

THOMAS J. EVANS
Director of Revenue and Finance



CODE ENFORCEMENT DEPT.,

BUILDING
PLUMBING
ELECTRICAL
FIRE
ZONING

TOWNSHIP OF NUTLEY

1 KENNEDY DRIVE
NUTLEY, NEW JERSEY 07110

TELEPHONE: (973) 284-4957 · FACSIMILE: (973) 284-0071

DAVID BERRY
*Construction Official
Zoning Official*

June 30, 2025

John Borick
12 Oak Street
Nutley, NJ 07110

**Re: Convert Garage into Living Space
12 Oak Street
Block/Lot: 1703/4**

Dear Mr. Borick,

Your request for a permit, at the above referenced address, to convert the existing attached garage into living space for a disabled individual, as shown on the plans by Ong Chi Li, P.E. dated June 23, 2025 and survey prepared by 3 Wire Surveying LLC dated May 20, 2025, is denied for the following reasons:

This property is located in an R-1 district as shown on the Nutley Zoning Map.

Chapter 700, Article V, Section 700-9 A of the Codes of Nutley states uses are permitted in the R-1 Zoning District are single-family dwellings, not to exceed one dwelling unit on each lot. No other principal use is permitted on the same lot with a single-family dwelling. Each single-family dwelling shall have two parking spaces, at least one of which is in a garage.

As per Township of Nutley Ordinance 272-4, there shall be no variance fee collected.

Information on procedures for an appeal of this decision to the Board of Adjustment can be obtained from Jessica D'Onofrio, jdonofrio@nutleynj.org or at 973-284-4957. It should be noted that, under State Statute, notice of appeal of this decision must be filed with this office no later than twenty (20) calendar days from the date of this notice.

Any changes to the proposed plans must be submitted prior to the applications being returned to the Code Enforcement Office. No changes can be made once the application is received by this office.

Very truly yours,


DAVID BERRY
Zoning Official



TOWNSHIP OF NUTLEY, NEW JERSEY

ZONING BOARD OF ADJUSTMENT APPLICATION FORM

Docket No: ZBA-25-0024

TO ALL APPLICANTS: This application form is designed to obtain from you information necessary for the processing of your application by the Zoning Board of Adjustment.

Application Fee: \$ NIA (on denial letter)

Date of Denial Letter: 6/30/25

Section I: SUBJECT PROPERTY

Address: 12 Oak Street

Block: 1703 Lot: 4 Zone: R-1

| | District Requirements | Proposed |
|------------|-----------------------|----------|
| Lot Area | _____ | _____ |
| Lot Width | _____ | _____ |
| Lot Depth | _____ | _____ |
| Front Yard | _____ | _____ |
| Side Yard | _____ | _____ |
| Rear Yard | _____ | _____ |
| Other | _____ | _____ |

Section II: APPLICANT INFORMATION

Name: John Michael Borick

Address: 12 Oak Street

Nutley, N.J. 07110

Telephone: 973 235 0930

Email Address: rborickr@MSN.com

Applicant is a:

____ Corporation ____ Partnership ____ LLC X Individual

If the owner is not the applicant, the following must be provided:

Owner Name: _____

Address: _____

Telephone: _____

Email Address: _____

Section III: DISCLOSURE STATEMENT

Pursuant to N.J.S. 40:55D-48.1 the names and address of all persons owning 10% of the stock in a corporation or a 10% interest in any partnership must disclosed by the applicant. In accordance with N.J.S. 40:55D-48.2, that disclosure requirement applies to any corporation or partnership which owns more than 10% interest.

Name: _____

Address: _____

Interest: _____

Name: _____

Address: _____

Interest: _____

Name: _____

Address: _____

Interest: _____

Section IV: PROPERTY INFORMATION

| | Existing | Proposed |
|--|----------|----------|
| Total existing and total proposed dwelling units | <u>1</u> | <u>1</u> |
| Total existing and total proposed professional offices | _____ | _____ |
| Total existing and total proposed parking spaces | _____ | _____ |

Present use of premises: One Family Dwelling

Has there been any previous appeal, request, or application to this or any other Township of Nutley Board or the Construction Code Official involving these premises? NO

If yes, state the nature, date and the disposition of each such matter: _____

Section V: PROFESSIONAL INFORMATION

Applicant's Attorney

Name: _____

Address: _____

Telephone: _____ Fax: _____

Email Address: _____

Applicant's Architect

Name: _____

Address: _____

Telephone: _____ Fax: _____

Email Address: _____

Applicant's Engineer

Name: _____

Address: _____

Telephone: _____ Fax: _____

Email Address: _____

Applicant's Planning Consultant

Name: _____

Address: _____

Telephone: _____ Fax: _____

Email Address: _____

***List any other expert who will submit a report or who will testify for the applicant.
(Attach additional sheets, if necessary)***

Name: _____

Address: _____

Telephone: _____ Fax: _____

Email Address: _____ Field of Expertise: _____

Section VI: GENERAL INFORMATION

In the space below, state the nature of the constraints imposed by the physical characteristics of the land under consideration (i.e. exceptional narrowness, shallowness 01' topographic conditions).

X The driveway was too narrow to make the turn by car into the garage, since the garage was attached to the back of the house. People in the neighborhood realized this and converted the garage to a bathroom.

In the space below, state any other extraordinary or exceptional situation or condition of the land involved which would constrain development in accordance with Zoning Regulations

X Two cars can park in driveway without a problem. No other problems.

Explain how not granting this variance request would impose peculiar and exceptional practical difficulties or exceptional or undue hardship upon you.

X My wife and I are in our eighties, and have lived in Nutley for over fifty years. My wife had two strokes, and can not walk. I have a problem going upstairs, because of my knees. We desperately need a bathroom on upstairs. Without granting this variance our life would be difficult.

Explain how the granting of this variance will not detrimentally affect the public good or substantially impair the intent and purpose of the Zone Plan and Zoning Ordinance.

X Two cars can park in driveway without a problem.

CERTIFICATION

STATE OF NEW JERSEY }

ss.

COUNTY OF ESSEX }

X John M. Borick, being duly sworn, hereby certify (check one)

➤ ✓ that I am the applicant

or

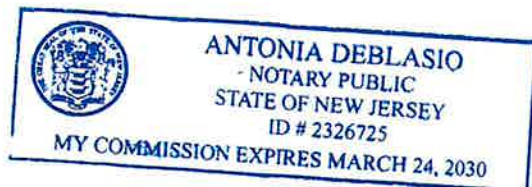
➤ _____ that I am the _____ of _____,
(Title) (Company Name)
the Applicant, and that I am duly empowered and authorized to make this representation
on behalf of _____;
(Company Name)

and that the information presented in this application is true, complete and accurate.

X John M. Borick
Applicant/Applicant's Authorized
Officer or Representative

Subscribed and sworn to before me
this 18th day of July, 2025.

X Antonia DeBlasio
Signature of person authorized to take oaths





Nutley

Parcel Offset List

Target Parcel(s): Block-Lot: 1703-4
BORICK, JOHN M & ROSE M
12 OAK STREET

39 parcels fall within 200 feet of this parcel(s).

Block-Lot: 1704-1

FINKELSTEIN, ROBERT T. & CAROL M.
116 NORTH RD
NUTLEY, NJ 07110
RE: 116 NORTH ROAD

Block-Lot: 1700-15

AGOSTINO, ROCCO & BARBARA
63 MCKINLEY ST
NUTLEY, NJ 07110
RE: 63 MCKINLEY STREET

Block-Lot: 1703-10

VAZQUEZ, TIMOTHY & MARY FRANCIS
32 OAK ST
NUTLEY, NJ 07110
RE: 32 OAK STREET

Block-Lot: 1700-11

KIRWIN, SHAWN F & SEEGER, EVELYN
79 MCKINLEY ST
NUTLEY, NJ 07110
RE: 79 MCKINLEY STREET

Block-Lot: 1702-9

PAOLELLO, MICHAEL & STAELA KEEGAN
29 OAK ST
NUTLEY, NJ 07110
RE: 29 OAK STREET

Block-Lot: 1701-8

ZIEMER, WILLIAM J. & VALERIE A.
15 OAK ST
NUTLEY, NJ 07110
RE: 15 OAK STREET

Block-Lot: 1703-3

IANNITELLI, RENATA C. & REMO D.
10 OAK STREET
NUTLEY, NJ 07110
RE: 10 OAK STREET

Block-Lot: 1704-3

NIEBUHR, WILLIAM E. & MARGARET E.
124 NORTH RD
NUTLEY, NJ 07110
RE: 124 NORTH ROAD

Block-Lot: 1703-1

MELIA, ANGELA
2 OAK ST
NUTLEY, NJ 07110
RE: 2 OAK STREET

Block-Lot: 1703-29

CUZZI, MONICA A.
121 NORTH RD
NUTLEY, NJ 07110
RE: 121 NORTH ROAD

Block-Lot: 1700-13

KARPOUSIS, JOHN F. & KENNEY, KATHRYN
71 MCKINLEY ST
NUTLEY, NJ 07110
RE: 71 MCKINLEY STREET

Block-Lot: 1703-30

PRINCIPATO, CHRISTINE
117 NORTH RD
NUTLEY, NJ 07110
RE: 117 NORTH ROAD

Block-Lot: 1704-2

CARLSON, BRIAN & MARGERITTE
120 NORTH RD
NUTLEY, NJ 07110
RE: 120 NORTH ROAD

Block-Lot: 1700-14

PISH, APRIL & HERLIHY, CASEY D
65 MCKINLEY ST
NUTLEY, NJ 07110
RE: 65 MCKINLEY STREET

Block-Lot: 1700-16

CLIFFORD, JOHN MATTHEW & GINA
61 MCKINLEY ST
NUTLEY, NJ 07110
RE: 61 MCKINLEY STREET

Block-Lot: 1700-17

LATINI, ALAN R. & KIM E.
105 NORTH RD
NUTLEY, NJ 07110
RE: 105 NORTH ROAD

Block-Lot: 1701-7

PASCZYK, DANA A. & KONE, BARBARA B.
9 MAY PL
NUTLEY, NJ 07110
RE: 9 MAY PLACE

Block-Lot: 1703-9

MARANO, MARGARET M. & GEORGE J. JR.
28 OAK ST
NUTLEY, NJ 07110
RE: 28 OAK STREET

Block-Lot: 1703-23

RUDDER, ELIZABETH A.
141 NORTH RD
NUTLEY, NJ 07110
RE: 141 NORTH ROAD

Block-Lot: 1703-8

D'AMBROSIO, DEBORAH & DALY, DENISE
26 OAK ST
NUTLEY, NJ 07110
RE: 26 OAK STREET

Block-Lot: 1703-24

SIB 13 LLC
139 NORTH RD
NUTLEY, NJ 07110
RE: 139 NORTH ROAD

Block-Lot: 1701-13

CARTHAS, RICHARD & SMITS, DANIEL
84 MCKINLEY ST
NUTLEY, NJ 07110
RE: 84 MCKINLEY STREET

Block-Lot: 1701-9

MARRA, KEVIN P. & EMILY P. DODGE
11 OAK ST
NUTLEY, NJ 07110
RE: 11 OAK STREET

Block-Lot: 1703-7

ROSSI, ALPHONSE & JO ANNE
22 OAK ST
NUTLEY, NJ 07110
RE: 22 OAK STREET

Block-Lot: 1701-12

DOLOCHECK, DANIEL & ZUZZIO, KRISTYNA
80 MCKINLEY STREET
NUTLEY, NJ 07110
RE: 80 MCKINLEY STREET

Block-Lot: 1703-6

ROSE, CYNTHIA A.
18 OAK ST
NUTLEY, NJ 07110
RE: 18 OAK STREET

Block-Lot: 1701-11

RAMAN, AMRITA
76 MCKINLEY ST
NUTLEY, NJ 07110
RE: 76 MCKINLEY STREET

Block-Lot: 1703-25

DESILVA, ERIC T. & KATHRYN ABUAN
133 NORTH RD
NUTLEY, NJ 07110
RE: 133 NORTH ROAD

Block-Lot: 1704-7

COSTANZO, PHILIP C. & CAROL
136 NORTH RD
NUTLEY, NJ 07110
RE: 136 NORTH ROAD

Block-Lot: 1703-5

MONTALBANO, CHARLES JR. & BRATTON,D
16 OAK ST
NUTLEY, NJ 07110
RE: 16 OAK STREET

Block-Lot: 1703-26

BATTAL, YUSA & RAY, MEGAN
129 NORTH RD
NUTLEY, NJ 07110
RE: 129 NORTH ROAD

Block-Lot: 1701-10

PONTRELLA, JOHN F. & MARY K.
5 OAK ST
NUTLEY, NJ 07110
RE: 5 OAK STREET

Block-Lot: 1704-6

BAUERLEIN, SHIRLEY
134 NORTH RD
NUTLEY, NJ 07110
RE: 134 NORTH ROAD

Block-Lot: 1703-27

AMARAL, MICHAEL & JESSICA
125 NORTH RD
NUTLEY, NJ 07110
RE: 125 NORTH ROAD

Block-Lot: 1704-5

ZOLNOWSKI, ANDREW & DIABELEN P
130 NORTH ROAD
NUTLEY, NJ 07110
RE: 130 NORTH ROAD

Block-Lot: 1703-28

SACCO, VINCENT J. & MARYANN
123 NORTH RD
NUTLEY, NJ 07110
RE: 123 NORTH ROAD

Block-Lot: 1704-4

BOWES, RAYMOND & KERRY POWELL BOWES
126 NORTH RD
NUTLEY, NJ 07110
RE: 126 NORTH ROAD

Block-Lot: 1703-2

MATTIA, GERARDINO & JUDY
6 OAK ST
NUTLEY, NJ 07110
RE: 6 OAK STREET

Block-Lot: 1700-12

LIPINSKI,MARIUSZ & RACTLIFFE CASSAN
75 MCKINLEY ST
NUTLEY, NJ 07110
RE: 75 MCKINLEY STREET

UTILITIES

(A)

