



THOMAS J. EVANS
Director of Revenue and Finance

CODE ENFORCEMENT DEPT.

DAVID BERRY
Construction Official
Zoning Official

TOWNSHIP OF NUTLEY

1 KENNEDY DRIVE
NUTLEY, NEW JERSEY 07110

BUILDING
PLUMBING
ELECTRICAL
FIRE
ZONING

TELEPHONE: (973) 284-4957 · FACSIMILE: (973) 284-0071

August 19, 2025

Esric Freckleton
624 Bloomfield Avenue
Nutley NJ, 07110

**Re: Addition/Corner Property
624 Bloomfield Avenue
Block/Lot: 2901/36**

Dear Mr. Freckleton,

Your request for a permit at the above referenced address, to reconstruct an enclosed porch having a 16'6" setback on the street side yard other and to construct a new addition, having a 25' setback on the street side yard other, and to construct a new second floor addition, having a 11'7" rear yard setback, as shown on the plans prepared by MAR Architecture Engineering dated July 14, 2025, is disapproved for the following reason:

This property is located in a R-1A district as shown on the Nutley Zoning Map.

Chapter 700, Article VIII, Section 700-46 B (4) (d) [4] of the Codes of Nutley states the porch shall not exceed a depth of six feet. The height shall be such that the underside of the porch covering is not more than 10 feet above the porch floor.

Chapter 700, Article VIII, Section 700-46 B (4) (d) [5] of the Codes of Nutley states the porch shall not encroach more than six feet into the minimum required front yard for the zone in which it is located. *The average front yard setback is 33.48' feet, the required is 27.48'. The proposed is 16'6" which is the existing footprint.*

Chapter 700, Article VIII, Section 700-46 B (6) (a) of the Codes of Nutley states in the area between two intersecting streets or between an intersecting street and the Township limit or between an intersecting street and a zoning district boundary ("intersecting streets," for the purpose of this section, are those which intersect the same side of the street on which the lot which is to be developed fronts), the depth of the front yard of a lot to be developed in the area shall not be less than the average depth of the front yards of other buildings on the same side of the street, in the same zoning district and having frontage upon the same street, provided that 50% of the frontage of the lots in the same area is developed, but not less than the setback required for the district by the Schedule of Regulations. *The minimum required front yard setback as per the Schedule of Regulations in Section 700-46 A in an R-1A zoning district is 25', the average front yard setback is 33.48' which is the required, the proposed front yard setback is 25'.*

Chapter 700, Article VIII, Section 700-46 A of the Code of Nutley states the Schedule of Regulations requires the following for a rear yard in a R-1A zoning district:

Required
30'

Proposed
11'7"

A non-refundable application fee of \$175.00 was received by the Code Enforcement Department in order to begin the application process. All tax and water bills must be paid to date prior to the processing of a variance fee.

Information on procedures for an appeal of this decision to the Board of Adjustment can be obtained from Jessica D'Onofrio, jdonofrio@nutleynj.org or at 973-284-4957. It should be noted that, under State Statute, notice of appeal of this decision must be filed with this office no later than twenty (20) calendar days from the date of this notice.

Any changes to the proposed plans must be submitted prior the applications being returned to the Code Enforcement Office. No changes can be made once the application is received by this office.

Very truly yours,

A handwritten signature in blue ink, appearing to read "David Berry".

DAVID BERRY
Zoning Official

DB/jd



TOWNSHIP OF NUTLEY, NEW JERSEY

ZONING BOARD OF ADJUSTMENT APPLICATION FORM

Docket No: 2BA-25-0035

TO ALL APPLICANTS: This application form is designed to obtain from you information necessary for the processing of your application by the Zoning Board of Adjustment.

Application Fee: \$ 175 (on denial letter)

Date of Denial Letter: 8/19/25

Section I: SUBJECT PROPERTY

Address: 624 Bloomfield Avenue

Block: 2901 Lot: 36 Zone: R-1A

	District Requirements	Proposed
Lot Area	<u>10500 sf</u>	<u>10,304 sf</u>
Lot Width	<u>60'</u>	<u>68.84 sf</u>
Lot Depth	<u>100'</u>	<u>145.59'</u>
Front Yard	<u>25'</u>	<u>16.5'</u>
Side Yard	<u>0'</u>	<u>61.92'</u>
Rear Yard	<u>30'</u>	<u>11.7'</u>
Other (side)	<u>25'</u>	<u>16.5'</u> <u>25'</u>

Section II: APPLICANT INFORMATION

Name: ESRIC FRECKLETON

Address: 692 FRANKLIN AVE

NUTLEY N.J 07110

Telephone: 973-953-0198

Email Address: efreckleton2@gmail.com

Applicant is a:

☐ Corporation ☐ Partnership ☐ LLC ☒ Individual

If the owner is not the applicant, the following must be provided:

Owner Name: _____

Address: _____

Telephone: _____

Email Address: _____

Section III: DISCLOSURE STATEMENT

Pursuant to N.J.S. 40:55D-48.1 the names and address of all persons owning 10% of the stock in a corporation or a 10% interest in any partnership must disclosed by the applicant. In accordance with N.J.S. 40:55D-48.2, that disclosure requirement applies to any corporation or partnership which owns more than 10% interest.

Name: _____

Address: _____

Interest: _____

Name: _____

Address: _____

Interest: _____

Name: _____

Address: _____

Interest: _____

Section IV: PROPERTY INFORMATION

	Existing	Proposed
Total existing and total proposed dwelling units	<u>1</u>	<u>1</u>
Total existing and total proposed professional offices	_____	_____
Total existing and total proposed parking spaces	_____	_____

Present use of premises: One Family Dwelling

Has there been any previous appeal, request, or application to this or any other Township of Nutley Board or the Construction Code Official involving these premises? yes

If yes, state the nature, date and the disposition of each such matter: A variance was granted on 10/19/04 to enclose the existing porch with awning type windows.

