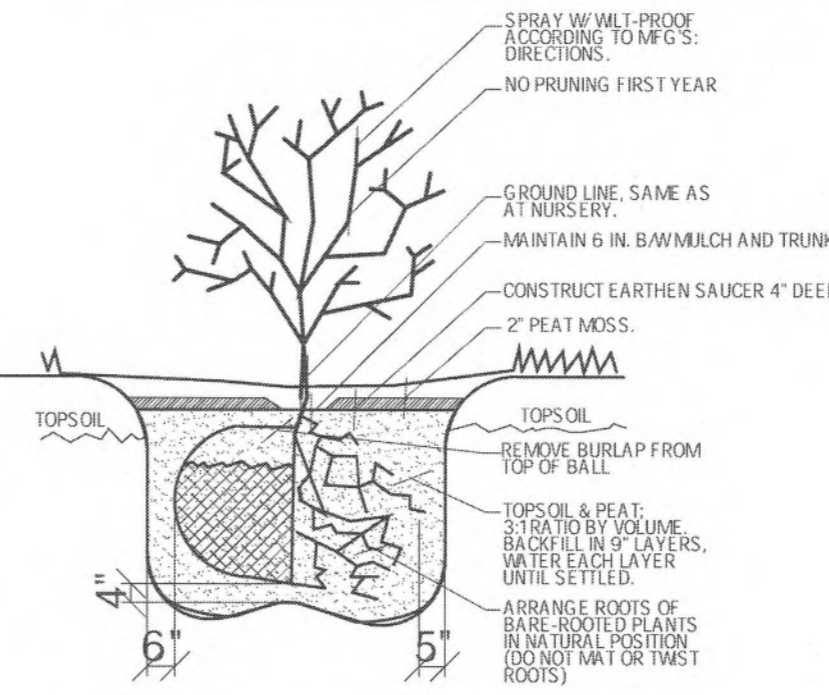
SIDEWALK DETAIL



LIGHT DETAIL



FIXTURE "B"



PLANTING DETAIL: SHRUBS

NOTES:

1. FLOOD PLANTS TWICE WITHIN FIRST 24 HOURS.
2. FERTILIZE WITH 2 POUNDS 8-10-10 BACKFILLING, BUT NOT ADJACENT TO ROOTS.
3. ERIGENDOUS PLANTS TO RECEIVE A SURFACE APPLICATION OF ALUMINUM SULFATE AT THE RATE OF 1/2 POUND PER TO SQUARE FEET ARE WATERED INTO SOIL OTHER PLANTS TO RECEIVE LIME AT A RATE OF 2 POUNDS PER PLANT.

SPRAY W/ WET-PROOF ACCORDING TO MFG'S DIRECTIONS. NO PRUNING FIRST YEAR.

GROUND LINE SAME AS AT WORK SITE.

MAINTAIN 6 IN. B/MULCH AND TRUNK.

CONSTRUCT EARTHEN SAUCER 4" DEEP.

2" PEAT MOSS.

REMOVE BURLAP FROM TOPSOIL.

TOPSOIL & PEAT. SITUATED BY VOLUME RACKLE IN 8" LAYERS. WATER EACH LAYER UNTIL SATURATED.

ARRANGE ROOTS OF BARE ROOTED PLANTS IN WINDWARD POSITION (NORTH OR WEST ROOTS).

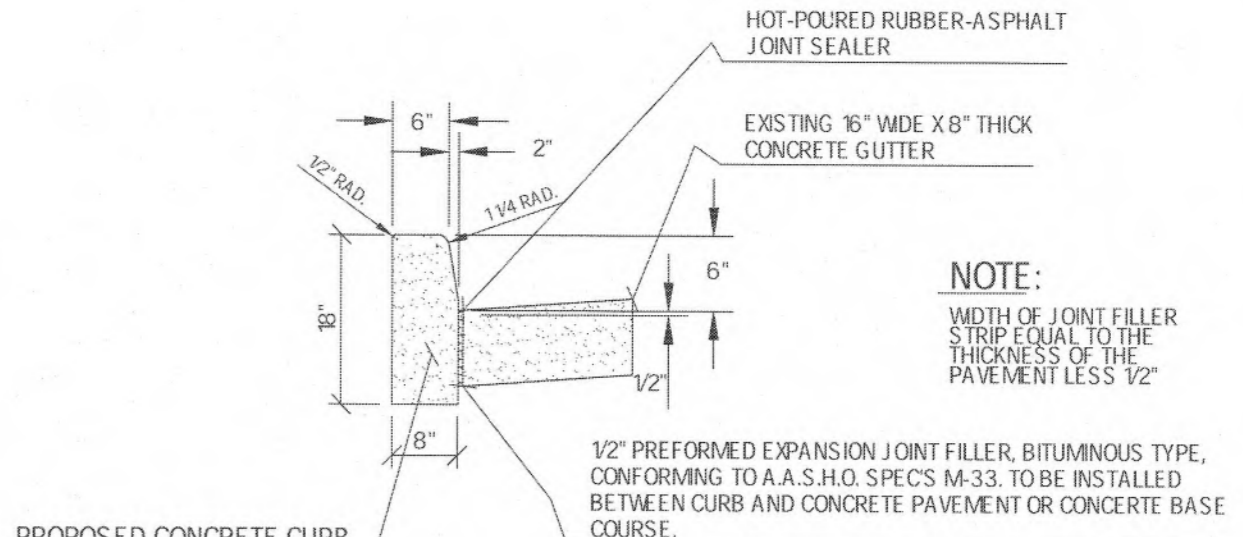
6" CONCRETE APRON.

2% MAX CROSS SLOPE OF SIDEWALK.

DEPRESSIONED CURB.