AT & T
Corporate Office
P.O. Box 7207
Bedminster, NJ 07921-7207



(B)

NJ Dept. of Transportation
1035 Parkway Avenue
CN-600
Trenton, NJ 08625



(C)

Essex County Planning Board
Public Works Building
900 Bloomfield Avenue
Verona, NJ 07044



(D)

PSE&G Company
Manager-Corporate Properties
80 Park Plaza, T6B
Newark, NJ 07102



(E)

North Jersey District Water Supply Co.
1 F.A. Orechio Drive
Wanaque, NJ 07465



(F)

Passaic Valley Water Co.
1525 Main Avenue
Clifton, NJ 07011



(G)

Verizon
540 Broad Street, Room 305
Newark, NJ 07101



(H)

TCI of Northern New Jersey
40 Potash Road
Oakland, NJ 07436
Attn: Dan Gannon



(I)

Essex County Utilities Authority
Leroy R. Smith Jr. Public Safety Building
60 Nelson Place – 6th Floor
Newark, NJ 07102



(J)

Norfolk Southern Railway
125 County Road
Jersey City, NJ 07307



GENERAL NOTES

DIVISION 1 - GENERAL

- A. CONTRACTOR(S) SHALL COMPLY WITH ALL APPLICABLE CODES, LAWS, ORDINANCES, RULES AND REGULATIONS INCLUDING ALL STATE AND LOCAL MUNICIPALITIES HAVING JURISDICTION IN ACCORDANCE WITH THE CODES AND SPECIFICATIONS NOTED HEREIN.
- B. CONTRACTOR(S) SHALL BE RESPONSIBLE FOR ALL MATERIALS AND METHODS OF CONSTRUCTION, WHETHER IT BE THEIR OWN OR THAT OF THEIR EMPLOYEES, OR SUBCONTRACTORS. FURNISH ALL LABOR AND MATERIALS WHETHER INDICATED, OR NOT, TO COMPLETE THE WORK AS SHOWN.
- C. ARCHITECT/ENGINEER IS NOT RESPONSIBLE FOR ANY CHANGES MADE WHICH DEVIATE FROM THE DRAWINGS AND/OR THE GENERAL RESOLUTIONS, WHETHER INITIATED BY THE OWNER, CONTRACTOR, OR BOTH UNLESS AGREED UPON BY THE ARCHITECT IN WRITING. VERBAL RESOLUTIONS ARE NOT BINDING.
- D. ANY ADDENDA OR MODIFICATIONS ISSUED BY THE ARCHITECT/ENGINEER SHALL BECOME IMMEDIATELY INCORPORATED INTO THE WORK.
- E. IF THE CONTRACTOR PROPOSES A SUBSTITUTION FOR ANY OF THE MATERIALS OR EQUIPMENT SPECIFIED HEREIN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING SUFFICIENT INFORMATION TO DETERMINE IF THE SUBSTITUTE IS ACCEPTABLE AND EQUAL TO THE SPECIFIED ITEM. THE ARCHITECT/ENGINEER SHALL REVIEW AND APPROVE ANY SUCH SUBSTITUTION. HOWEVER, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PERFORMANCE OF THE ITEM. REJECTED ITEMS SHALL NOT BE USED UNDER ANY CIRCUMSTANCES.
- F. CONTRACTOR(S) SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD AND SHALL NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THOSE SHOWN ON THE DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE LAYOUT OF THE WORK. VERIFY THAT ALL ITEMS, CONDITIONS AND DIMENSIONS CORRELATE. PLAN AHEAD!
- G. CONTRACTOR(S) SHALL GUARANTEE WORK FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- H. CONTRACTOR(S) SHALL MAINTAIN APPROPRIATE INSURANCE FOR THIS PROJECT AS REQUIRED AND AGREED UPON BETWEEN THE OWNER AND THE CONTRACTOR(S).
- I. CONTRACTOR(S) SHALL NOT ALLOW RUBBISH OR DEBRIS TO ACCUMULATE ON OR NEAR THE SITE. ALL RUBBISH SHALL BE REMOVED AND DISPOSED OF IN A LEGAL MANNER. CONSTRUCTION AREA SHALL REMAIN BROOM CLEAN AT THE END OF EACH WORK DAY.
- J. CONTRACTOR(S) SHALL COORDINATE ALL EQUIPMENT AND SPECIALTY ITEMS FURNISHED BY THE OWNER AS IT MAY RELATE AND EFFECT HIS WORK.
- K. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR CONSTRUCTION. THE OWNER SHALL PAY FOR ALL PERMITS.
- L. THE ARCHITECT/ENGINEER IS NOT RESPONSIBLE FOR ANY SUBSURFACE OR UNDERGROUND CONDITIONS OR UTILITIES INCLUDING, BUT NOT LIMITED TO, SOIL BEARING CAPACITIES, DRAINS, SEPTIC, SEWER, WATER, ETC. LOCATIONS; UTILITY LOCATIONS, ETC. CONTRACTOR IS RESPONSIBLE FOR VERIFYING SOIL BEARING CAPACITY AS REQUIRED THROUGH AN INDEPENDENT LICENSED TESTING.
- M. LABORATORY OWNER IS RESPONSIBLE FOR COST OF SAME. ASSUMED SOIL BEARING CAPACITY IS DESCRIBED IN DIVISION 3 BELOW.
- N. CONTRACTOR(S) SHALL NOT SCALE DRAWINGS, AND SHALL NOTIFY ARCHITECT/ENGINEER IF THERE ARE ANY DISCREPANCIES OR MISSING DIMENSIONS. SHOULD ANY INFORMATION BE IN CONFLICT, THE MORE RESTRICTIVE INFORMATION SHALL APPLY. LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE.
- O. CONTRACTOR SHALL DEMOLISH AND REMOVE ALL ITEMS AS NECESSARY TO ACHIEVE THE FINAL DESIGN AS DELINEATED ON THE DRAWINGS AND SPECIFIED HEREIN. CONTRACTOR SHALL FURNISH ALL NECESSARY EQUIPMENT FOR DEMOLITION WORK.
- P. CONTRACTOR SHALL PROTECT ALL FACILITIES TO REMAIN DURING THE COURSE OF CONSTRUCTION.

DIVISION 2 - SITE WORK

- A. CONTRACTOR IS RESPONSIBLE FOR ALL LAYOUT OF THE WORK AND SHALL EMPLOY APPROPRIATE MEANS TO ACCURATELY ESTABLISH ALL WORK.
- B. PERFORM EARTHWORK IN MANNER TO PREVENT SURFACE WATER FROM FLOWING INTO EXCAVATIONS, AND TO PREVENT WATER FROM FLOODING THE SITE OR SURROUNDING AREAS.
- C. DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS. REMOVE ALL WATER FROM EXCAVATIONS USING APPROPRIATE EQUIPMENT TO CONVEY THE WATER AWAY FROM THE SITE AND TO PREVENT SPOILING OF FOUNDATION BOTTOMS, UNDERCUTTING FOOTINGS AND SOIL CHANGES DETRIMENTAL TO THE STABILITY OF SUBGRADES AND FOUNDATIONS.
- D. PROTECT EXCAVATION EXPOSURES FROM FREEZING WHEN THE ATMOSPHERIC TEMPERATURE IS LESS THAN 35 DEGREES FAHRENHEIT (F) BY COVERING WITH DRY INSULATING MATERIALS OF SUFFICIENT DEPTH TO PREVENT FROST PENETRATION.
- E. CONTRACTOR IS RESPONSIBLE FOR CLEARING AND PREPARING THE SITE IN THE AREA OF CONSTRUCTION. CONTRACTOR(S) SHALL EXERCISE CARE SO AS NOT TO DAMAGE THE REMAINING PORTION OF THE WORK OR THE ADJACENT AREAS.
- F. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL SITE AREAS THAT ARE DISTURBED DURING CONSTRUCTION OR DEMOLITION OF EXISTING PAVED AREAS. THIS SHALL INCLUDE THE FINAL GRADING OF THE SITE AS WELL AS THE SEEDING AND HAYING OF ALL LAWN AREAS. CONSTRUCTION DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE ON SITE.
- G. ALL DEBRIS SHALL BE REMOVED FROM THE PREMISES UPON COMPLETION OF THE WORK.

DIVISION 3 - CONCRETE

- A. FOOTINGS ARE DESIGNED FOR ONE AND ONE HALF (1-1/2) TON SOIL BEARING CAPACITY. ALL SOIL BEARING CAPACITIES TO BE VERIFIED BY THE CONTRACTOR AS REQUIRED. IF TESTS ARE REQUIRED FOR NON-COMPACTED AREAS, THEY SHALL BE PAID FOR BY THE OWNER. COORDINATE WITH THE SITE SOIL REPORT PREPARED BY THE OWNERS ENGINEERS. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DOUBTFUL CONDITIONS.
- B. FOOTING DEPTH TO BE A MINIMUM OF THREE (3) FEET FROM SURROUNDING FINISHED GRADE TO BOTTOM OF FOOTING. FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL OR CONTROLLED COMPACTED FILL.
- C. FOOTINGS SHALL NOT BE PLACED ON FROZEN GROUND OR IN EXCAVATIONS CONTAINING WATER.
- D. ALL CONCRETE SHALL BE CONTROLLED STONE CONCRETE COMPLYING WITH ALL ACI BUILDING CODE REQUIREMENTS. CONCRETE SHALL OBTAIN A 28-DAY COMPRESSIVE STRENGTH OF 3,500 PSI AT GARAGE SLABS AND 3,000 PSI AT ALL OTHER LOCATIONS. UNLESS NOTED OTHERWISE (U.N.O.).
- E. ALL CONCRETE SHALL CONFORM TO ACI PRACTICES FOR COLD WEATHER CONCRETING. ALL CONCRETE PLACED AT TEMPERATURES BELOW 50 DEGREES F SHALL CONTAIN THE WATER REDUCING ACCELERATOR "ACCELGUARD 80" AS MANUFACTURED BY THE EULCUD CHEMICAL CO., OR APPROVED EQUAL.
- F. ALL CONCRETE SHALL CONTAIN THE WATER REDUCING ADMIXTURE "EUCON WR-75" OR APPROVED EQUAL.
- G. CONCRETE SLABS SHALL BE REINFORCED WITH A MINIMUM OF 4" IN THICKNESS, PLACED ON 6 MIL POLYETHYLENE VAPOR BARRIER, ON 4" GRAVEL FILL. SLAB TO BE REINFORCED WITH 6X6, WELDED WIRE MESH (WWM), PLACED 1-1/2" DOWN FROM THE TOP OF SLAB AND OVER ANY PIPES AND CONDUITS IN SLAB. WWM MUST LAP FULL MESH AT END AND ENDS LAPS AND MUST BE WIRED TOGETHER. WIRE MESH FABRIC FOR SLABS SHALL CONFORM TO ASTM A185, LATEST EDITION.
- H. BASE COARSE UNDER CONCRETE SLABS SHALL BE GRAVEL OR CRUSHED STONE CONTAINING NOT MORE THAN 10% OF MATERIAL THAT PASSES THROUGH A NUMBER 4 SIEVE.
- I. THE MAX. WEIGHT OF FLY ASH, OTHER POZZOLANS, SILICA FUME OR SLAG THAT IS INCLUDED IN CONCRETE MIXTURES FOR GARAGE SLABS AND FOR EXTERIOR PORCHES, CARPORT SLABS, AND STEPS THAT WILL BE EXPOSED TO DEICING CHEMICALS SHALL NOT EXCEED THE PERCENTAGES OF THE TOTAL WEIGHT OF CEMENTITIOUS MATERIALS. MATERIALS USED TO PRODUCE CONCRETE AND TESTING THEREOF SHALL COMPLY WITH THE APPLICABLE STANDARDS LISTED IN ACI 318. IN ADDITION TO THE CEMENTS PERMITTED BY ACI 318, CEMENT COMPLYING WITH ASTM C1157 IS PERMITTED.