Section V: PROFESSIONAL INFORMATION

Applicant's Attorney

Name: _____

Address: _____

Telephone: _____ Fax: _____

Email Address: _____

Applicant's Architect

Name: _____

Address: _____

Telephone: _____ Fax: _____

Email Address: _____

Applicant's Engineer

Name: _____

Address: _____

Telephone: _____ Fax: _____

Email Address: _____

Applicant's Planning Consultant

Name: _____

Address: _____

Telephone: _____ Fax: _____

Email Address: _____

***List any other expert who will submit a report or who will testify for the applicant.
(Attach additional sheets, if necessary)***

Name: _____

Address: _____

Telephone: _____ Fax: _____

Email Address: _____ Field of Expertise: _____

Section VI: GENERAL INFORMATION

In the space below, state the nature of the constraints imposed by the physical characteristics of the land under consideration (i.e. exceptional narrowness, shallowness or topographic conditions).

X N.A

In the space below, state any other extraordinary or exceptional situation or condition of the land involved which would constrain development in accordance with Zoning Regulations

X There was an existing enclosed porch that is not conforming to nutley zoning ordinances and we will keep it, existing non conforming rear yard to remain, increase the house front to match the schedule of regulations (25 feet) by increasing the size of the lot to enable us to have a decent bedroom size on the 2nd floor.

Explain how not granting this variance request would impose peculiar and exceptional practical difficulties or exceptional or undue hardship upon you.

We purchased the house and decided to enlarge it to fit our family.

x

Explain how the granting of this variance will not detrimentally affect the public good or substantially impair the intent and purpose of the Zone Plan and Zoning Ordinance.

The increase of the house will change the characteristics of the neighbourhood, The house will remain as a single family and will not cause any negative impact.

x

CERTIFICATION

[illegible]

ESRIC FRECKLETON, being duly sworn, hereby certify (check one)

✓ that I am the applicant

or

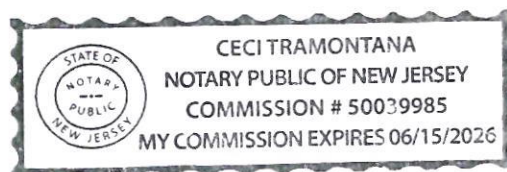
➤ _____ that I am the _____ of _____,
(Title) (Company Name)
the Applicant, and that I am duly empowered and authorized to make this representation
on behalf of _____;
(Company Name)

and that the information presented in this application is true, complete and accurate.

Eric Freckleton
Applicant/Applicant's Authorized
Officer or Representative

Subscribed and sworn to before me
this 2nd day of September, 2025


Signature of person authorized to take oaths





Nutley Parcel Offset List

Target Parcel(s): Block-Lot: 2901-36
FRECKLETON, ESRIC & ROHINI
624 BLOOMFIELD AVENUE

28 parcels fall within 200 feet of this parcel(s).