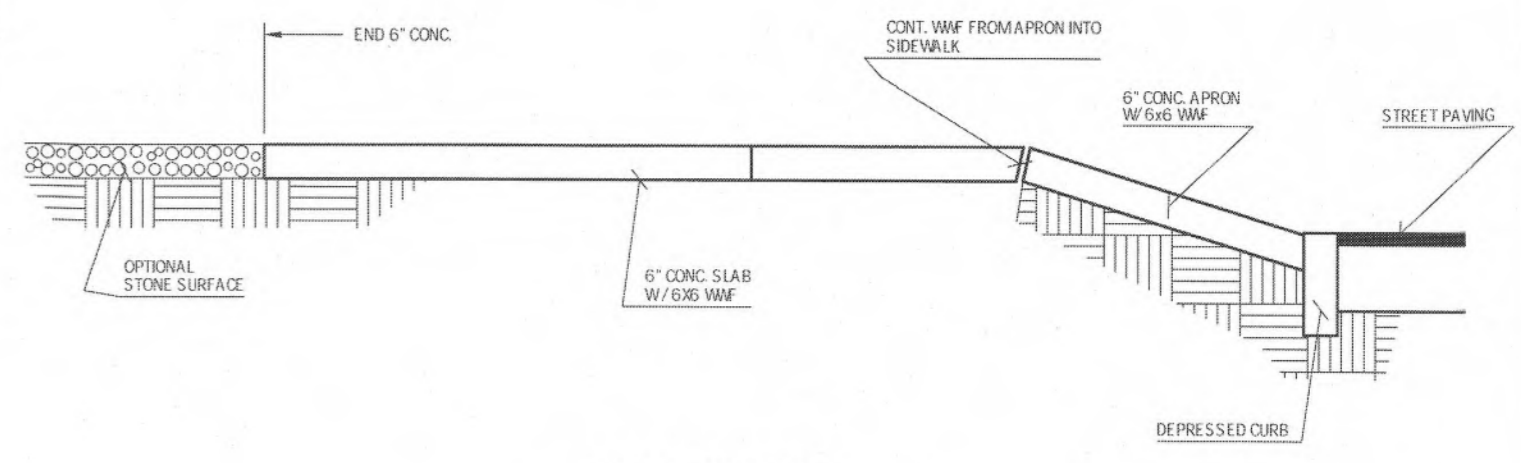
STREET PAVING.

EXISTING CURB HEIGHT VARIES.



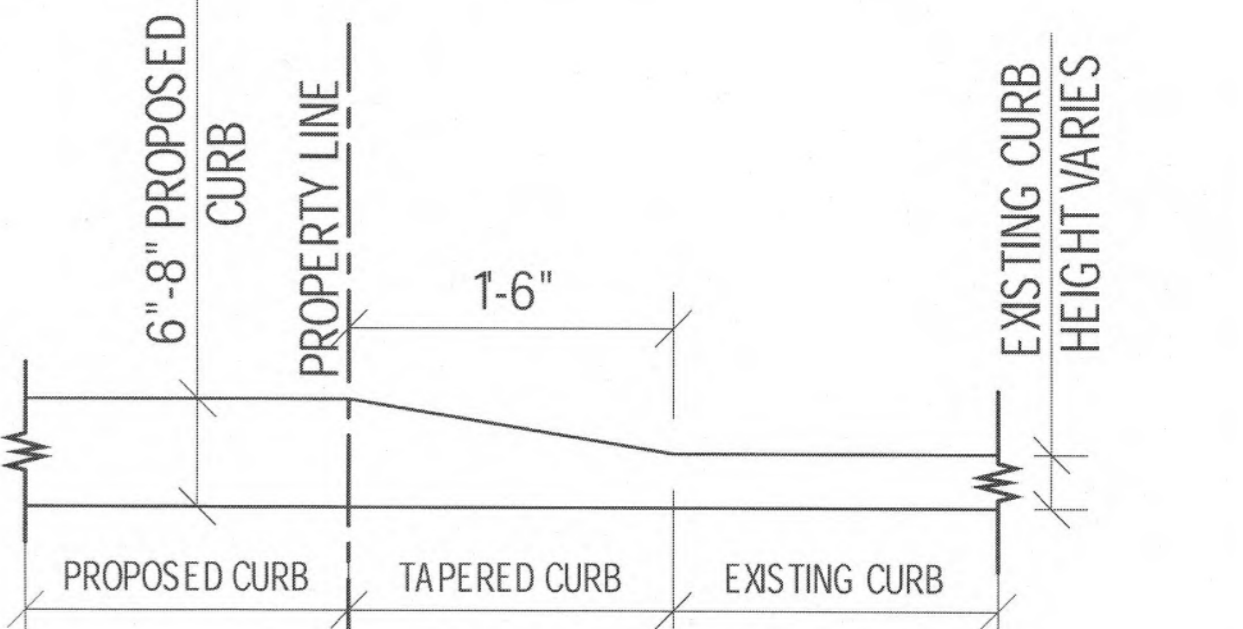
CURB DETAIL

TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS-IMPREGNATED FIBER JOINT FILLER, COMPLYING WITH THE REQUIREMENTS OF A.A.S.H.O. SPEC. M-215, RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.

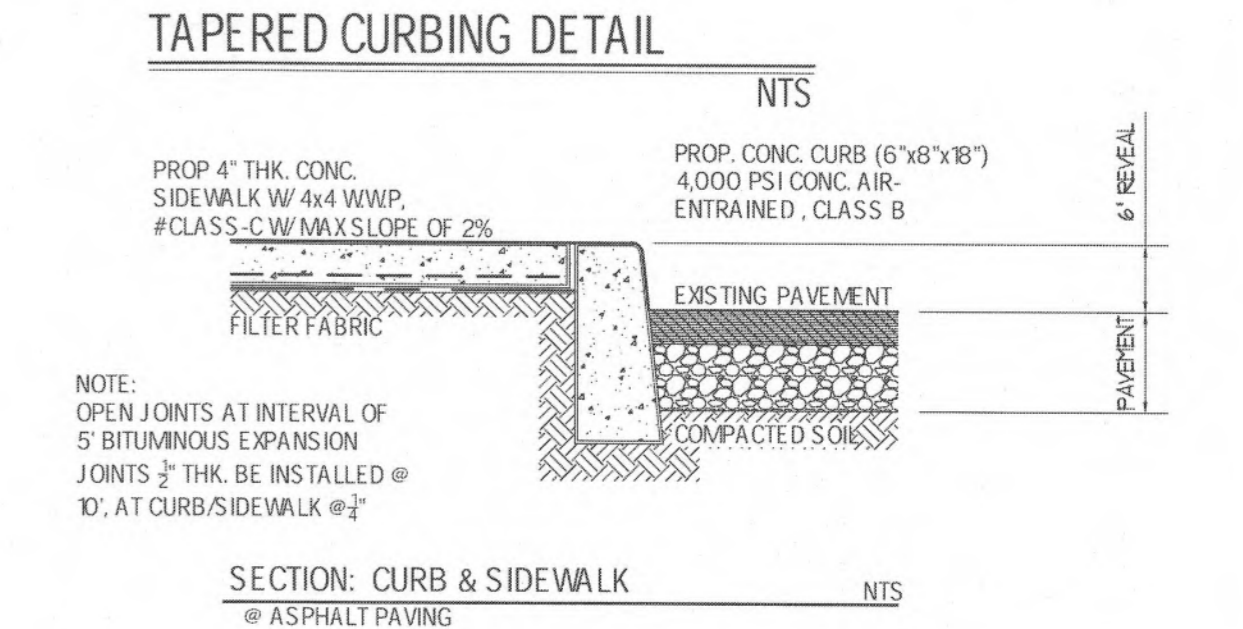


TAPERED CURBING DETAIL

NOTE: OPEN JOINTS AT INTERVAL OF 5' BITUMINOUS EXPANSION JOINTS 1/2" THK. BE INSTALLED @ 10' AT CURB/SIDEWALK @ 1/2"