DIVISION 4 - MASONRY

- A. FOUNDATION WALLS TO BE HOLLOW LOAD BEARING CONCRETE MASONRY UNITS, SIZES AS INDICATED, CONFORMING TO ASTM C- 90- 85, FILLED SOLID WITH GROUT (3000PSI).
- B. MORTAR SHALL BE TYPE S, 2000 PSI, CONFORMING TO ASTM 0-270-89.
- C. THE LAYING, HANDLING, PROTECTING, BONDING, CURING, AND CLEANING OF ALL MASONRY WORK SHALL BE IN ACCORDANCE WITH THE STANDARDS OF STRUCTURAL CLAY PRODUCTS INSTITUTE.
- D. CONCRETE BLOCK COURSES SHALL BE LAID PLUMB AND LEVEL, WITH UNIFORM JOINTS AND CONSISTENT BONDING THROUGHOUT. ALL CONCRETE BLOCK FOUNDATION WALLS SHALL SET SQUARELY ON AND SHALL BE CENTERED ON THE CONCRETE FOOTINGS. UNLESS SHOWN OTHERWISE ON THE DRAWINGS.
- E. PROVIDE HORIZONTAL WIRE REINFORCING IN CMU WALLS, DUR-O-WALL OR EQUAL, 16" OC (EVERY OTHER COURSE). PROVIDE VERTICAL REINFORCING IN MASONRY FOUNDATIONS, MINIMUM #8@48" ON CENTER.
- F. PROVIDE AND INSTALL MINIMUM 1/2" DIAMETER ANCHOR BOLTS, FASTENED TO PLATE WITH NUT AND WASHER, WITH STANDARD HOOK AT BOTTOM. AT FOUNDATION WALL, TOP PLATES, BOLTS TO HAVE STANDARD HOOK AND SHALL BE LOCATED AT 6'-0" ON CENTER. MAXIMUM, WITH NOT LESS THAN TWO (2) BOLTS PER PLATE SECTION WITH ONE BOLT LOCATED NOT MORE THAN 12" OR LESS THAN SEVEN BOLT DIAMETERS FROM EACH END OF THE PLATE SECTION. BOLTS SHALL BE SET A MINIMUM DEPTH OF 7" INTO THE CMU AND THE BLOCK SHALL BE FILLED SOLID WITH GROUT. SET ANCHOR BOLTS A MAXIMUM OF 12" IN FROM CORNERS. WHERE INSTALLED IN CONCRETE SLAB OR WALLS, CONTRACTOR HAS THE OPTION TO INSTALL SIMPSON TITEN HD ANCHORS INSTEAD OF CAST-IN-PLACE ANCHORS. INSTALLED PER MANUFACTURERS SPECIFICATIONS.
- G. PROVIDE LOAD BEARING EXTERIOR ALUMINUM BRICK VENTS W/ OPERABLE DAMPERS & INSECT SCREENS TO VENTILATE NEW CRAWL SPACE. NET AREA OF VENTILATION SHALL BE MIN. OF 1 SQ. FT. FOR EACH 150 SQ. FT. OF CRAWL SPACE IN VAPOR BARRIER, LOCATE A MINIMUM OF 1' VENT WITHIN 3' OF EACH CORNER.
- H. PROVIDE SLEEVES AT FOUNDATIONS WHERE REQUIRED FOR PENETRATIONS SUCH AS SEWER AND WATER LINES, ETC.

DIVISION 5 - METALS

- A. PROVIDE ALL ANCHORS, PLATES AND OTHER CONNECTORS AND ALL MISCELLANEOUS STEEL AND IRON AS REQUIRED TO PROVIDE A COMPLETE FINISHED INSTALLATION. SEE DETAILS FOR SIZE OF LINTELS AT OPENINGS.
- B. ALL MATERIAL SHALL BE NEW & UNUSED HERETO BEFORE ALL MATERIAL SHALL BE CLEAN & FREE OF OIL, GREASE, MILL SCALE OR RUST. ALL STEEL TO BE SHOP COATED EXCEPT WHEN ENCASED IN CONCRETE, AT BEARING SURFACES, OR WITHIN 2" OF FIELD WELDS.
- C. ALL STEEL WORK SHALL BE IN ACCORDANCE WITH THE AISI CODES AND SPECIFICATIONS.
- D. MATERIAL, NOT OTHERWISE SPECIFIED OR SHOWN ON THE DRAWINGS SHALL BE APPROVED QUALITY OF THE TYPE NORMALLY USED FOR THE PURPOSE. ALL ITEMS NECESSARY FOR THE WORK, WHETHER, SPECIFIED OR NOT, SHALL BE INCLUDED IN THE WORK.
- E. WHERE ALUMINUM SURFACES COME IN CONTACT WITH METAL OTHER THAN STAINLESS STEEL, ZINC, WHITE BRONZE OF SMALL AREA OR OTHER METALS COMPATIBLE WITH ALUMINUM, KEEP ALUMINUM SURFACES APART BY: 1) PAINTING THE DISSIMILAR METAL WITH A PRIME COAT OF ZINC CHROMATE PRIMER OR OTHER SUITABLE PRIMER, FOLLOWED BY TWO COATS OF ALUMINUM METAL AND MASONRY PAINT, OR OTHER SUITABLE PROTECTIVE COATINGS, EXCLUDING THOSE CONTAINING LEAD PIGMENTATIONS, 2) PAINTING THE DISSIMILAR METAL WITH A COATING OF HEAVY BODY BONDING BUTADIES A MAXIMUM OF 12" IN FROM CORNERS. WHERE INSTALLED IN CONCRETE SLAB OR WALLS, CONTRACTOR HAS THE OPTION TO INSTALL SIMPSON TITEN HD ANCHORS INSTEAD OF CAST-IN-PLACE ANCHORS. INSTALLED PER MANUFACTURERS SPECIFICATIONS.
- F. PROVIDE LOAD BEARING EXTERIOR ALUMINUM BRICK VENTS W/ OPERABLE DAMPERS & INSECT SCREENS TO VENTILATE NEW CRAWL SPACE. NET AREA OF VENTILATION SHALL BE MIN. OF 1 SQ. FT. FOR EACH 150 SQ. FT. OF CRAWL SPACE IN VAPOR BARRIER, LOCATE A MINIMUM OF 1' VENT WITHIN 3' OF EACH CORNER.
- G. PROVIDE SLEEVES AT FOUNDATIONS WHERE REQUIRED FOR PENETRATIONS SUCH AS SEWER AND WATER LINES, ETC.

DIVISION 6 - WOOD AND PLASTIC

- A. LUMBER SHALL CONFORM TO THE LATEST EDITION OF THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" AS PUBLISHED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION, UNLESS OTHERWISE NOTED.
- B. ALL LUMBER SHALL BE DOUGLAS FIR-LARCH #2 OR BETTER, CAPABLE OF DEVELOPING THE FOLLOWING MINIMUM ALLOWABLE STRESSES:

| SIZE | Fb (PSI) (SINGLE) | Fb (PSI) (REPETITIVE) | Ft (PSI) | Fc II (PSI) |
|------|----------------------|--------------------------|----------|-------------|
| 2X4 | 1,312 | 1,508 | 882 | 1,495 |
| 2X6 | 1,137 | 1,307 | 747 | 1,430 |
| 2X8 | 1,050 | 1,207 | 690 | 1,365 |
| 2X10 | 982 | 1,106 | 632 | 1,300 |
| 2X12 | 865 | 1,006 | 575 | 1,300 |

Fv (HORIZONTAL SHEAR) = 95 PSI
Fc I (PERPENDICULAR TO GRAIN) = 825 PSI
E (MODULUS OF ELASTICITY) = 1,600,000 PSI

- C. PROVIDE NAILERS OR LEDGERS WHERE REQUIRED, FASTEN SECURELY, LAP AND SPIKE ENDS OF RAFTERS OR JOISTS. ANCHOR ALL FRAMING TO WALLS NOT MORE THAN 4'-0" O.C., INCLUDING RAFTERS AND JOISTS PARALLEL TO WALLS.
- D. ALL FRAMING CONNECTORS & FASTENERS SHALL BE HOT DIPPED GALVANIZED (GALV) OR TYPE 316L STAINLESS STEEL (SS), AS MANUFACTURED BY SIMPSON STRONG-TIE. CARRIAGE BOLTS ARE NOT CODE COMPLIANT & ARE NOT ACCEPTABLE.
- E. ALL ROOF RAFTERS SHALL BE SECURED TO BEARING POINTS AND STUDS BELOW WITH SIMPSON WIND UPLIFT (HURRICANE) CONNECTORS. ALIGN RAFTERS WITH STUDS SO SINGLE CONNECTOR MAY BE USED. ALL JOISTS SHALL BE SECURED TO BEAMS WITH APPROPRIATE HANGERS.
- F. ALL WOOD STUDS TO RUN CONTINUOUS FROM FLOOR TO CEILING.
- G. ALL HEADERS AND WOOD BEAMS ARE TO BEAR ON A MINIMUM OF (2) 2X MEMBERS.

- H. ALL JOISTS SHALL BE SECURED TO FLUSH BEAMS AND LEDGERS WITH APPROPRIATE SIMPSON METAL HANGERS. SECURE WOOD POSTS TO BEAMS WITH METAL COLUMN CAPS AND TO BASES WITH METAL COLUMN BASES.
- I. UNLESS SHOWN OTHERWISE ON THE DRAWINGS:
- (1) 2X4 POSTS AT ALL BEARING CONDITIONS THAT HAVE (2) 2X HEADERS AND (3) 2X4 POSTS THAT HAVE (3) 2X HEADERS OR BEAMS. IN NO CASE SHALL THE BEARING POST BE LESS THAN THE DIMENSION OF THE BEAM OR HEADER, WHEN NOT SHOWN ON THE DRAWINGS. THE DETAILING LEGEND SHALL BE AS NOTED ON THE FRAMING LEGEND.
- J. **PLYWOOD ROOF SHEATHING:** APA STRUCTURAL 1 RATED 5/8" MIN. THICK SHEATHING, EXTERIOR GRADE, AT FRONT ROOF MATCH EXISTING SHEATHING. INSTALL WITH THE LONG DIMENSION OR STRNGTH AXIS OF THE PANEL ACROSS SUPPORTS AND WITH PANEL CONTINUOUS OVER TWO OR MORE SPANS. PANELS AT PANEL ENDS AND EDGES SHALL OCCUR OVER FRAMING. ALLOW 1/8" SPACING AT PANEL ENDS AND EDGES UNLESS OTHERWISE RECOMMENDED BY PANEL MANUFACTURER. PROVIDE "A" FACE AT VOLUME CEILING AREAS.
- K. **PLYWOOD WALL SHEATHING:** APA RATED 5/8" THICK SQUARE EDGE SHEATHING, EXTERIOR GRADE UNLESS OTHERWISE NOTED. ALLOW 1/8" SPACING AT PANEL ENDS AND EDGES UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.