Block-Lot: 2904-1

ARNOTT, JEFFREY & GRUNSEICH, THERESA
612 BLOOMFIELD AVE
NUTLEY, NJ 07110
RE: 612 BLOOMFIELD AVENUE

Block-Lot: 2904-2

LATORRE, EILEEN A.
610 BLOOMFIELD AVE
NUTLEY, NJ 07110
RE: 610 BLOOMFIELD AVENUE

Block-Lot: 2904-3

PUCCI, DANIEL & CHRISTINE
71 DAILY ST
NUTLEY, NJ 07110
RE: 71 DAILY STREET

Block-Lot: 2901-35

ARDANZ, STEED
72 DAILY ST
NUTLEY, NJ 07110
RE: 72 DAILY STREET

Block-Lot: 2801-14.02

PATEL, PRAHLADBHAI, V. & LILABEN P.
643 BLOOMFIELD AVE
NUTLEY, NJ 07110
RE: 643 BLOOMFIELD AVENUE

Block-Lot: 2801-15

LAVDESIGN LLC
146 ROCK RD
HAWTHORNE, NJ 07506
RE: 637 BLOOMFIELD AVENUE

Block-Lot: 2801-16

TOWNSHIP OF NUTLEY
1 KENNEDY DR
NUTLEY, NJ 07110
RE: 635 BLOOMFIELD AVENUE

Block-Lot: 2901-1

COCCHIOLA, FRANK A JR & ET AL.
640 BLOOMFIELD AVENUE
NUTLEY, NJ 07110
RE: 640 BLOOMFIELD AVENUE

Block-Lot: 2803-7

LOUCAS, NATALIE & NAPOLITANO, R.
625 BLOOMFIELD AVE
NUTLEY, NJ 07110
RE: 625 BLOOMFIELD AVENUE

Block-Lot: 2901-38

CARCHIA, MICHAEL & MAUREEN
636 BLOOMFIELD AVE
NUTLEY, NJ 07110
RE: 636 BLOOMFIELD AVENUE

Block-Lot: 2803-6

TOWNSHIP OF NUTLEY
1 KENNEDY DR
NUTLEY, NJ 07110
RE: 627 BLOOMFIELD AVENUE

Block-Lot: 2901-2

FARRUGGIA, MATTHEW
137 HAWTHORNE AVE
NUTLEY, NJ 07110
RE: 137 HAWTHORNE AVENUE

Block-Lot: 2901-3

HAVERON, NOREEN E
135 HAWTHORNE AVE
NUTLEY, NJ 07110
RE: 135 HAWTHORNE AVENUE

Block-Lot: 2803-8

GIURICEO, EUGENE F. & JUDITH A.
621 BLOOMFIELD AVE
NUTLEY, NJ 07110
RE: 621 BLOOMFIELD AVENUE

Block-Lot: 2901-37

HOARLE, JEFFREY & BABAI, KELLY
626 BLOOMFIELD AVENUE
NUTLEY, NJ 07110
RE: 626 BLOOMFIELD AVENUE

Block-Lot: 2901-4

PANZER, PATRICIA E.
133 HAWTHORNE AVE
NUTLEY, NJ 07110
RE: 133 HAWTHORNE AVENUE

Block-Lot: 2901-5

RAKAUCKAS, DENNIS & VANESS
127 HAWTHORNE AVE
NUTLEY, NJ 07110
RE: 127 HAWTHORNE AVENUE

Block-Lot: 2803-9

DE LORENZO, RICHARD & JANICE
615 BLOOMFIELD AVE
NUTLEY, NJ 07110
RE: 615 BLOOMFIELD AVENUE

Block-Lot: 2901-34

EVANS, EDWARD C.
68 DAILY ST
NUTLEY, NJ 07110
RE: 68 DAILY STREET

Block-Lot: 2803-10

DI ANTONIO, ALEXANDER & CHERYL J.
609 BLOOMFIELD AVE
NUTLEY, NJ 07110
RE: 609 BLOOMFIELD AVENUE

Block-Lot: 2901-33

VENEZIANO, MICHAEL J. JR.
64 DAILY ST
NUTLEY, NJ 07110
RE: 64 DAILY STREET

Block-Lot: 2803-11

AVES, CRAIG & O'GRADY, KARA
603 BLOOMFIELD AVE
NUTLEY, NJ 07110
RE: 603 BLOOMFIELD AVENUE

Block-Lot: 2901-32

BITTEN, BRIAN & JOANNA Buset BITTEN
60 DAILY STREET
NUTLEY, NJ 07110
RE: 60 DAILY STREET

Block-Lot: 2904-4

DARMETKO, BRETT & CHOLAK, OLIVIA
61 SYLVAN PL
NUTLEY, NJ 07110
RE: 61 SYLVAN PLACE

Block-Lot: 4900-1

DELLA FAVE, MEGAN B.
600 BLOOMFIELD AVE
NUTLEY, NJ 07110
RE: 600 BLOOMFIELD AVENUE

Block-Lot: 2904-5

59 SYLVAN PLACE CO.
59 SYLVAN PLACE
NUTLEY, NJ 07110
RE: 59 SYLVAN PLACE

Block-Lot: 4900-2

MITRANO, RALPH & NINA
73 POPLAR PL
NUTLEY, NJ 07110
RE: 73 POPLAR PLACE

Block-Lot: 4900-3

LEARY, JOHN B. & MARTHA W.
53 SYLVAN PL
NUTLEY, NJ 07110
RE: 53 SYLVAN PLACE

UTILITIES

(A)

AT & T
Corporate Office
P.O. Box 7207
Bedminster, NJ 07921-7207

(B)

NJ Dept. of Transportation
1035 Parkway Avenue
CN-600
Trenton, NJ 08625

(C)

Essex County Planning Board
Public Works Building
900 Bloomfield Avenue
Verona, NJ 07044

(D)

PSE&G Company
Manager-Corporate Properties
80 Park Plaza, T6B
Newark, NJ 07102

(E)

North Jersey District Water Supply Co.
1 F.A. Orechio Drive
Wanaque, NJ 07465

(F)

Passaic Valley Water Co.
1525 Main Avenue
Clifton, NJ 07011

(G)

Verizon
540 Broad Street, Room 305
Newark, NJ 07101

(H)

TCI of Northern New Jersey
40 Potash Road
Oakland, NJ 07436
Attn: Dan Gannon

(I)

Essex County Utilities Authority
Leroy R. Smith Jr. Public Safety Building
60 Nelson Place – 6th Floor
Newark, NJ 07102

(J)

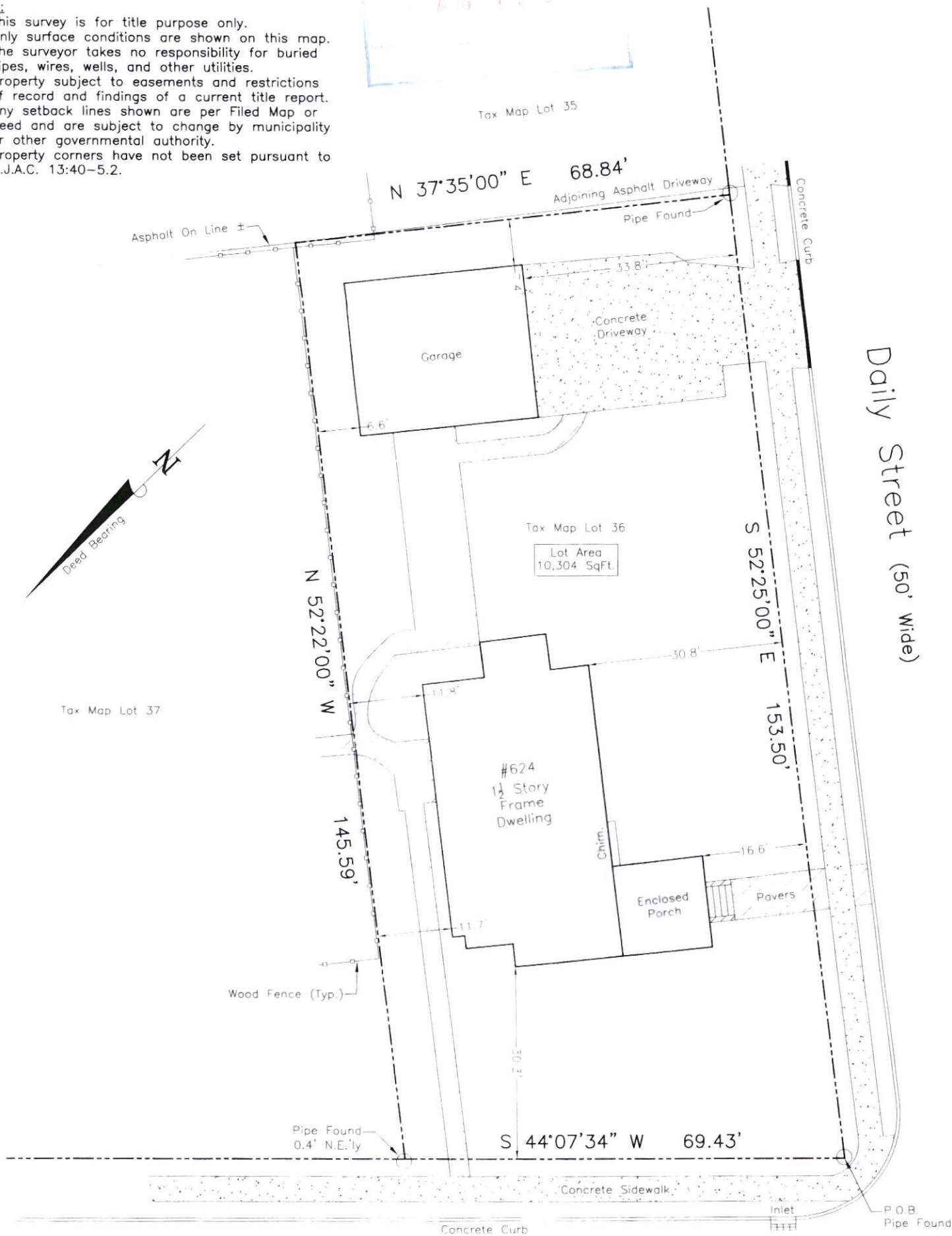
Norfolk Southern Railway
125 County Road
Jersey City, NJ 07307