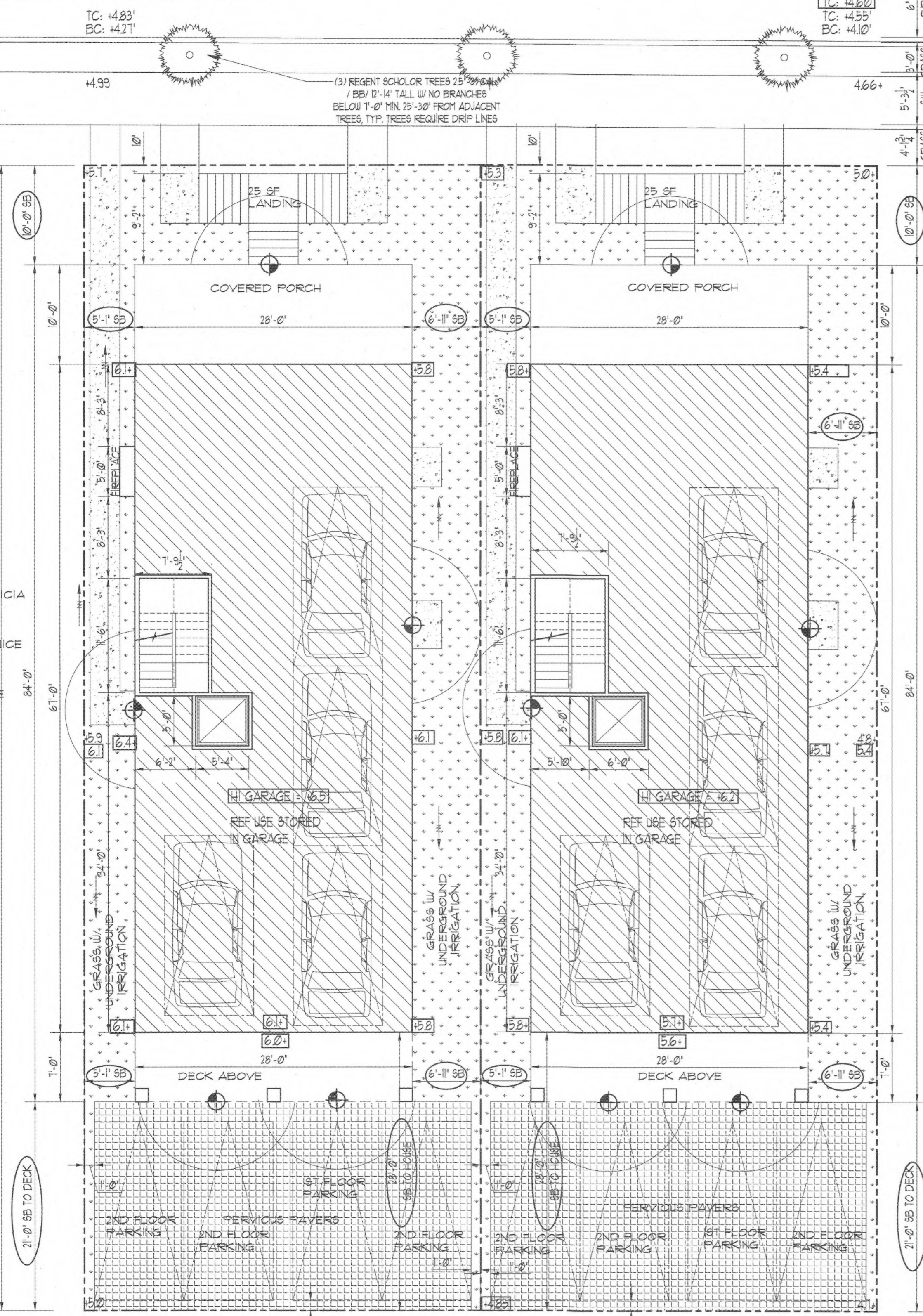
RESERVED PARKING SIGN



SECTION: CURB & SIDEWALK

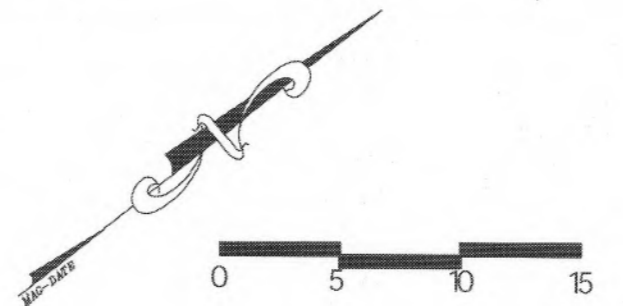
@ ASPHALT PAVING

NOTE: OPEN JOINTS AT INTERVAL OF 5' BITUMINOUS EXPANSION JOINTS 1/2" THK. BE INSTALLED @ 10' AT CURB/SIDEWALK @ 1/2"



PLOT PLAN

1/8" = 1'-0"



LOT 2 BLOCK 3305
 3325 SIMPSON AVE
 UNIT A
 BRAULINGER, ARNO J
 29 HUNTINGTON FARM DRIVE
 GLEN MILLS PA
 UNIT B
 STOLARSKI, EDWARD / PATRICIA
 20 GARNET CIRCLE
 CONSHOHOCKEN PA
 UNIT C
 MEYER, CHRISTOPHER & JANICE
 312 METZGER WAY
 CHALFONT PA
 UNIT D
 SANTALLA, JOSEPH & DENISE
 3325 SIMPSON AVE D
 OCEAN CITY NJ
 UNIT E
 RHOADES, LORI
 138 LATTICE LANE
 COLLEGEVILLE PA
 UNIT F
 TOMLIN, STEPHANIE
 3325 SIMPSON AVE
 OCEAN CITY, NJ

PALMER
 3323 SIMPSON AVENUE
 LOT: 3.01&3.02 BLOCK:3305
 OCEAN CITY NJ

ZONING BOARD DOCUMENT
 VARIANCE PLAN / MINOR
 SUBDIVISION / MINOR SITE PLAN
 TAX MAP SHEET #28
 PLOT PLAN AND DETAILS

THOMAS / BECHTOLD
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Revisions:

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| Scale: | A8 NOTED | Dwg. No. | 5726 |
| Drawn: | AFN | Checked: | ZB3 |
| Checked: | GNT/ACB | | |

Aqua Roc™
 Permeable Paver

Aqua Roc is a permeable paver that provides environmental benefits with multiple pattern options providing design versatility. Able to support vehicular traffic, Aqua Roc is an excellent, green, stormwater management solution for residential and commercial uses.