- L. **PLYWOOD SUBFLOORING:** (IN ATTICS AND UNDER STRUCTURAL FINISH FLOOR SUCH AS WOOD STRIP OR TILE UNDERLAYMENT) APA STRUCTURAL 1 RATED 3/4" OR THICKER EXTERIOR SHEATHING OR EQUAL, GLUED AND SCREWED TO JOISTS. INSTALL WITH THE LONG DIMENSION OR STRENGTH AXIS OF THE PANEL ACROSS SUPPORTS AND WITH PANEL CONTINUOUS OVER TWO OR MORE SPANS. PANEL EDGES SHALL BE TONGUE-AND-GROOVE. STAGGER PANEL END JOINTS. ALLOW 1/8" SPACING AT PANEL ENDS AND EDGES UNLESS OTHERWISE RECOMMENDED BY PANEL MANUFACTURER.
- M. BUILDING PAPER, 15 LB. FELT BITUMINOUS IMPREGATED AT ROOFS AND TYVEK HOUSE WRAP AT WALLS.
- N. ALL WOOD IN CONTACT WITH MASONRY OR THE GROUND TO BE ARSENIC AND CHROMIUM FREE PRESURE TREATED LUMBER (PT) FOR GROUND CONTACT AS MANUFACTURED BY CHEMICAL SPECIALTIES, INC. OR EQUAL.

- O. MICRO LAM LAMINATES DEVELOPED BY THE U.S. & PARALLEL LAMBER (PSL) BEAMS AS NOTED ON THE DRAWINGS ARE AS MANUFACTURED BY WEYERHAEUSER & SHALL BE 2-0E GRADES. SIZES SHOWN ON PLANS ARE MINIMUM REQUIRED, LARGER BEAMS MAY BE USED.
- P. ALL BEAMS AND ENGINEERED JOISTS SHALL BE INSTALLED, FASTENED, ANCHORED, ETC. IN STRICT ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS. PROVIDE ALL REQUIRED HANGERS, BLOCKING, CONNECTORS, ETC. IN STRICT ACCORDANCE WITH MANUFACTURERS ENGINEERED DRAWINGS. CONTRACTOR MAY USE OTHER ENGINEERED BEAMS AND JOISTS, WITH ENGINEERED DRAWINGS SUPPLIED BY MANUFACTURER TO SHOW THEY ARE COMPARABLE TO SPECIFIED PRODUCTS.
- Q. ALL INTERIOR WOOD TO BE AS SELECTED BY OWNER.
- R. EXTERIOR TRIM, FASCIAS, PANELS & MISC. TRIM SHOWN ON ELEVATIONS & DETAILS TO BE LOW MAINTENANCE VINYL OR CELLULAR PVC TRIM AS MANUFACTURED BY AZEK BUILDING PRODUCTS, OR APPROVED EQUAL.
- S. UNDO, WOOD POSTS SHALL BE MULTIPLE STUDS SPRIKE TOGETHER WITH 10 PENNY NAILS AT 8" O.C. ALL WOOD POSTS SHALL BE SOLIDLY BLOCKED DOWN TO THE FOUNDATION WALL, GIRDER OR FOOTING WITH LIKE MATERIALS AND WITH THE GRAIN ORIENTED IN THE VERTICAL DIRECTION.
- T. UNDO, DOUBLE JOISTS AND RAFTERS AT ALL OPENINGS. DOUBLE ALL JOIST UNDER WALLS WHICH ARE PARALLEL TO THE SPAN AND WHICH ARE GREATER THAN 80% OF THE SPAN. THESE DOUBLED JOISTS MAY BE SEPARATED BY 3'-1/2" TO ALLOW FOR PIPES AND DUCTS, PROVIDED THAT SOLID BLOCKING IS PROVIDED BETWEEN THEM AT A MAX. 24" O.C.
- U. PROVIDE ALL NECESSARY AND REQUIRED BRACING, BRIDGING AND SHORING, TEMPORARY OR OTHERWISE.
- V. THE QUANTITY AND SIZE OF FASTENERS CONNECTING BUILDING ELEMENTS AND MATERIALS TOGETHER SHALL NOT BE LESS THAN THAT AS SPECIFIED IN 2015 IRC, TABLE R602.3(1) FASTENER SCHEDULE.
- W. STRUCTURAL FLOOR MEMBERS SHALL NOT BE CUT, BORED OR NOTCHED IN EXCESS OF THE FOLLOWING LIMITATIONS, PER IRC R602.8:
- NOTCHES IN SOLID LUMBER JOISTS, RAFTERS AND BEAMS SHALL NOT EXCEED ONE-SIXTH OF THE DEPTH OF THE MEMBER. SHALL NOT BE LONGER THAN ONE-THIRD OF THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE SPAN.
- NOTCHES AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FOURTH THE DEPTH OF THE MEMBER. THE TENSION SIDE OF MEMBERS 4 INCHES OR GREATER IN NOMINAL THICKNESS SHALL NOT BE NOTCHED EXCEPT AT THE ENDS OF THE MEMBERS. THE DIAMETER OF HOLES BORED OR CUT INTO THE DEPTH OF THE MEMBER SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE MEMBER. HOLES SHALL NOT BE CLOSER THAN 2 INCHES TO THE TOP OR BOTTOM OF THE MEMBER, OR TO ANY OTHER HOLE LOCATED IN THE MEMBER, OR TO ANY NOTCH.
- X. PROVIDE BRACED WALL PANELS UPLIFT LOAD PATH PER R602.3.5. BRACED WALL PANELS LOCATED AT EXTERIOR WALLS THAT SUPPORT ROOFS, RAFTERS OR OTHER STRUCTURAL STORIES BELOW THE TOP STORY, SHALL HAVE THE FRAMING MEMBERS CONNECTED IN ACCORDANCE WITH ONE OF THE FOLLOWING 2 METHODS IN ACCORDANCE WITH R602.3(1) WHERE: 1) THE ULTIMATE DESIGN WIND SPEED DOES NOT EXCEED 115 MPH, THE WIND EXPOSURE CATEGORY IS "B", THE ROOF PITCH IS 3:12 OR GREATER & THE ROOF SPAN IS 32 FEET OR LESS, 1.2 THE NET UPLIFT VALUE OF THE ROOF SHALL NOT EXCEED 100 PLF. THE NET UPLIFT VALUE SHALL BE DETERMINED IN ACCORDANCE WITH SECTION R602.11. SHALL BE PERMITTED TO BE REDUCED TO 60 PLF FOR EACH FULL WALL ABOVE, 2. WHERE THE NET UPLIFT VALUE AT THE TOP OF A WALL DOES EXCEEDS 100 PLF, INSTALLING APPROVED UPLIFT FRAMING CONNECTOR TO PROVIDE A CONTINUOUS LOAD PATH FROM THE TOP OF THE WALL TO THE FOUNDATION, OR TO A POINT WHERE THE UPLIFT FORCE IS 100 PLF OR LESS. THE NET UPLIFT FORCE SHALL BE DETERMINED IN ITEM 1.
- Y. PROVIDE BRACED WALL PANELS AS SHOWN ON PLANS, ELEVATIONS AND DETAILS, AND AS REQUIRED BY SECTION IRC R602.10. SEE FRAMING NOTIONS AND DETAILS.
- Z. ALL FLOOR, ATTIC AND ROOF FRAMING MEMBERS OF 2X10 OR LARGER SHALL HAVE ONE END BRACED FOR THE ENTIRE SPAN WITH PLYWOOD SHEATHING, OR SHALL HAVE BRIDGING THAT CONSISTS OF NOT LESS THAN 1x5 LUMBER, DOUBLE NAILED AT EACH END, OR OF EQUIVALENT METAL BRACING OF EQUAL RIGIDITY AT MAX. 8'-0" O.C. A LINE OF BRIDGING OR BLOCKING SHALL ALSO BE INSTALLED AT SUPPORTS OF ALL JOIST/RAFTER RAFTERS WHERE LATERAL SUPPORT IS NOT OTHERWISE PROVIDED.

- AA. CONTRACTOR SHALL PROVIDE WOOD OR METAL RAILINGS & GUARDS AT BALCONIES & STAIRS AS REQUIRED BY CODE. REVIEW DESIGN OPTIONS WITH OWNER BEFORE ORDERING (BALUSTERS, RAILS, FINISH, ETC.). HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH STAIR AND AT MORE RISERS, PORCHES, BALCONIES OR RAISED FLOOR SURFACES MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARD NOT LESS THAN 42 INCHES HIGH. GUARDS AND RAILS SHALL HAVE BALUSTERS OR BE SOLID MATERIAL SUCH THAT A SPHERE WITH A DIAMETER OF 4" CANNOT PASS THROUGH ANY OPENING. HANDRAILS SHALL BE 30" TO 36" HIGH, MEASURED FROM THE TREAD NOSING. HANDRAILS AND GUARDS SHALL BE DESIGNED AND CONSTRUCTED TO WITHSTAND A CONCENTRATED LOAD OF 200 LBS. PER LINEAL FOOT (200 LBS. PER LINEAL FOOT OF THE TOP RAILING MEMBER).
- AB. MASONRY OR WOOD STAIRS SHALL BE A MIN. OF 36" WIDE AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT, WITH A MIN. CLEAR WIDTH AT A BELOW THE HANDRAIL HEIGHT OF MIN. 31.5" WITH ONE HANDRAIL AND 27" WITH 2 HANDRAILS, AND SHALL HAVE A MINIMUM 36" LANDINGS AT THE TOP & BOTTOM OF EACH STAIR. HANDRAILS SHALL NOT PROJECT MORE THAN 4.5" ON EITHER SIDE OF THE STAIRWAY. STAIRS SHALL HAVE A MAX. 2" RISER HEIGHT, A 1" NOSING & A MIN. 9" TREAD DEPTH, PER IRC CODE.