References:

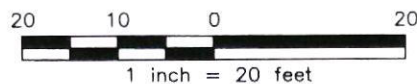
1. KNOWN AND DESIGNATED as Lot 36 Block 2901 as shown on the current Tax Assessment Map, Township of Nutley, Essex County, New Jersey.
2. Deed Book 3689 Page 240

Notes:

1. This survey is for title purpose only.
2. Only surface conditions are shown on this map. The surveyor takes no responsibility for buried pipes, wires, wells, and other utilities.
3. Property subject to easements and restrictions of record and findings of a current title report.
4. Any setback lines shown are per Filed Map or Deed and are subject to change by municipality or other governmental authority.
5. Property corners have not been set pursuant to N.J.A.C. 13:40-5.2.



This Survey is certified to:
Esric Freckleton and Rohini Freckleton
Guardian Title Services, LLC (GTS-55373)
First American Title Insurance Company
John A. Zazzali, Esq
Rocket Mortgage LLC ISAOA



Schmidt
Surveying

49 Sullivan Street
Westwood, NJ 07675
Phone: (201) 403-5801
www.schmidtsurveying.weebly.com
Certificate of Authorization No. 24GA28182800

Andrew A. Schmidt

Andrew A. Schmidt

NJ Professional
Land Surveyor
No. 24GS04330100

Boundary Survey
Tax Lot 36 - Block 2901
624 Bloomfield Avenue
Township of Nutley
Essex County, New Jersey

Drawn:	Checked:	Date:	Scale:
JTC	AS	12-19-24	1" = 20'

SCOPE OF WORK:

REARRANGEMENT AND ALTERATION OF EXISTING SINGLE FAMILY RESIDENCE AS PER PLANS.

ZONING COMPUTATIONS:

ADDRESS: 634 BLOOMFIELD AVENUE, NUTLEY, NJ 07110
 BLOCK: 2001
 LOT: 38
 ZONE: A-2
 OCCUPANCY CLASSIFICATION: ONE FAMILY DWELLINGS - FRAME
 USE GROUP: R-5
 CONSTRUCTION CLASS: 5B

GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH THE LATEST EDITION OF NEW JERSEY STATE BUILDING CODE AND ALL OTHER APPLICABLE CODES AND REGULATIONS OF AGENCIES HAVING JURISDICTION.
- WORK THESE DRAWINGS WITH THE SPECIFICATIONS, ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING, SITE DRAWINGS AND ALL OTHER RELATED DOCUMENTS.
- CONTRACTOR SHALL COORDINATE ALL DIMENSIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS AND SHALL VERIFY ALL DATA ON EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK.
- ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS WITH APPROPRIATE TRADES, DRAWINGS AND SUBCONTRACTORS PRIOR TO CONSTRUCTION.
- DO NOT PENETRATE ANY STRUCTURAL ELEMENTS WITHOUT PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.
- SPECIFIC NOTES AND DETAILS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS.
- THE CONTRACTOR SHALL REFER TO THE SPECIFICATIONS FOR INFORMATION NOT COVERED BY THESE GENERAL STRUCTURAL NOTES OR THE STRUCTURAL DRAWINGS.
- WHERE ANY DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL STRUCTURAL NOTES AND SPECIFICATIONS, THE GREATER REQUIREMENTS SHALL GOVERN.
- THE CONTRACT DOCUMENTS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY ERECTION BRACING AND/OR SHORING FOR ALL STRUCTURAL WORK AS REQUIRED FOR STABILITY OF THE STRUCTURE AND ALL ADJACENT EXISTING STRUCTURES DURING ALL PHASES OF CONSTRUCTION.
- VISITS TO THE SITE BY THE STRUCTURAL ENGINEER SHALL NOT INCLUDE INSPECTION OF TEMPORARY ERECTION BRACING AND/OR SHORING.
- ANY ENGINEERING DESIGN PROVIDED BY OTHERS SHALL BEAR THE SEAL OF A LICENSED PROFESSIONAL ENGINEER REGISTERED IN THE STATE IN WHICH THE PROJECT IS LOCATED.
- TYPICAL DETAILS ARE NOT CUT ON DRAWINGS, BUT APPLY UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND ELEVATIONS WITH THE ARCHITECTURAL DRAWINGS PRIOR TO THE START OF CONSTRUCTION. RESOLVE ANY DISCREPANCY WITH THE ARCHITECT.
- DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS.
- THE CONTRACT DOCUMENTS MAY NOT BE REPRODUCED FOR USE AS SHOP DRAWINGS. CONTRACTOR IS TO REVIEW AND STAMP ALL SHOP DRAWINGS BEFORE SUBMISSION TO STRUCTURAL ENGINEER.
- SHORING, BRACING, AND PROTECTING OF EXISTING AND ADJACENT STRUCTURES DURING CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. PROTECT AND MAINTAIN THE INTEGRITY OF ADJACENT BUILDING, STRUCTURES, STREETS, ETC.

CODES AND STANDARDS:

THE FOLLOWING CODES AND STANDARDS SHALL BE ADHERED TO FOR THIS ADDITION AND ALTERATION:

2020 INTERNATIONAL RESIDENTIAL CODE (N.J. EDITION)
 2017 NATIONAL ELECTRIC CODE
 2020 NATIONAL STANDARD PLUMBING CODE
 2020 INTERNATIONAL ENERGY CONSERVATION CODE
 REHABILITATION SUBCODE, SUBCHAPTER 6
 MECHANICAL AND FUEL GAS REQUIREMENTS SHALL COMPLY WITH CHAPTERS 12 THROUGH 24 (2018 INTERNATIONAL RESIDENTIAL CODE- 2020 INTERNATIONAL FUEL GAS CODE).