Features:

- Belgard's Aqua Roc permeable pavement system can eliminate stormwater runoff and improve water quality.
- Belgard's Aqua Roc permeable pavement is made from recycled plastic and is 100% recyclable.
- Can be used for commercial or residential applications.
- Offers joint spacing for unit size.
- Meets the requirements of ASTM C936.
- Can be mechanically or manually installed (contact your local Belgard representative for details and mechanical availability).

Benefits by the numbers:

- Eliminates runoff — 100%
- Square foot width — 18mm
- Interlocking substrate — 18mm
- Forms based on joint sets — 18mm
- Surface depth — 18mm

Sample Laying Patterns:

NOTE: Color offerings vary by region. Please contact your Belgard representative to see what is available in your area.

Belgard Permeable Paving Detail
 PCCP Pavement

Design Notes:

1. Depth of subbase subject to site specific hydraulic and structural requirements. Contact Belgard Commercial for design assistance.
2. Paver dimensions subject to aspect and span ratio requirements based on traffic loading.
3. Geotechnical engineer needs to balance structural stability and soil infiltration when recommending subgrade conditions.
4. Where the filtration geotextile is used, verify with the manufacturer that the material is not subject to clogging and meets requirements of AASHTO M-288.
5. ASTM No. 2 stone may be substituted with No. 3 or No. 4 stone.
6. Slurry pedestrian applications may substitute base/subbase layers with one 6" base layer of ASTM No. 57 stone.

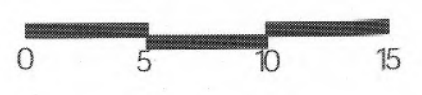


RIGHT SIDE ELEVATION



REAR ELEVATION

LEFT SIDE ELEVATION

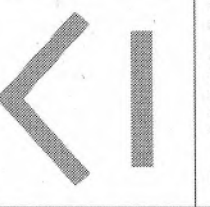


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LOT: 3.01&3.02 BLOCK:3305
OCEAN CITY NJ

ZONING BOARD DOCUMENT
VARIANCE PLAN / MINOR
SUBDIVISION / MINOR SITE PLAN
TAX MAP SHEET # 28
LOT 3.01 ELEVATIONS

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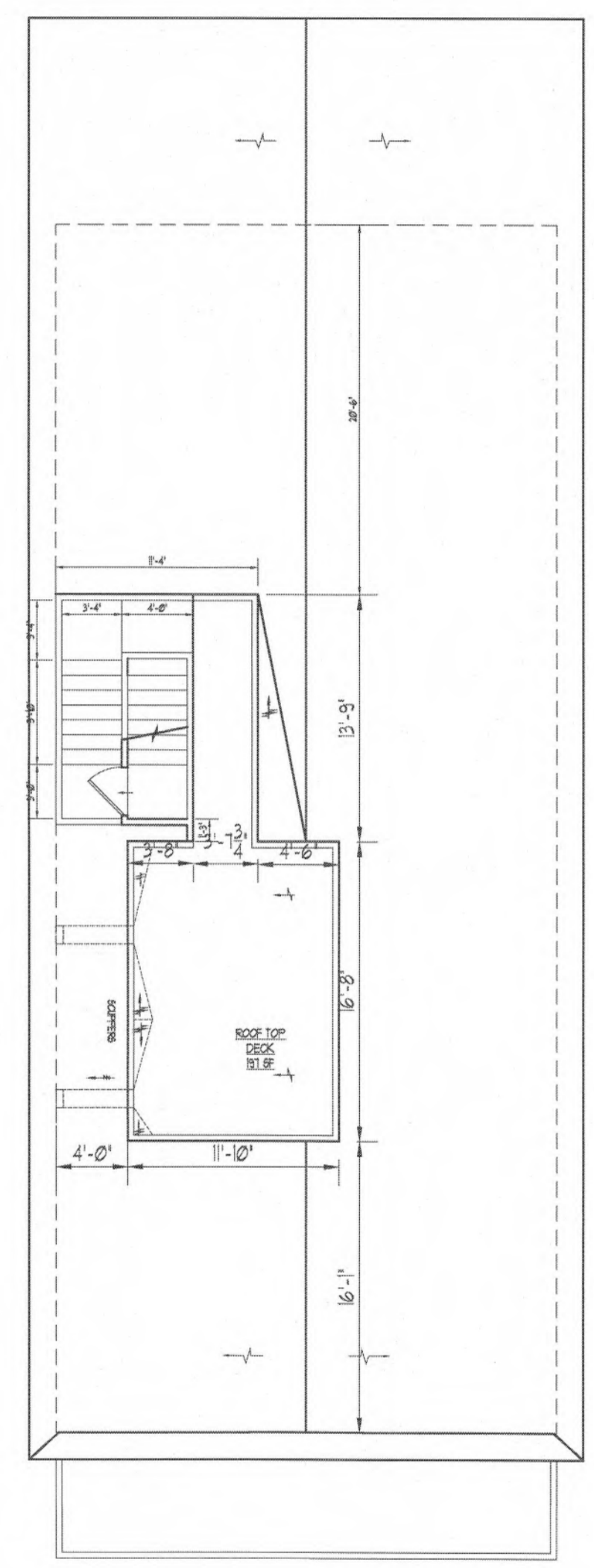
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 TAX MAP SHEET #28
 LOT 3.01 FLOOR PLANS