DIVISION 7 - THERMAL & MOISTURE PROTECTION

- A. ROOF SHINGLES TO BE CLASS A, FIBERGLASS ASPHALT SHINGLES AS MANUFACTURED BY GAF-ELK, OR EQUAL, FURNISHED WITH MANUFACTURERS WRITTEN WARRANTY. INSTALL ALL ROOFING IN STRICT ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS AND RECOMMENDATIONS. SHINGLES TO BE SELECTED BY OWNER, REVIEW OPTIONS WITH OWNER BEFORE ORDERING.
- B. PROVIDE METAL FLASHING AT ALL JUNCTURES BETWEEN PLANE CHANGES & AS SHOWN ON THE DETAILS, IN ACCORDANCE WITH SMACNA SHEET METAL MANUAL.
- C. PROVIDE ALL ROOFING ACCESSORIES INCLUDING ALL COMPOSITION & METAL FLASHING, FASTENERS, CEMENTS, STARTER COURSES, ETC., AS REQUIRED TO PROVIDE A COMPLETE FINISHED INSTALLATION.
- D. NEW GUTTERS & LEADERS TO BE SELECTED BY OWNER.
- E. PROVIDE ALL NECESSARY CAULKING AND SEALANTS TO COMPLETE THE WORK.
- F. PROVIDE WATERPROOFING UNDERLAYMENT, "WATERGUARD" AS MANUFACTURED BY CERTAINTED, OR EQUAL UNDER ALL SHINGLED ROOF AREAS AT VALLEYS (18" X 12" OR LESS) & AT EAVES, MINIMUM OF 24" FROM FACE OF WALL BELOW.
- G. SOFFIT PANELS SHALL BE SELECTED BY OWNER.
- H. THE BUILDING ENVELOPE FOR THE NEW CONSTRUCTION MEETS OR EXCEEDS THE ENERGY SUB-CODE DESIGN CRITERIA IN ACCORDANCE WITH U.C.C. BULLETIN, 07-2, COMPLIANCE WITH RESCHECK SOFTWARE. ARCHITECT TO SUBMIT COMPLIANCE REPORT.
- I. INSULATION TO BE UNFACED FIBERGLASS BATT/BOARD OR A SEPARATE MEM-BRAN VAPOR BARRIER ON THE INTERIOR SIDE, OR FACED BATTS, BY OWENS CORNING, OR EQUAL. MINIMUM REQUIRED INSULATION: 3.5" THICK R-15 BATTS & 1" THICK R-5 CONTINUOUS FOAM SHEATHING AT EXTERIOR WALLS, 12" THICK R-38 BATTS AT ATTIC FLOOR (SECOND FLOOR CEILING) & R-30 8.5" THICK BATTS AT FLOORS (BASEMENT, CRAWL SPACE, BALCONIES). PROVIDE CORRUGATED FOAM SHEATHING WHERE REQUIRED TO MAINTAIN AIR FLOW AT EAVES. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- J. ROOF RIDGE VENT & ROOF-2-WALL-VENT SHALL BE AS MANUFACTURED BY CORA-VENT, OR EQUAL, INSTALLED AS REQUIRED BY THE MANUFACTURER.
- K. BASEMENT AND FOUNDATION WALLS SHALL BE DAMPROOFED ON THE EXTERIOR SURFACE BY APPLICATION OF AN APPROVED DAMPROOFING OR WATERPROOFING MATERIAL, WHICH SHALL EXTEND FROM THE TOP OF THE FOOTING TO 1" ABOVE GROUND LEVEL. BITUMINOUS DAMPROOFING MATERIALS SHALL BE INSTALLED FOLLOWING THE MANUFACTURERS THICKNESS AND COATING RECOMMENDATIONS. PRIOR TO DAMPROOFING OR WATERPROOFING, UNIT MASONRY WALLS SHALL BE PARDED ON THE EXTERIOR SURFACE WITH NOT LESS THAN 3/8" OF PORTLAND CEMENT MORTAR. THE PARING SHALL BE COVE AT THE FOOTING. PARING OF UNIT MASONRY WALLS IS NOT REQUIRED WHERE A DAMPROOFING OR WATERPROOFING MATERIAL IS APPROVED FOR DIRECT APPLICATION TO THE MASONRY.
- L. STUCCO: THE EXTERIOR CEMENT PLASTER STUCCO SYSTEM SHALL BE AS MANUFACTURED BY USG(UNITED STATES GYPSUM) "DURACORE 1000 SYSTEM". THIS SYSTEM IS A WATER MANAGED DIRECT-APPLIED EXTERIOR FINISH SYSTEM WHICH IS INTENDED TO BE APPLIED OVER TYVEK STUCCO WRAP BARRIER AND EXTERIOR CEMENT BOARD. INSTALL USG SYSTEM IN ACCORDANCE WITH WRITTEN INSTRUCTIONS. USING ONLY USG LISTED MATERIALS AND COMPONENTS. COLOR AND TEXTURE TO BE SELECTED, AS AN OPTION TO THE USG SYSTEM LISTED ABOVE, TRADITIONAL PORTLAND CEMENT STUCCO MAY BE USED. THE PORTLAND CEMENT STUCCO SHALL CONSIST OF MATERIALS AND METHODS WHICH ARE IN ACCORDANCE WITH LOCAL CODES, ASTM C 926 & INDUSTRY STANDARDS. THE STUCCO SHALL BE INSTALLED AS A THREE PART SYSTEM WITH THE FIRST TWO (2) COATS COMPRISED OF (3) PARTS SAND, 14 LIME PUTTY (HYDRATED LIME & WATER), AND ONE (1) PART PORTLAND CEMENT AND WATER.
- M. DECK MEMBRANE AT BALCONIES TO BE DURADEK VINYL DECKING AS MANUFACTURED BY DURADEK, OR APPROVED EQUAL. PROVIDE ALL ADHESIVES, DRAINAGE ACCESSORIES, FLASHING, ETC. FOR A COMPLETE WATERTIGHT INSTALLATION. TO BE INSTALLED BY A TRAINED & APPROVED INSTALLER. ALL JOINTS, PENETRATIONS, WALL & DOOR JUNCTURES, ETC. SHALL BE PER THE MANUFACTURERS RECOMMENDED DETAILS. PREPARE SUBSTRATE AS REQUIRED BY MANUFACTURER.

DIVISION 8 - DOORS, WINDOWS, SKYLIGHTS

- A. OWNER TO SELECT FRONT ENTRY DOOR, GARAGE DOOR & ALL WINDOWS. UNITS SHOWN ON THE ELEVATIONS ARE AS MANUFACTURED BY ANDERSEN. BUT OWNER MAY SELECT UNITS BY OTHER MANUFACTURERS, AS LONG AS THEY HAVE LOW-E, "U" VALUE OF 33 OR LESS. INSULATING GLASS, ALL GLASS, SUCH AS AT ENTRY LOCATION, IS THE RESPONSIBILITY OF THE WINDOW SUPPLIER AND OWNERS AGENT ORDERING THE WINDOWS. ALIGN WINDOW HEADS WITH INTERIOR DOOR HEADS, U.N.O. SOME EXISTING WINDOWS MAY BE REUSED OR RELOCATED. REVIEW OPTIONS WITH OWNER BEFORE ORDERING AT LEAST ONE WINDOW IN ALL BEDROOMS SHALL BE AN EGRESS UNIT. PER AN EGRESS UNIT. PER AN EGRESS UNIT. PER AN EGRESS UNIT.
- B. ALL INTERIOR DOORS & HARDWARE SHALL MATCH EXISTING, OR AS SELECTED BY OWNER, REVIEW OPTIONS WITH OWNER BEFORE ORDERING.

DIVISION 9 - FINISHES

- A. UNLESS OTHERWISE NOTED, ALL GYPSUM WALLBOARD (GWB) TO BE 1/2" THICK GYPSUM BOARD AS MANUFACTURED BY U.S.G. GEORGIA PACIFIC, OR EQUAL. GYPSUM BOARD TO BE SCREWED, TAPED, SPACKLED & SANDED SMOOTH TO PROVIDE A COMPLETE FINISHED INSTALLATION. FURNISH ALL WALLBOARD ACCESSORIES AS REQUIRED. GWB AT BATHROOMS SHALL BE WATER RESISTANT TYPE (WR) AS A MINIMUM, WITH DENS-GUARD TILE BACKER GWB AT TUBS & SHOWERS. INSTALLATION OF GYPSUM MATERIALS SHALL FOLLOW THE SPECIFICATIONS OF THE CURRENT EDITION OF THE GYPSUM HANDBOOK.
- B. ALL GWB MATERIALS AND ACCESSORIES SHALL BE IDENTIFIED BY THE MANUFACTURERS DESIGNATION TO INDICATE COMPLIANCE WITH ASTH C36, C79, C475, C514, C630, C960, C1002, C1047, C1177, C1178, C1278 AND C1395. SCREWS FOR ATTACHING GWB TO WOOD FRAMING SHALL BE TYPE S OR TYPE W, IN ACCORDANCE WITH ASTM C1002, AND SHALL PENETRATE THE WOOD NOT LESS THAN 5/8".
- C. ALL INTERIOR WALL AND FLOOR FINISHES SHALL BE SELECTED BY THE OWNER. GENERAL CONTRACTOR SHALL PROVIDE APPROPRIATE UNDERLAYMENTS AND PREPARE SUBSTRATES FOR THE SELECTED FINISHES. REVIEW OPTIONS WITH OWNER BEFORE ORDERING.
- D. UNLESS OTHERWISE NOTED, ALL EXPOSED UNFINISHED SURFACES (GWB, WOOD TRIM, ETC.) SHALL BE PAINTED. PAINT SHALL BE LATEX, AS MANUFACTURED BY SHERWIN WILLIAMS OR EQUAL. PROVIDE RECOMMENDED PRIMERS, PREPARE SURFACES & APPLY PER MANUFACTURER RECOMMENDATIONS. ONE (1) COAT PRIMER & TWO (2) FINISH COATS PAINT. MATTE FINISH FOR WALLS & CEILINGS, SEMI-GLOSS FOR TRIM, GLOSS FOR EXTERIOR. COLORS TO BE SELECTED BY OWNER.
- E. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL TILE, REVIEW EXISTENT OF TILE WITH OWNER. TILE & GROUT COLORS SHALL BE SELECTED BY OWNER & INSTALLED BY CONTRACTOR. TILE WORK, INCLUDING PREPARATION OF SUBSTRATE, TILE & GROUT, INSTALLATION, SHALL BE PER THE RECOMMENDATIONS OF THE TILE COUNCIL OF AMERICA INC. HANDBOOK & THE MANUFACTURERS INSTALLATION INSTRUCTIONS. METHOD OF INSTALLATION FOR WALLS & FLOORS SHALL BE THIN SET, INCLUDING DITRA' UNDERLAYING WATERPROOFING MEMBRANE, AS MANUFACTURED BY SCHLUTER SYSTEMS, FOR ALL TILE FLOORING. USE DITRA'X IF TILE IS BEING INSTALLED ADJACENT TO 3/4" THICK SOLID WOOD FLOOR. ALL TILED TUB AND SHOWER SURFACES SURROUNDS: PROVIDE SCHLUTER SHOWER SYSTEMS INTEGRATED COMPONENTS FOR A COMPLETE WATERTIGHT INSTALLATION. COMPONENTS INCLUDE THE KERDI' & KERDI-BAND' WATERPROOFING MEMBRANE & STRIP, KERDI-KEREX' PRE-FORMED INSIDE & OUTSIDE CORNERS KERDI-SEAL & KERDI-FLEX' SEALANT & BONDING COMPOUNDS. INSTALL PER RECOMMENDATION BY THE MANUFACTURERS INSTALLATION HANDBOOKS.
- F. THROUGHOUT THE BASEMENT PROVIDE FIREBLOCKING AT COMBUSTIBLE CONSTRUCTION TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL & HORIZONTAL) TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES. PER SECTION R302.11 OF THE CODE, INCLUDING THE FOLLOWING:

1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS.
2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS AND AROUND BATH TUB.
3. IN CONCEALED SPACES BETWEEN STAR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
4. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL WITH AN APPROVED MATERIAL TO RESIST THE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION
- G. FIREBLOCKING MATERIALS FOR ITEMS 1 THROUGH 3 ABOVE SHALL CONSIST OF: TWO INCH NOMINAL LUMBER, ONE HALF INCH GYPSUM BOARD, ONE QUARTER INCH CEMENT-BASED MILLBOARD, OR OTHER APPROVED MATERIAL, PER SECTION R302.11 OF THE IRC.

DIVISION 10, 11, 12, 13 & 14

- A. CONTRACTOR SHALL PROVIDE CLOSET MAID OR EQUAL VINYL COATED WIRE SHELVING SYSTEM IN THE CLOSETS, INCLUDING ALL FASTENERS, HARDWARE, BRACKETS, ETC. FOR A COMPLETE INSTALLATION. REVIEW CLOSET LAYOUTS WITH OWNER. OWNER SHALL PAY FOR ALL MATERIALS. CONTRACTOR SHALL INSTALL.
- B. ACCESSORIES FOR NEW BATHROOMS SHALL BE PAID FOR OR PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR, INCLUDING TOWEL BARS, MIRRORS AND MEDICINE CABINETS, TOILET PAPER DISPENSERS, ETC. COORDINATE QUANTITY OF ITEMS AND LOCATIONS WITH OWNER.
- C. GLASS SHOWER DOOR & ENCLOSURES TO BE FRAMELESS SYSTEM AS MANUFACTURED BY CENTURY BATHWORKS, INC., WEST PATERSON, NJ, OR APPROVED EQUAL. UNIT TO BE 1" FRAMED BRASSLINE SERIES, CUSTOM FABRICATED, WITH STANDARD GLASS, REVIEW OPTIONS WITH OWNER BEFORE ORDERING.
- D. PULL DOWN ATTIC STAIR SHALL BE SELECTED & PAID FOR BY OWNER & INSTALLED BY THE CONTRACTOR. UNIT TO HAVE A MIN. ROUGH OPENING OF 22" BY 30", INSTALLED PER MANUFACTURERS SPECIFICATIONS. REVIEW LOCATION & OPTIONS WITH OWNER BEFORE ORDERING.
- E. ALL CABINETS, LAVATORIES & COUNTERTOPS SHALL BE PAID FOR & SELECTED BY THE OWNER. CONTRACTOR SHALL COORDINATE DELIVERY & INSTALL UNITS.
- F. ALL KITCHEN CABINETS, APPLIANCES & COUNTERTOPS SHALL BE SELECTED BY THE OWNER & BE INSTALLED BY THE CONTRACTOR. REVIEW OPTIONS WITH OWNER BEFORE ORDERING. CONTRACTOR SHALL COORDINATE DELIVERY & INSTALLATION OF CABBINERY, COUNTERTOPS & APPLIANCES WITH SUPPLIERS, & COORDINATE ROUGH-INS FOR APPLIANCES.