BUILDING DEPARTMENT NOTES:

- THE FOLLOWING NOTES SHALL APPLY THROUGHOUT.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE IBC BUILDING CODE, NJ APPLICABLE BUILDING CODE, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS AND BEST TRADE PRACTICES.
- THERE IS NO CHANGE IN MEANS OF EGRESS, OCCUPANCY OR USE UNLESS SUCH CHANGE IS APPROVED BY THE NEW YORK CITY DEPARTMENT OF BUILDINGS.
- ALL FINISHES OVER 0.38" THICK SHALL COMPLY WITH APPROVED STANDARDS.
- ALL FINISHES, CONSTRUCTION MATERIALS AND EQUIPMENT SHALL COMPLY WITH AND HAVE APPROVAL FOR USE BY DC.
- BEFORE COMMENCING WORK, CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, TRADE PRACTICES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT OR ENGINEER.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES AND BUILDING MANAGEMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY LICENSED IN THEIR TRADES WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
- THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
- ALL PIPING AND WIRING TO BE DEMOLISHED SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.
- ALL MATERIALS AND ASSEMBLIES TO BE APPROVED BY THE AOR.
- WOOD AND OTHER COMBUSTIBLE MATERIAL MAY BE USED IN THE CONSTRUCTION OF INTERIOR FINISH ONLY IN ACCORDANCE WITH THE BUILDING CODE.

CARBON MONOXIDE AND SMOKE DETECTOR NOTES:

- DWELLING UNIT SHALL BE EQUIPPED WITH AN APPROVED TYPE COMBINED DUAL-FUNCTION DETECTOR (SMOKE AND CARBON MONOXIDE) DEVICE, RECEIVING PRIMARY POWER FROM THE BUILDING WIRING, WITH NO SWITCHES IN THE CIRCUIT OTHER THAN THE OVER CIRCUIT DEVICE PROTECTING THE BRANCH CIRCUIT SUCH COMBINED DUAL-FUNCTION DETECTOR (SMOKE AND CARBON MONOXIDE) MUST BE EITHER THE IONIZATION CHAMBER TYPE OR THE PHOTO-ELECTRIC TYPE S
- COMBINED DUAL-FUNCTION DETECTOR (SMOKE AND CARBON MONOXIDE) SHALL BE INSTALLED WITHIN 15 FEET OF THE ENTRANCE TO ANY SLEEPING ROOMS, AND SHALL BE WALL MOUNTED OR CEILING MOUNTED WHERE SHOWN ON PLAN, AS PER N.F.P.A. #74-1008

BULK CALCULATION SCHEDULE (ZONING:R-1A)/ SINGLE FAMILY DWELLING LOT AREA = 10,304.00 S.F.

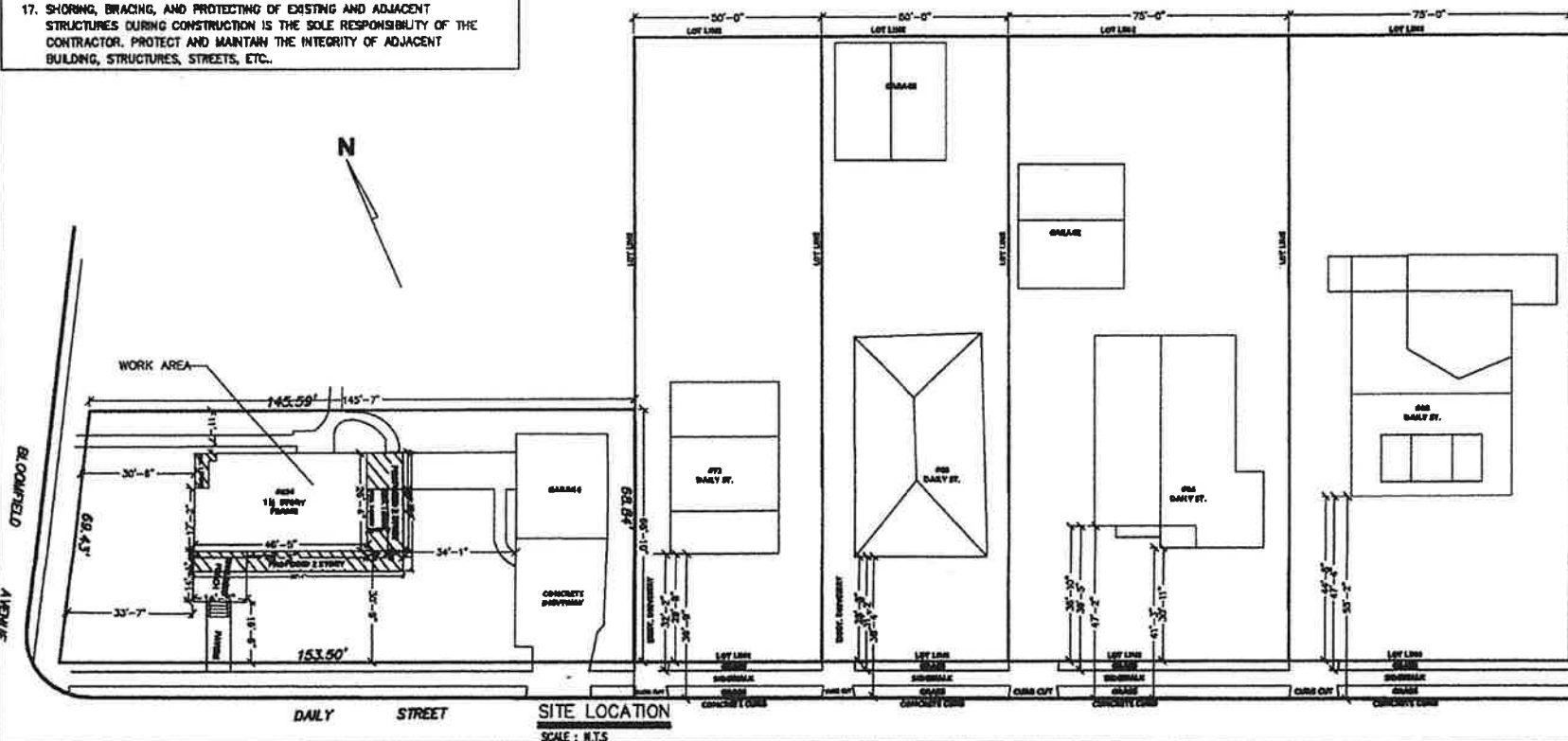
A-2 ZONE	EXISTING	PROPOSED	COMMENTS
BASEMENT FLOOR AREA	1013.25 SF	1834.50 S.F.	
FIRST FLOOR AREA	1217.00 S.F.	1797.6 S.F.	
SECOND FLOOR AREA	957.5 S.F.	1797.6 S.F.	
TOTAL FLOOR AREA	2971.5 S.F.	3597.2 S.F.	
COVERED PORCH	197 S.F.	121.4 S.F.	
UNCOVERED BALCONY	0.0 S.F.	0.0 S.F.	
GARAGE	685.4 S.F.	685.4 S.F.	
BUILDING COVERED AREA	1217.0+197+685.4 = 2099.4 SF	1797.6+121.4+685.4 = 2604.4 S.F.	
BUILDING COVERED %	(2099.4)/10304 = 20.37%	2604.4/10304 = 25.27 %	25.27% < 35% (OK)
DRIVEWAY AREA	822.84 FT	822.84 FT	
MECHANICAL PAD	0 S.F.	49.0 S.F.	
WALKWAY	361.7 S.F.	361.7 S.F.	
STEPS	16 S.F.	32 S.F.	
CHIMNEY	0 S.F.	0.0 S.F.	
WINDOW WELL	0.0 S.F.	0.0 S.F.	
POOL	0 S.F.	0 S.F.	
POOL PAVERS	0.0 S.F.	0 S.F.	
IMPERVIOUS AREA	1217+197+822.84+685.4+361.7+16 = 3299.94 S.F.	1919+822.84+685.4+49+361.7+16 = 3853.94 S.F.	
IMPERVIOUS COVERAGE	3299.94/10304 = 32.0%	3853.94/10304 = 37.4 %	37.4% < 65% (OK)