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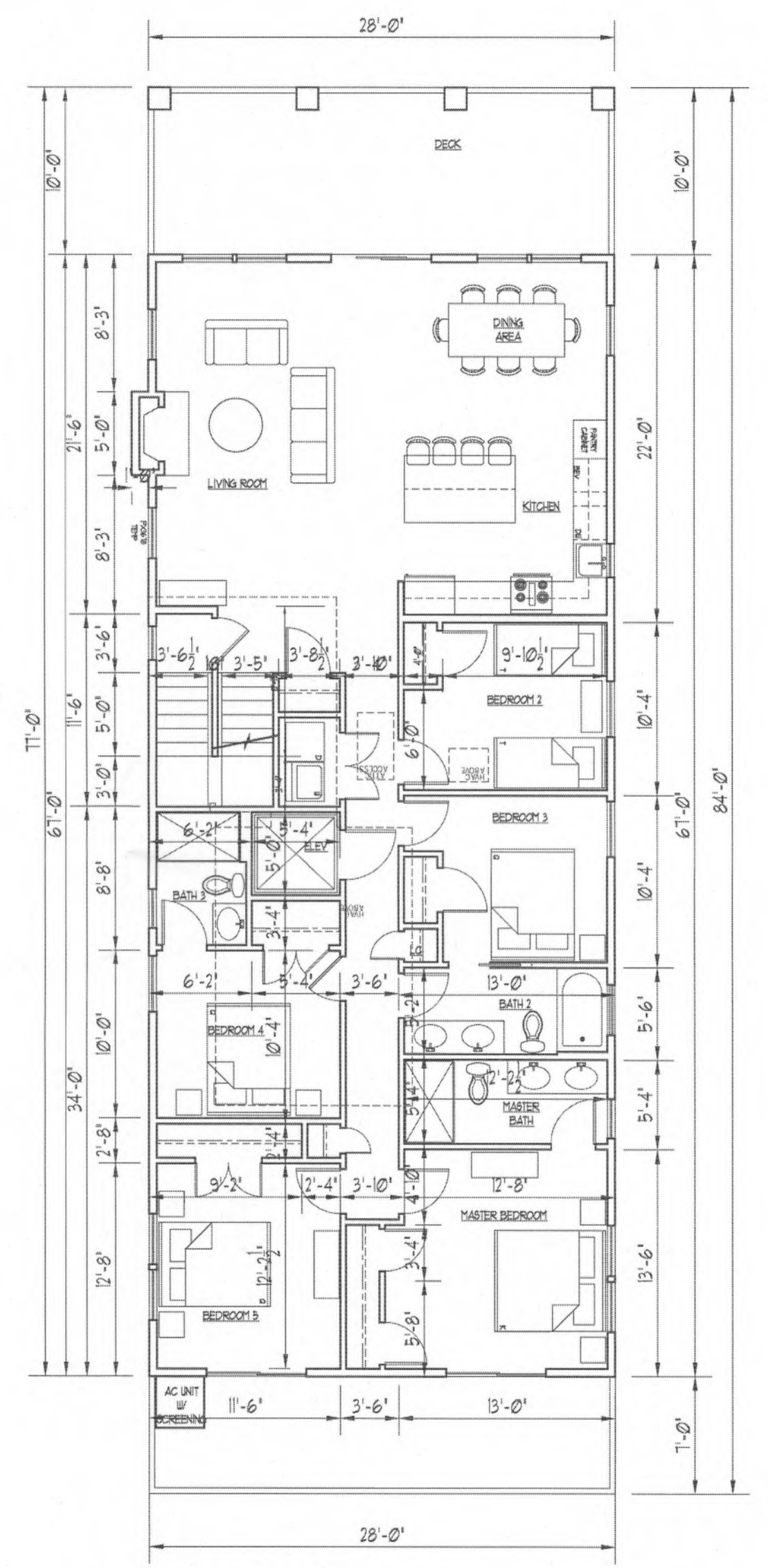
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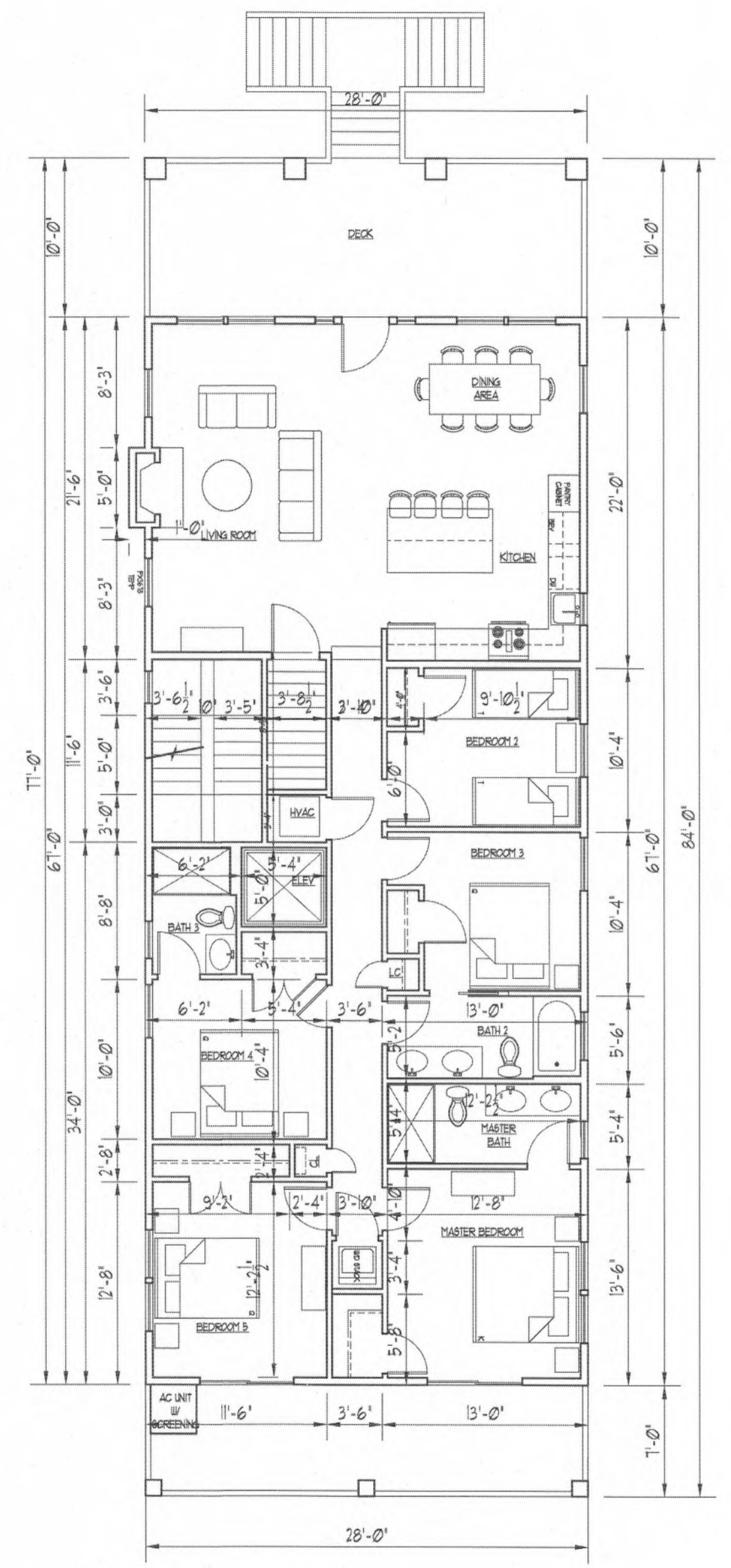
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| Drawn: | APN | Checked: | ZB5 |
| Checked: | GWT/ACB | | |