DIVISION 15 - MECHANICAL

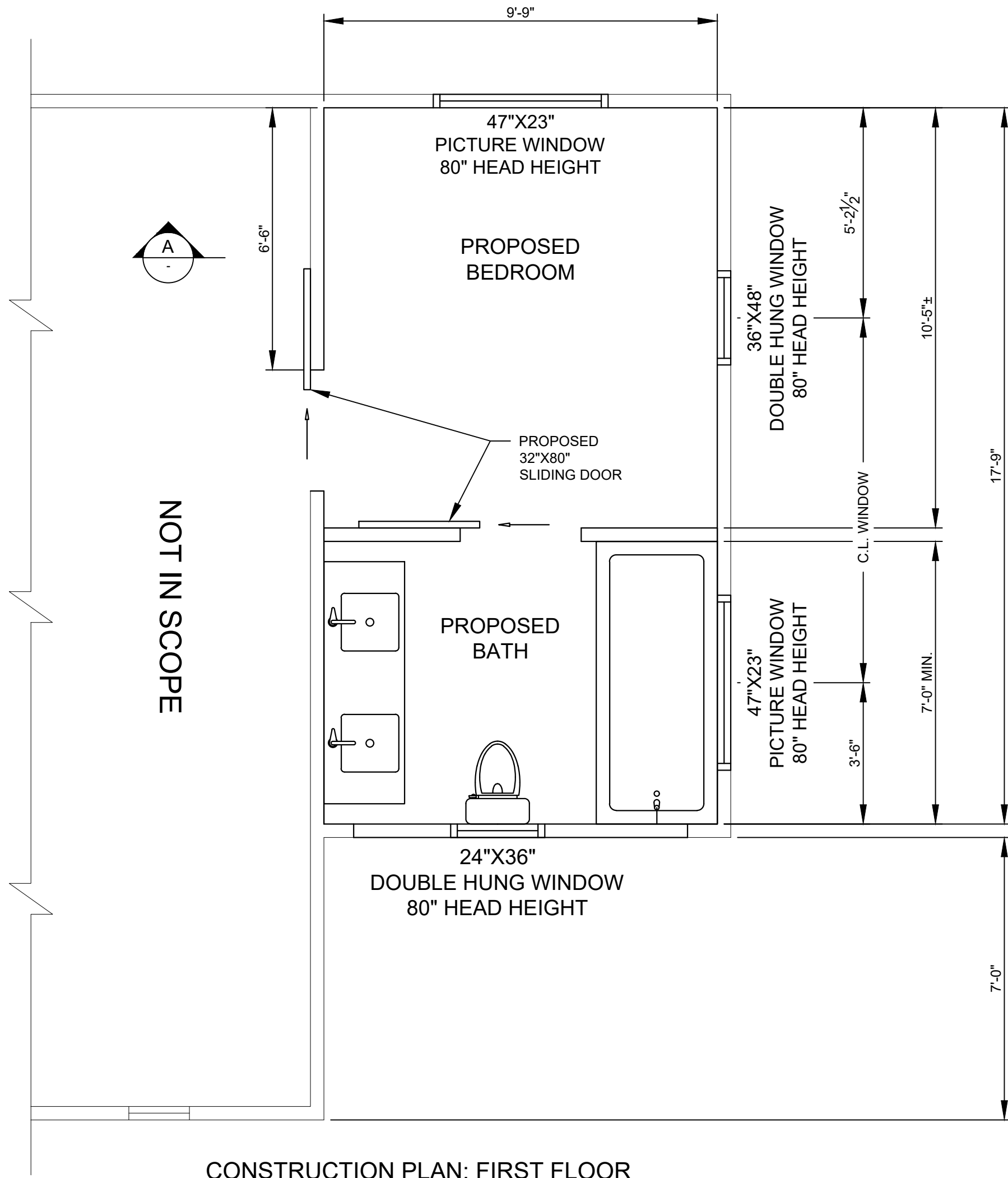
- A. CONTRACTORS SHALL PERFORM ALL HVAC AND PLUMBING WORK IN ACCORDANCE WITH ALL APPLICABLE CODES, LAWS, ORDINANCES, RULES & REGULATE.
- B. MECHANICAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN & INSTALLATION OF THE NEW DIRECT VENT HIGH EFFICIENCY HVAC SYSTEM, WITH ALL COMPONENTS (FURNACE, AIR FILTER, HUMIDIFIER, CONDENSERS), DUCTS, PIPES, REGISTERS, CONTROLS, WIRING, ETC.) FOR A COMPLETE SYSTEM. REMOVE EXISTING CHIMNEY & EQUIPMENT. INSPECT THE EXISTING HVAC SYSTEM & REUSE, RELOCATE OR INCORPORATE EXISTING ELEMENTS (DUCTS, REGISTERS, ETC.) WHERE FEASIBLE. REVIEW OPTIONS WITH OWNER BEFORE ORDERING.
- C. HVAC DIAGRAMS, IF REQUIRED, SHALL BE FURNISHED BY HVAC CONTRACTOR. PLUMBING AND GAS RISER DIAGRAMS, IF REQUIRED, SHALL BE FURNISHED BY PLUMBING CONTRACTOR.
- D. ALL PLUMBING FIXTURES, APPLIANCES, FITTINGS, ETC. SHALL BE PAID FOR & SELECTED BY THE OWNER. CONTRACTOR SHALL COORDINATE DELIVERY & INSTALL UNITS.

DIVISION 16 - ELECTRICAL

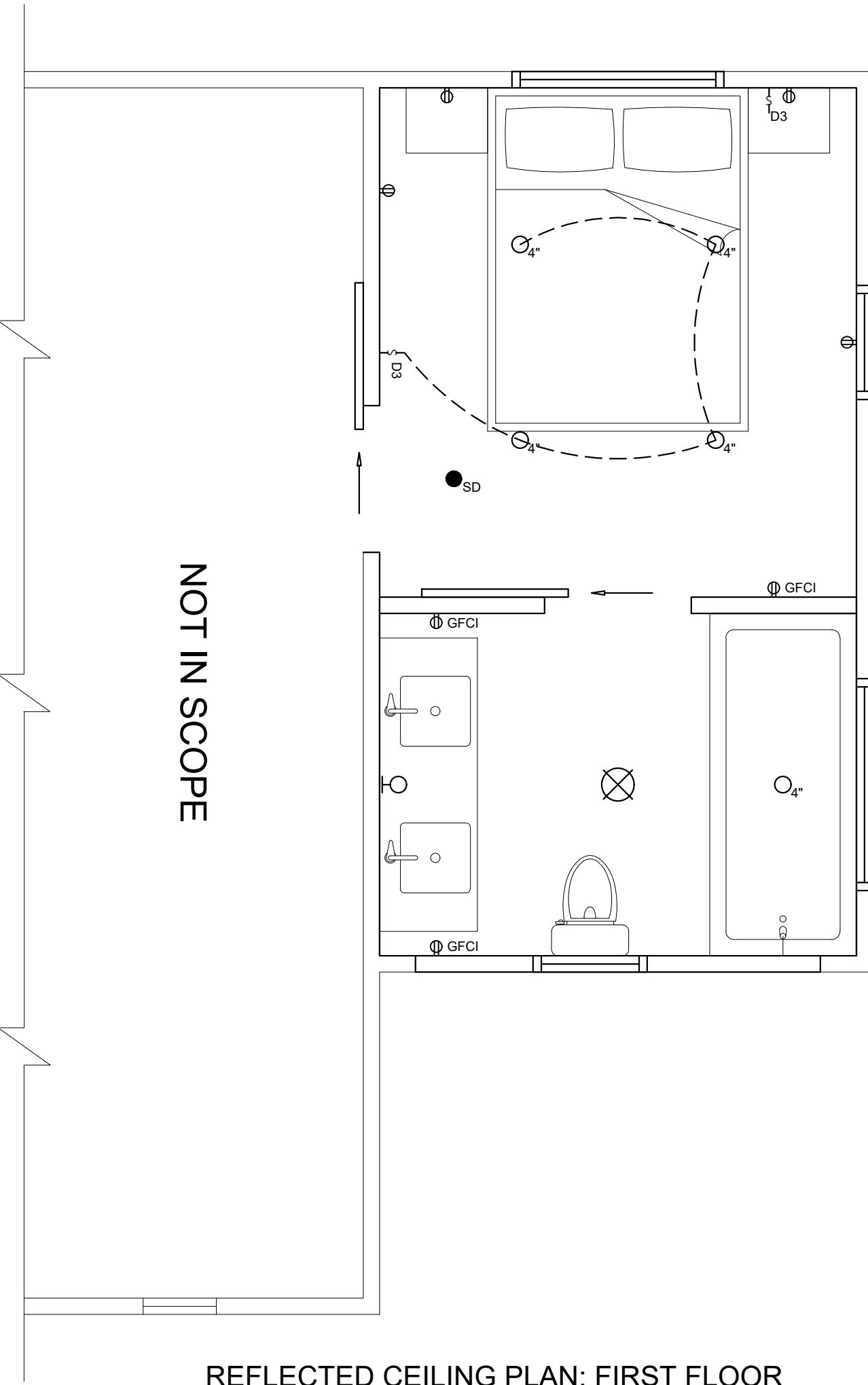
- A. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES, LAWS, ORDINANCES, RULES, AND REGULATIONS INCLUDING REGULATIONS OF THE LOCAL UTILITY CO. AND THE 2014 EDITION OF THE NATIONAL ELECTRIC CODE.
- B. ELECTRICAL CONTRACTOR SHALL INSPECT THE EXISTING ELECTRICAL SYSTEM & ADD TO OR EXTEND SAME TO ACCOMMODATE THE NEW WORK. THE FINAL COMPLETE DESIGN AND RELATED INSTALLATION SHALL BE THE RESPONSIBILITY OF A LICENSED ELECTRICIAN AS ALLOWED AND REQUIRED BY THE NEW JERSEY UNIFORM CONSTRUCTION CODE, AND SHALL MEET ALL REQUIREMENTS AS SET FORTH THEREIN.
- C. CODE COMPLIANCE SHALL BE THE RESPONSIBILITY OF THE LICENSED ELECTRICIAN.
- D. CONTRACTOR SHALL FURNISH ALL WIRING DEVICES REQUIRED & LAMPS FOR LIGHT FIXTURES, UNLESS NOTED OTHERWISE.
- E. ALL BUILDING WIRING SHALL BE COPPER AS REQUIRED BY LOAD AND HAVE A MINIMUM RATED 75% TYPE THHN INSULATION. A HIGHER RATED TEMPERATURE INSULATION SHALL BE UTILIZED WHERE REQUIRED BY AMBIENT CONDITION OR FIRE.
- F. ALL FIXTURES TO BE UP APPROVED AND SHALL BEAR THE LABEL OF UNDERWRITERS LABORATORIES. RECESSED LIGHT FIXTURES TO BE TYPE REQUIRED FOR THE TYPE OF INSTALLATION AS REQUIRED BY CODE. I.E. THERMALLY PROTECTED OR TYPE C WHERE INSTALLED IN INSULATED JOIST OR RAFTER SPACES. FIXTURES TO BE AS MANUFACTURED BY LIGHTOLIER, HALO, PROGRESS OR EQUAL. REVIEW ALL LIGHT FIXTURE SELECTIONS WITH OWNER PRIOR TO ORDERING OR INSTALLATION OF FIXTURES.
- G. SERVICE PANEL BOX TO BE LABELED BY THE ELECTRICAL CONTRACTOR SHOWING WHAT AREAS EACH BREAKER SERVES.
- H. RECEPTACLES AT EXTERIOR, GARAGE, BATHS & KITCHENS & ANYWHERE ELSE REQUIRED BY CODE SHALL BE PROTECTED BY GROUND FUL INTERRUPTER.
- I. NEW SWITCHES & SWITCH PLATES SHALL MATCH EXISTING, OR AS SELECTED BY OWNER, REVIEW OPTIONS WITH OWNER BEFORE ORDERING. COORDINATE WITH OWNER FOR FINAL SWITCH, OUTLET & LIGHT LOCATIONS.
- J. COORDINATE WITH OWNER LOCATIONS FOR ADDITIONAL NON-POWER WIRING TYPES, TV, SPEAKERS, CABLE, DATA, PHONE, ETC. OWNER FOR DIMMER LOCATIONS AND SPECIAL OUTLET TYPES.
- K. ALL DECORATIVE OR EXPOSED LIGHT FIXTURES, PENDANTS, LANTERN LIGHTING, UNDERCABINET LIGHTS & WALL SCENES, & BATHROOM EXHAUST FAN/LIGHT UNITS, SHALL BE PAID FOR & SELECTED BY OWNER & INSTALLED BY CONTRACTOR. PRIOR TO PURCHASE & INSTALLATION LIGHT FIXTURES REVIEW LAYOUT AND DISCUSS OPTIONS WITH OWNER.
- L. ALL EXISTING LIGHT FIXTURES, SWITCHES, OUTLETS, ETC. NOT AFFECTED BY THE NEW WORK SHALL REMAIN AS IS, UNO. RELOCATE OR CAP ALL ITEMS AS REQUIRED BY OWNER.
- M. VERIFY IN FIELD (VIF) THE EXISTING CONDITIONS, UPGRADE WITH NEW SMOKE & CARBON MONOXIDE DETECTORS, PER LEGEND.
- N. SWITCH AND OUTLET LOCATIONS SHOWN ON THE PLANS ARE DIAGRAMMATIC. OWNER TO SELECT FINAL LOCATIONS. ALL OUTLETS IN LIVING SPACES SHALL MEET THE 2014 EDITION OF THE NEC, ARTICLE 210.52 OF THE NEC. CODE. INCLUDING SPACING RECEPTACLES SUCH THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 6 FEET FROM A RECEPTACLE OUTLET, AND ANY SPACE THAT IS 2 FEET WIDE OR MORE SHALL HAVE AN OUTLET.
- O. OVERVIEW WITH OWNERS AGENT. LIGHTING FIXTURES ARE TO BE INSTALLED IN ANY BATHROOM, BY NUHEAT OR EQUAL. ELECTRICAL CONTRACTOR TO PROVIDE GFCI OUTLET FOR BAT & WIRING FOR THERMOSTAT. IF ANY ARE TO BE PROVIDED, OWNER SHALL PAY FOR & SELECT WITH INSTALLATION BY CONTRACTOR.