DETERMINATION OF THE REQUIRED FRONT YARD DEPTH (DAILY STREET) AS PER SECTION 700-46

R1A ZONE	LOT WIDTH	EXISTING FRONT YARD	AVERAGE REQ. FRONT YARD
72 DAILY STREET	50 FT	29.67 FT	133.93/4 = 33.48 FT
68 DAILY STREET	50 FT	28.67 FT	
64 DAILY STREET	75 FT	30.92 FT	
60 DAILY STREET	75 FT	44.67 FT	
SUM OF TOTAL EXIST. FRONT YARDS		133.93 FT	

BULK SCHEDULE REQUIREMENTS (ZONING:R-1A)/ SINGLE FAMILY DWELLING

R1A ZONE	REQUIRED	EXISTING	PROPOSED	COMMENTS
LOT AREA	6,500 S.F.	10,304 S.F.	10,304 S.F.	COMPLY
LOT WIDTH	60 FT	68.84 FT	68.84 S.F.	COMPLY
LOT FRONTAGE	60 FT	69.43 FT	69.43 S.F.	COMPLY
LOT DEPTH	100 FT	145.59 FT	145.59 FT	COMPLY
SIDE FRONT YARD(BLOOMFIELD AVE)	25 FT	30.25 FT	30.25 FT	COMPLY
FRONT YARD(DAILY STREET)	33.48 FT	16.5 FT	16.5 FT	(VARIANCE)
SIDE YARD	30 FT	61.92 FT	61.92 FT	COMPLY
REAR YARD	8 FT	11.7 FT	11.7 FT	EXIST. NO CHANGE (VARIANCE)
CHIMNEY ENCROACH	0 FT	0.0 FT	0.0 FT	COMPLY
BUILDING HEIGHT	30 FT	19 FT	28.50 FT	COMPLY
BUILDING COVERAGE	35%	13.7%	18.62%	COMPLY
IMPERVIOUS SURFACE	65%	32.0%	37.4%	COMPLY



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ARCHITECT
 STRUCTURAL ENGINEER
 230 Hudson St., NJ