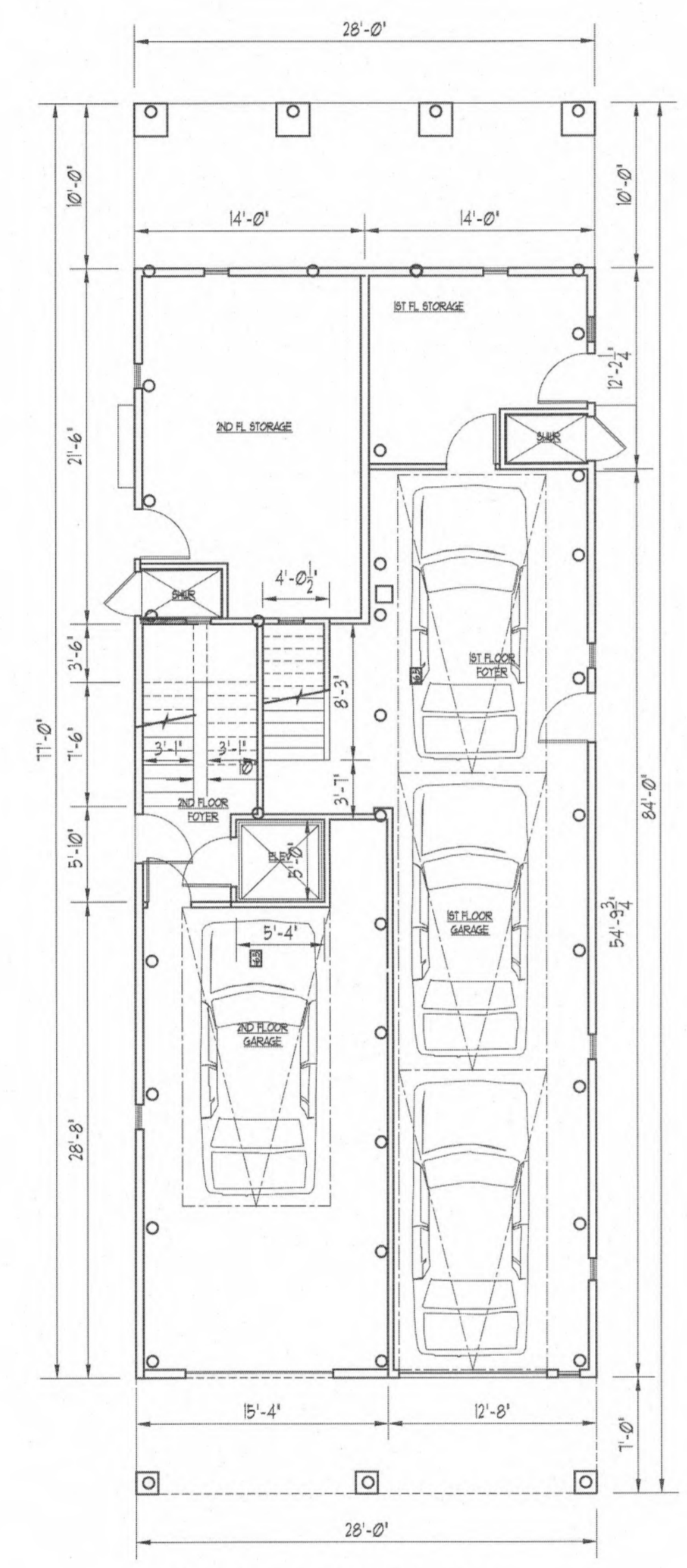
ROOF PLAN
 82% OF ROOF IS LESS THAN 4'2"