ABBREVIATIONS

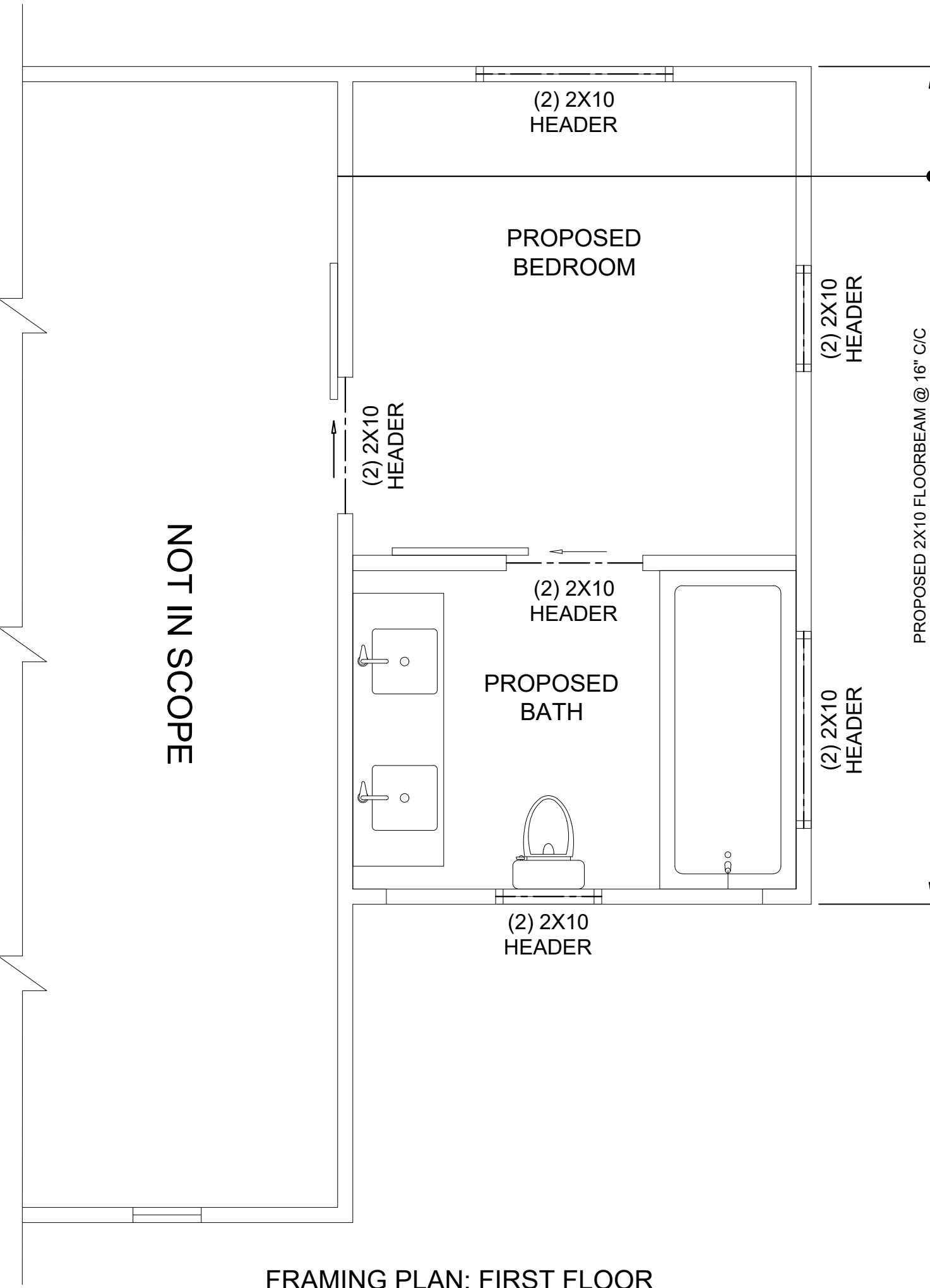
| | |
|-------------|------------------|
| & | AND |
| @ | AT |
| ABT. | ABOUT |
| ALUM. | ALUMINUM |
| APPROX. | APPROXIMATELY |
| AVE. | AVENUE |
| BETWN | BETWEEN |
| C.C. OR C/C | CENTER TO CENTER |
| C.L. OR C/L | CENTER-LINE |
| DIA. | DIAMETER |
| DIM. | DIMENSION |
| DWG. | DRAWING |
| DWGS. | DRAWINGS |
| E | EAST |
| EA | E |



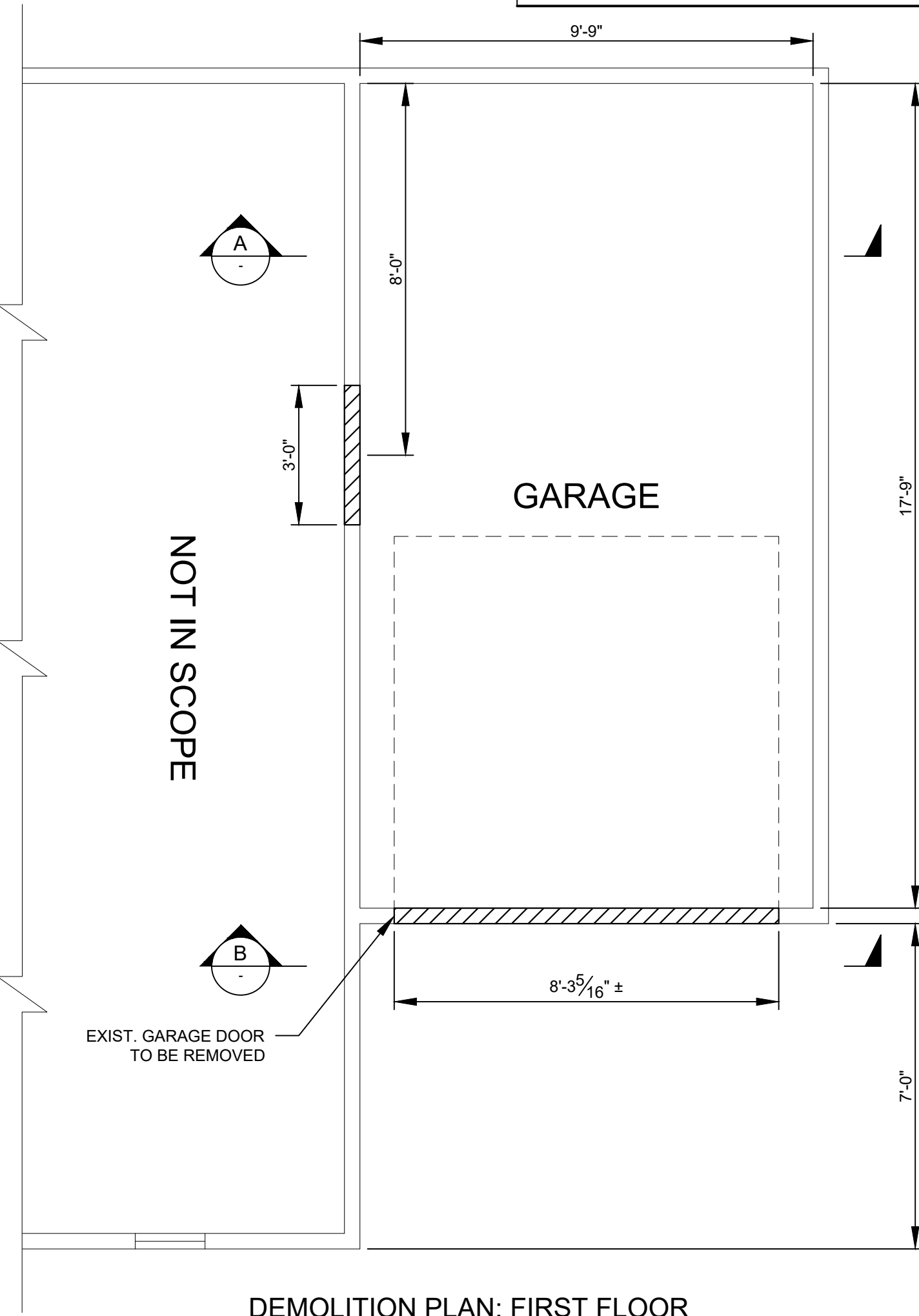
CONSTRUCTION PLAN: FIRST FLOOR
SCALE: 3/8"=1'-0"