DATE: 07/16/2025

REVISION
 NO. DATE REMARK

01 07/16/2025 REV. 1

OWNER

PROJECT

ADDITION
 634 BLOOMFIELD AVENUE
 NUTLEY NJ 07110

SHEET TITLE

COVER SHEET

GENERAL CONTRACTOR

SHEET NUMBER

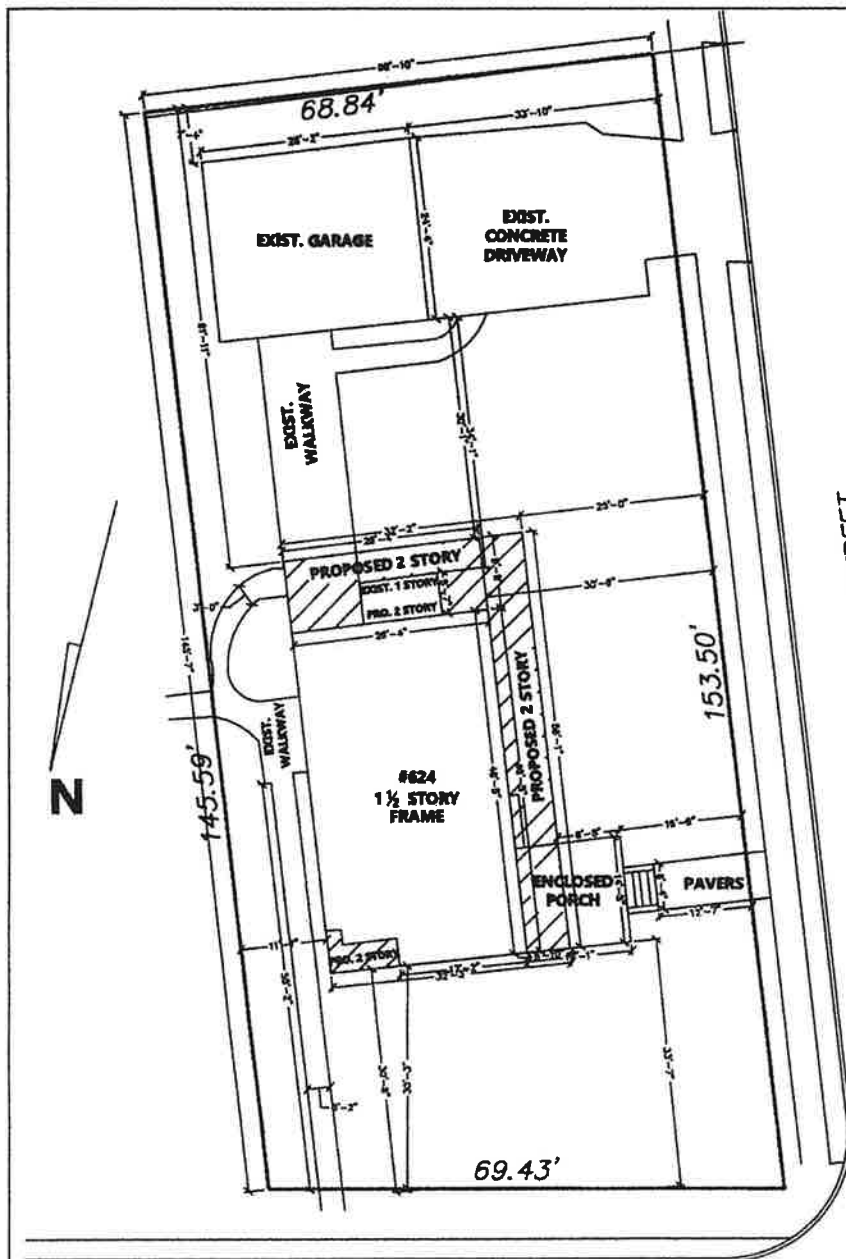
A-100.00

LAST UPDATE:
 JOB NO. 2025-16 DATE: 03-05-2025

DRAWN BY: MR. AS NOTED

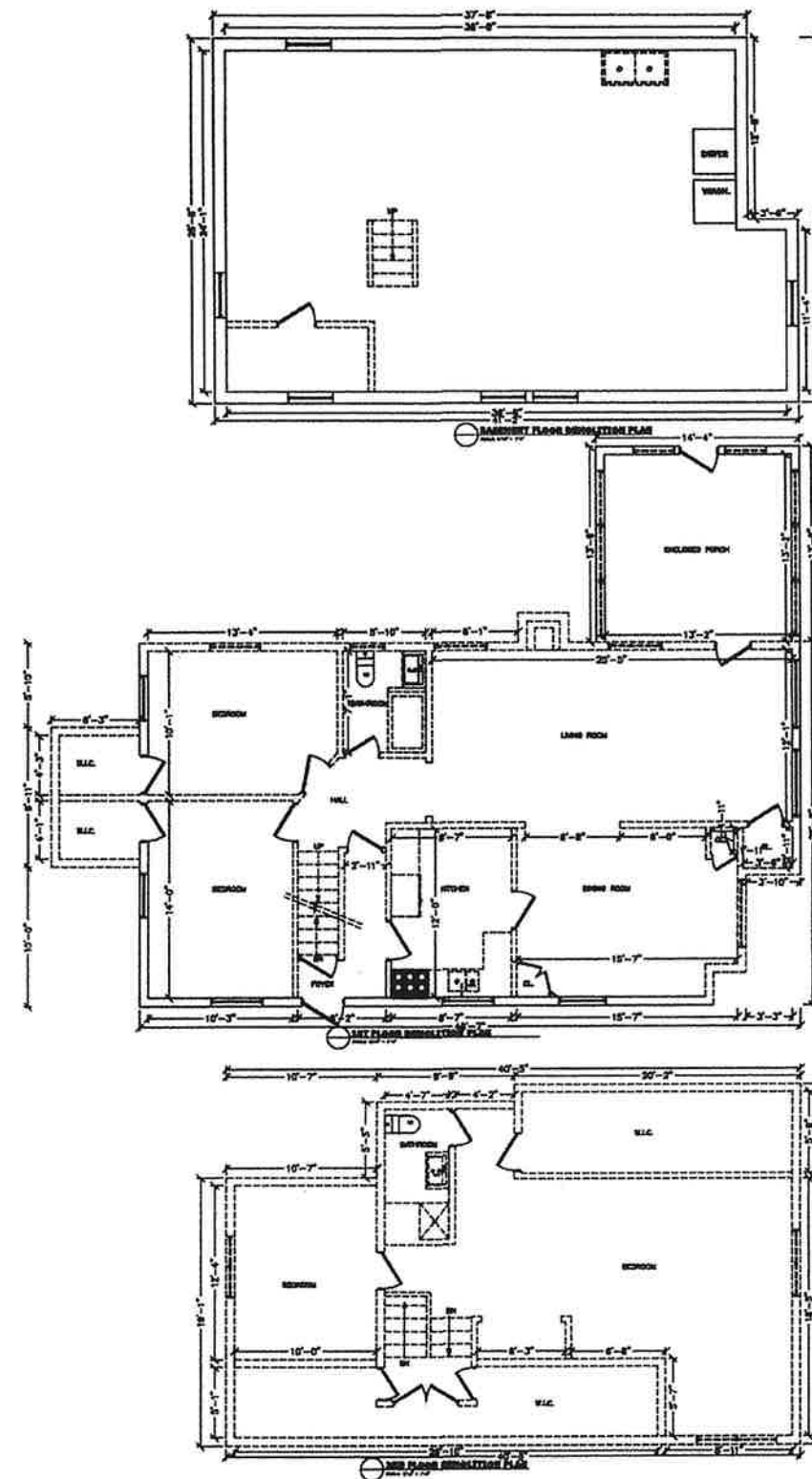
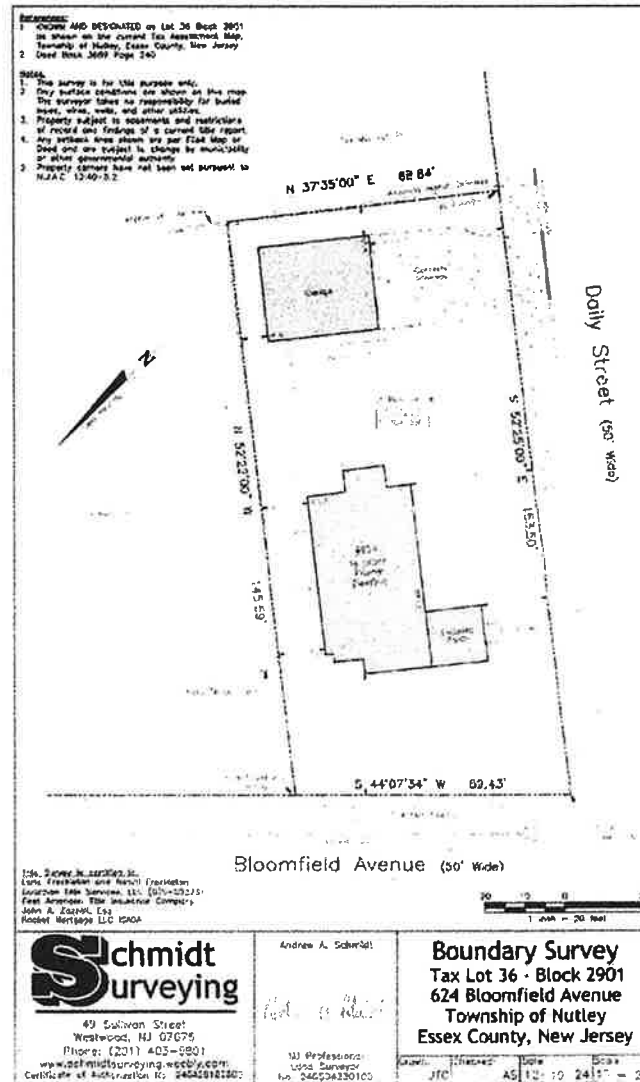
CHECKED BY: MR. SHEET 1 OF 8