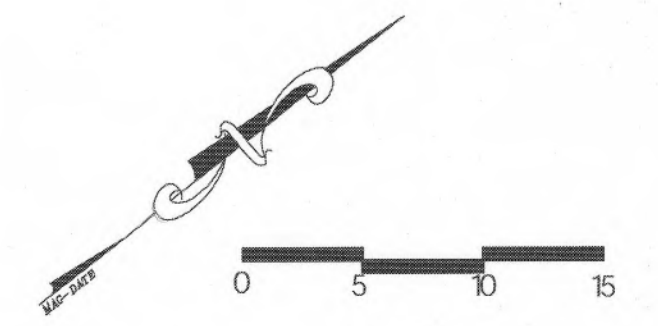
SECOND FLOOR PLAN



FIRST FLOOR PLAN



GROUND FLOOR PLAN





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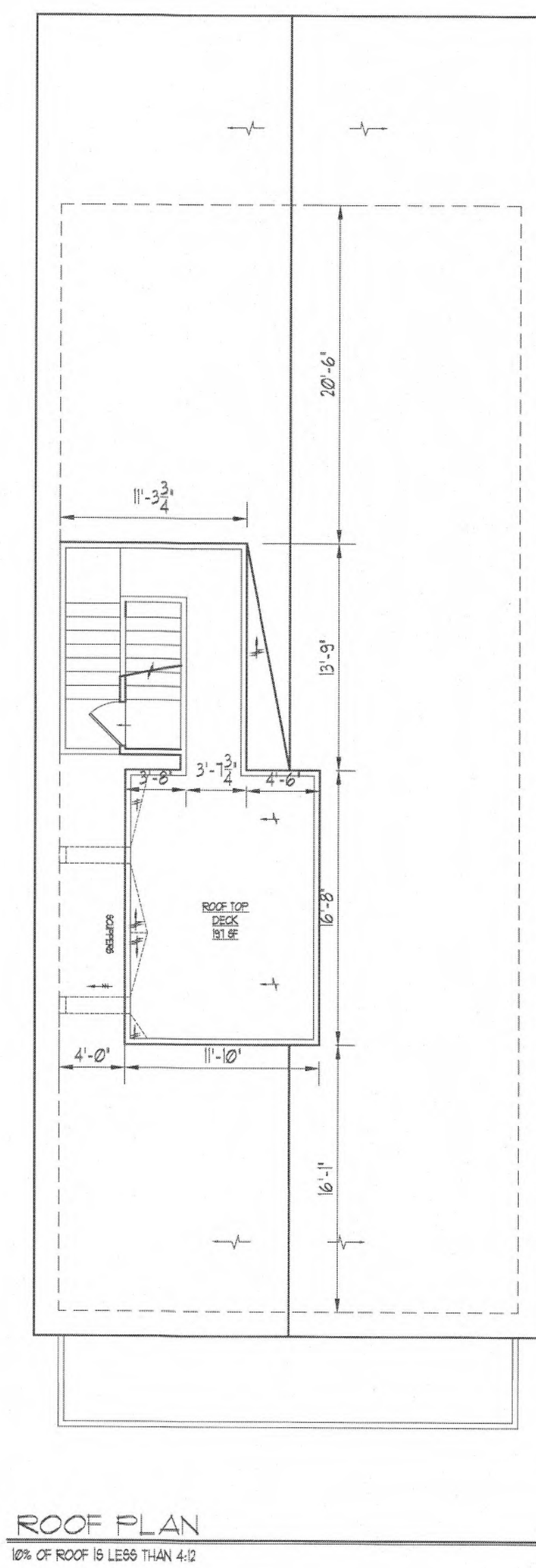
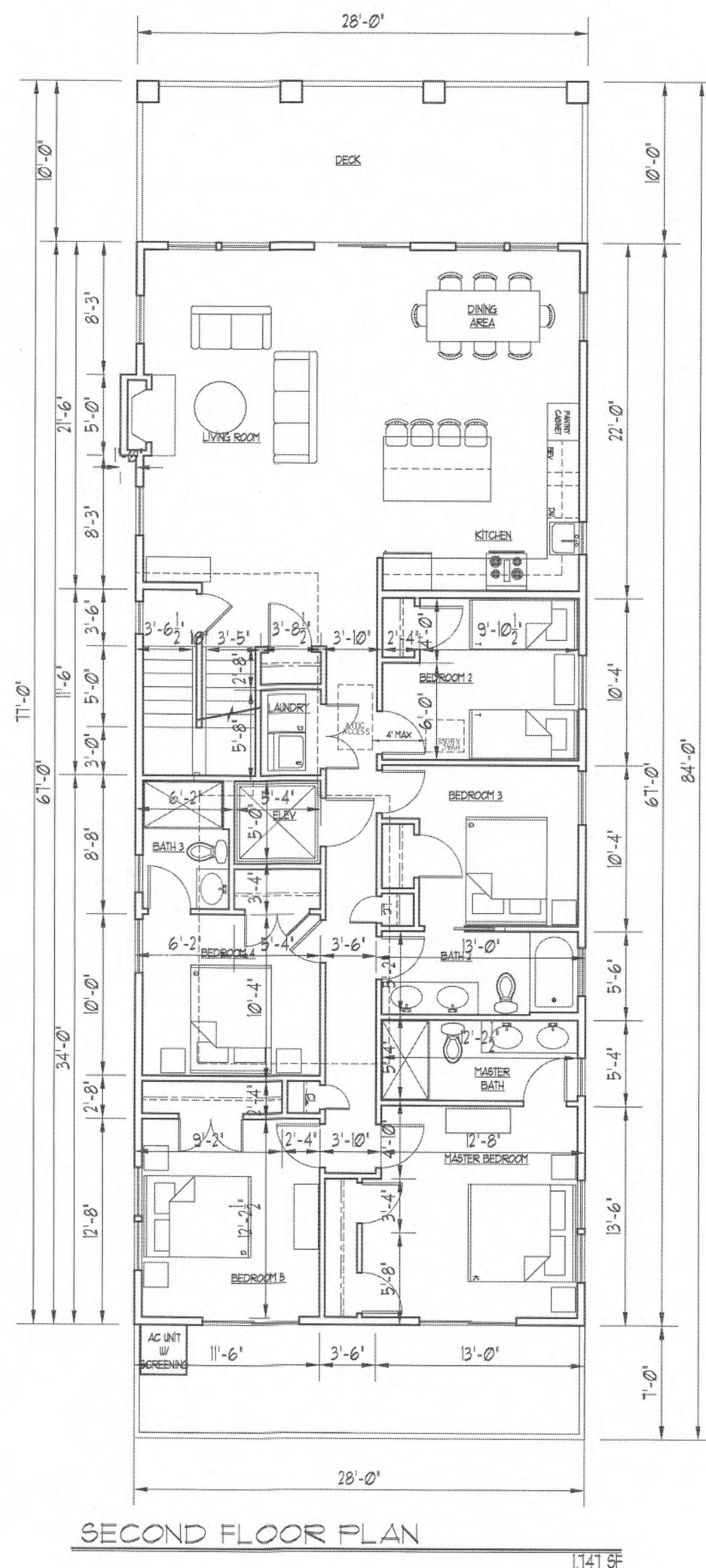