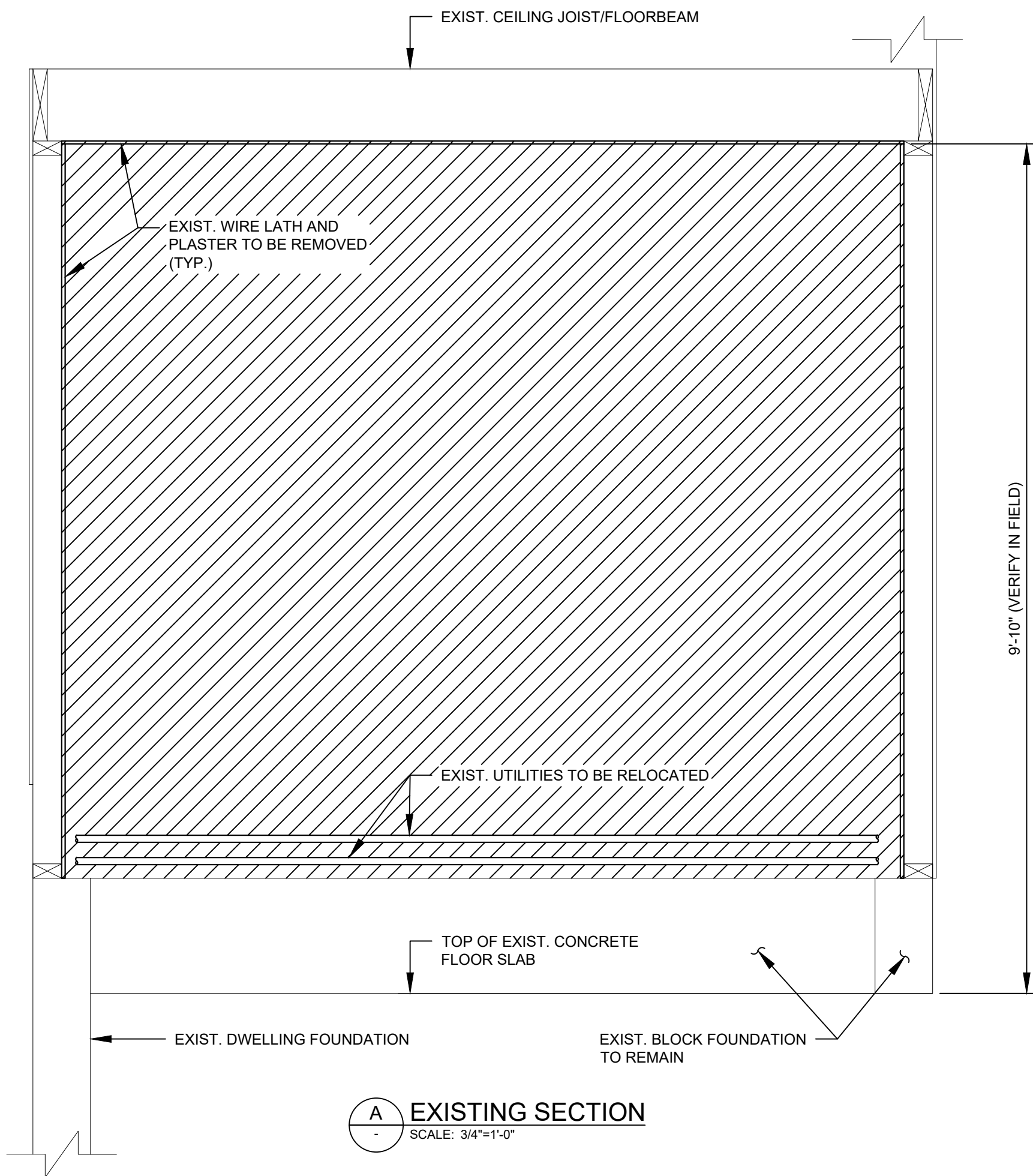
REFLECTED CEILING PLAN: FIRST FLOOR
SCALE: 3/8"=1'-0"



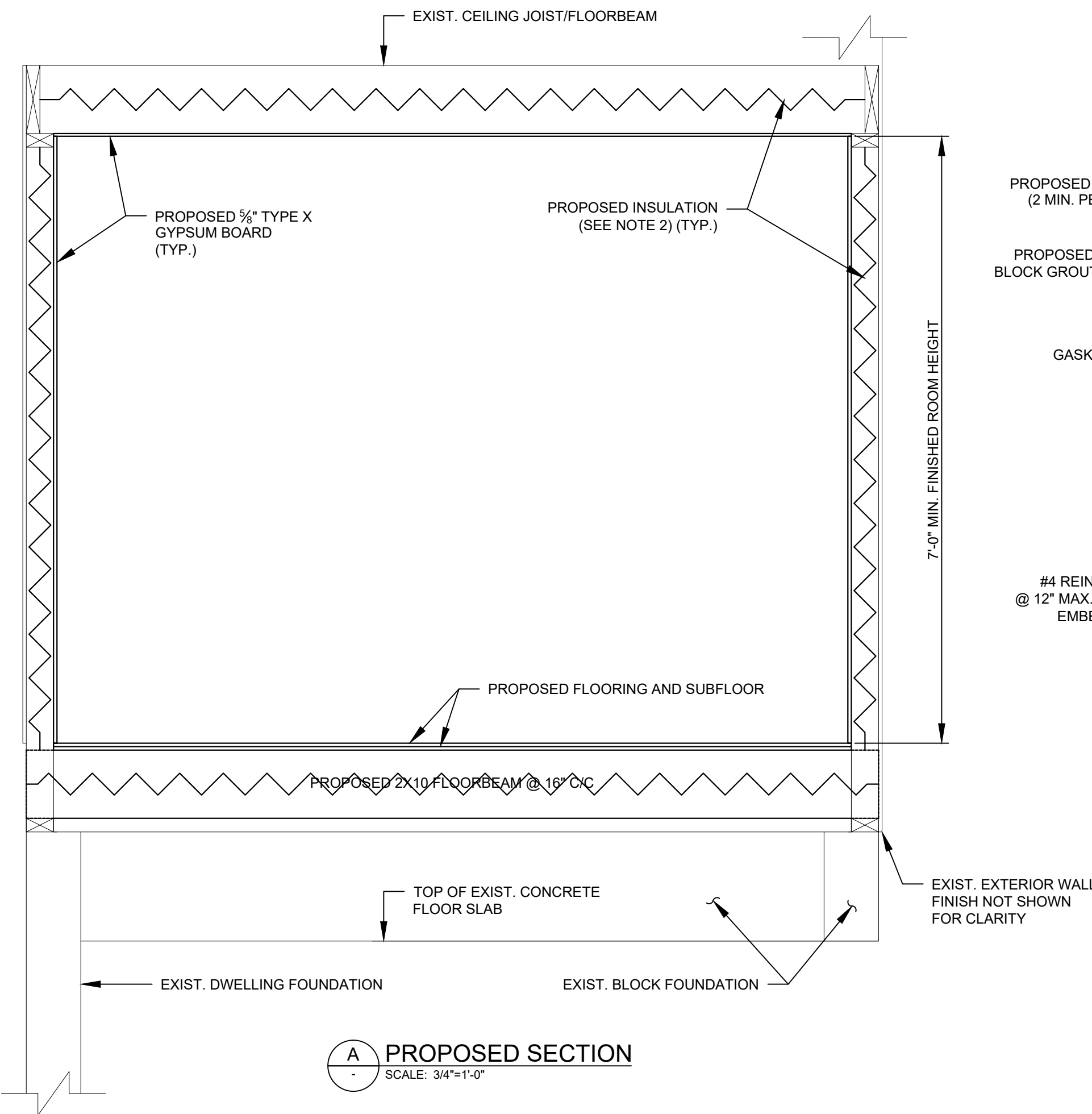
FRAMING PLAN: FIRST FLOOR
SCALE: 3/8"=1'-0"



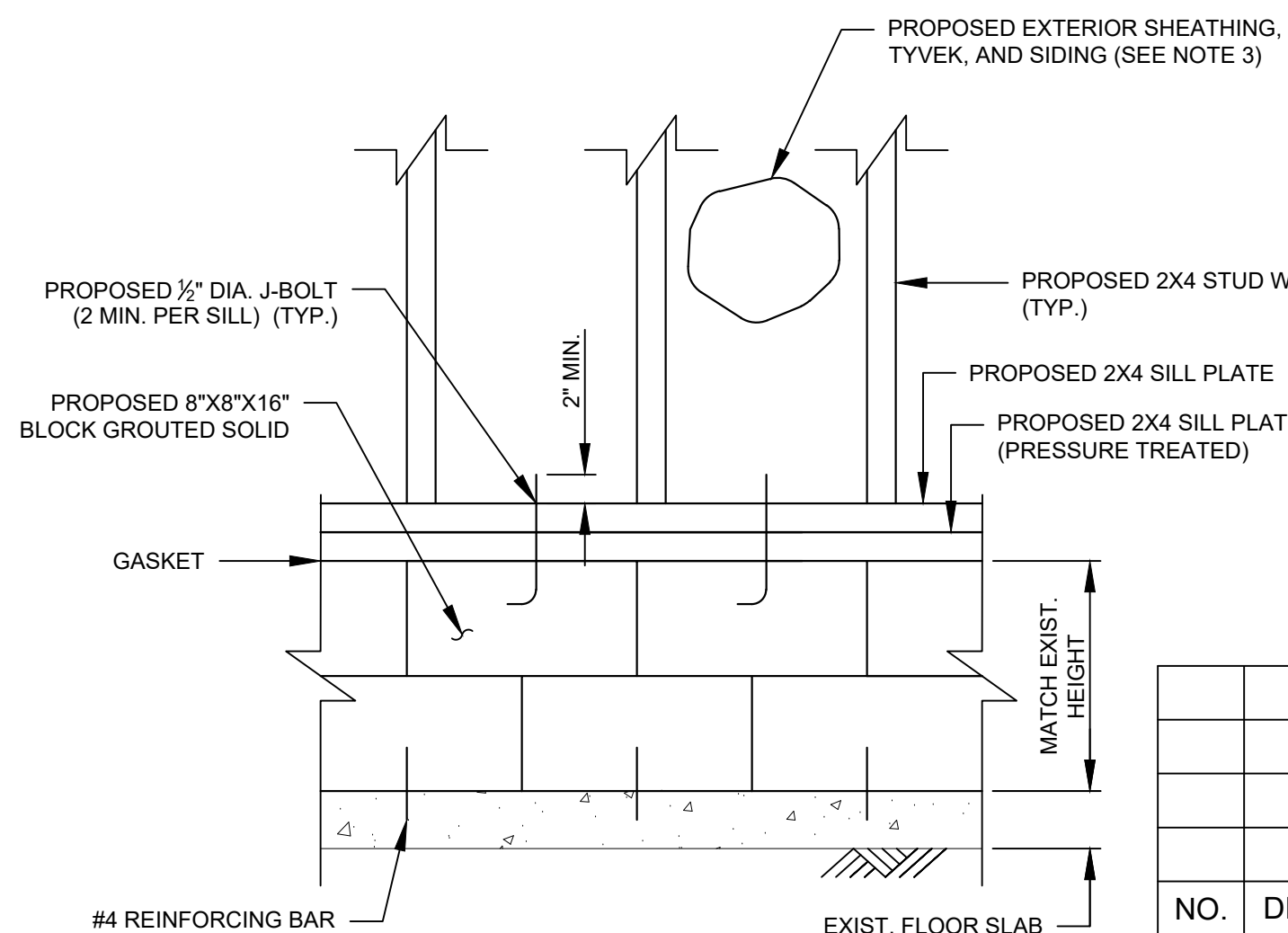
DEMOLITION PLAN: FIRST FLOOR
SCALE: 3/8"=1'-0"



A EXISTING SECTION
SCALE: 3/4"=1'-0"



A PROPOSED SECTION
SCALE: 3/4"=1'-0"



B ELEVATION
SCALE: 1"=1'-0"

ELECTRICAL LEGEND/SYMBOLS:

- SWITCH
- SWITCH 3-WAY
- SWITCH DIMMER
- RECEPTACLE: DUPLEX
- GROUND FAULT CIRCUIT INTERRUPT
- RECESSED: 4"
- EXHAUST FAN/LIGHT
- WALL MOUNTED LIGHT/SCONCE
- SMOKE DETECTOR

NOTES:

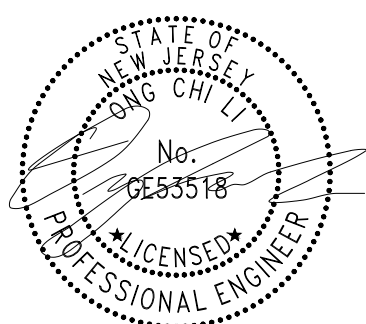
- FOR ALL NOTES INCLUDING GENERAL, ELECTRICAL, STRUCTURAL, AND PLUMBING NOTES, SEE DRAWING G-001.
- INSULATION SHALL BE MIN. R-20.
- MATCH EXISTING EXTERIOR FINISH.
- ALL BATHROOM BEDROOM FINISHES INCLUDING BUT NOT LIMITED TO, DOOR STYLE, WINDOW STYLE, BATHTUB, HANDLES, ETC. SHALL BE AS SELECTED BY THE HOMEOWNER.

| NO. | DESCRIPTION | DATE |
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N.J. PROFESSIONAL ENGINEER
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TITLE
GARAGE RENOVATION
AT 12 OAK ST.
NUTLEY, NJ 07110

EXISTING AND PROPOSED
PLAN AND ELEVATION

DRAWN BY: O. LI

REVIEWED BY: O. LI

SCALE: AS SHOWN

DATE: 06/23/2025

DRAWING NUMBER S-001.00