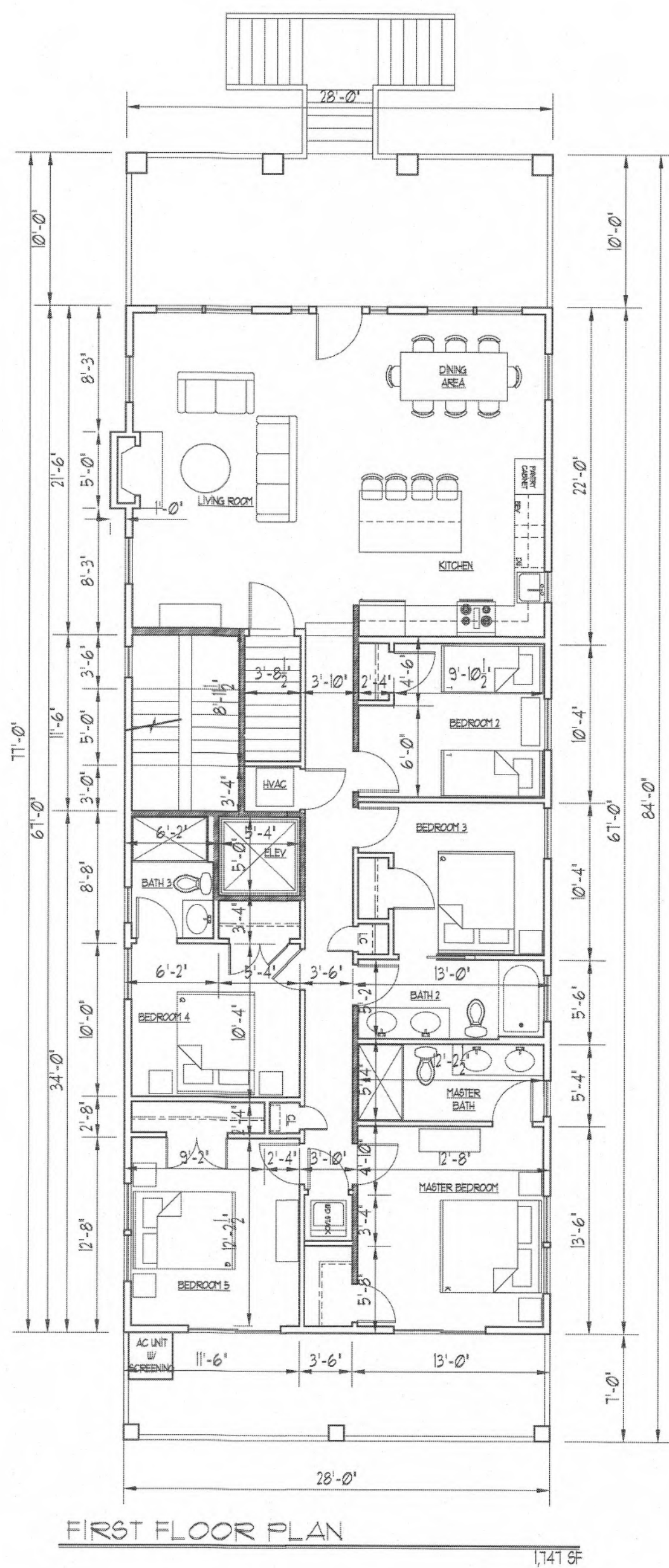
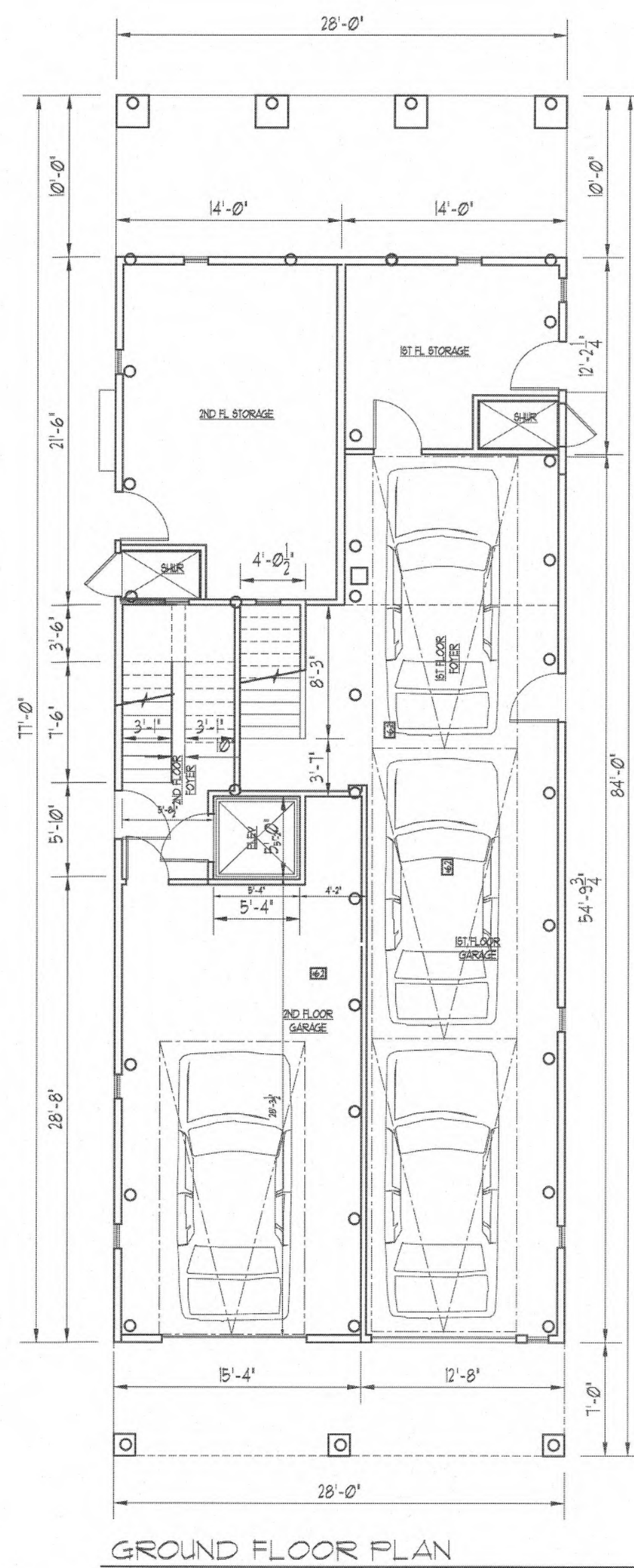
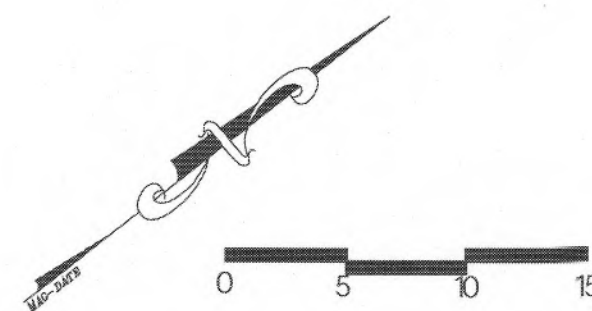
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LOT 3.02 FLOOR PLANS

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