DOB JOB#



BLOOMFIELD AVENUE

PLOT PLAN
SCALE: 1/8" = 1'-0"



MAR ARCHITECTURE
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ARCHITECT
MICHAEL MAR
REGISTERED ARCHITECT, N.Y.

DATE: 03-05-2025

PROJECT
ADDITION
624 BLOOMFIELD AVENUE
NUTLEY NJ 07110

SHEET TITLE
EXIST. SURVEY,
PROPOSED PLOT PLAN
& EXISTING FLOOR
PLANS/DEMO PLANS

GENERAL CONTRACTOR

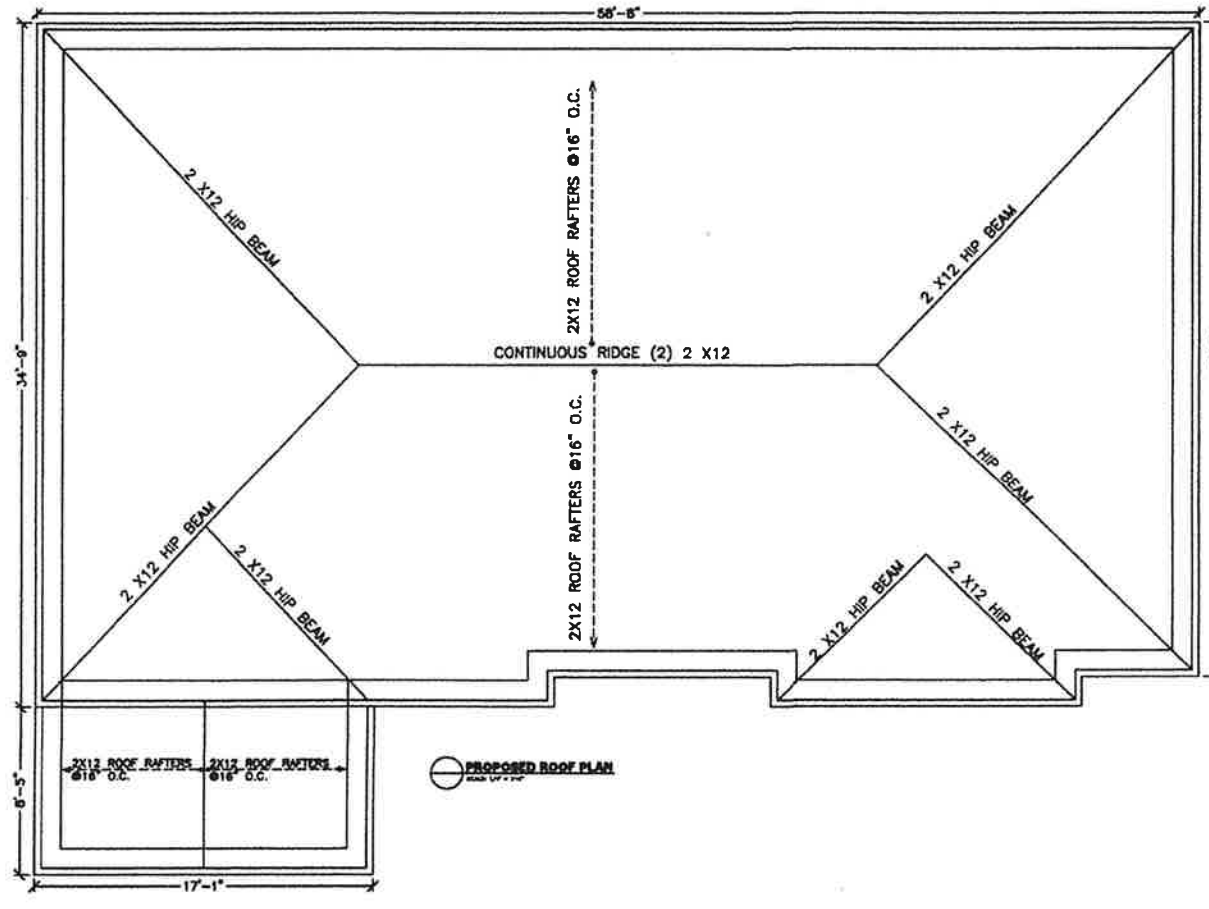
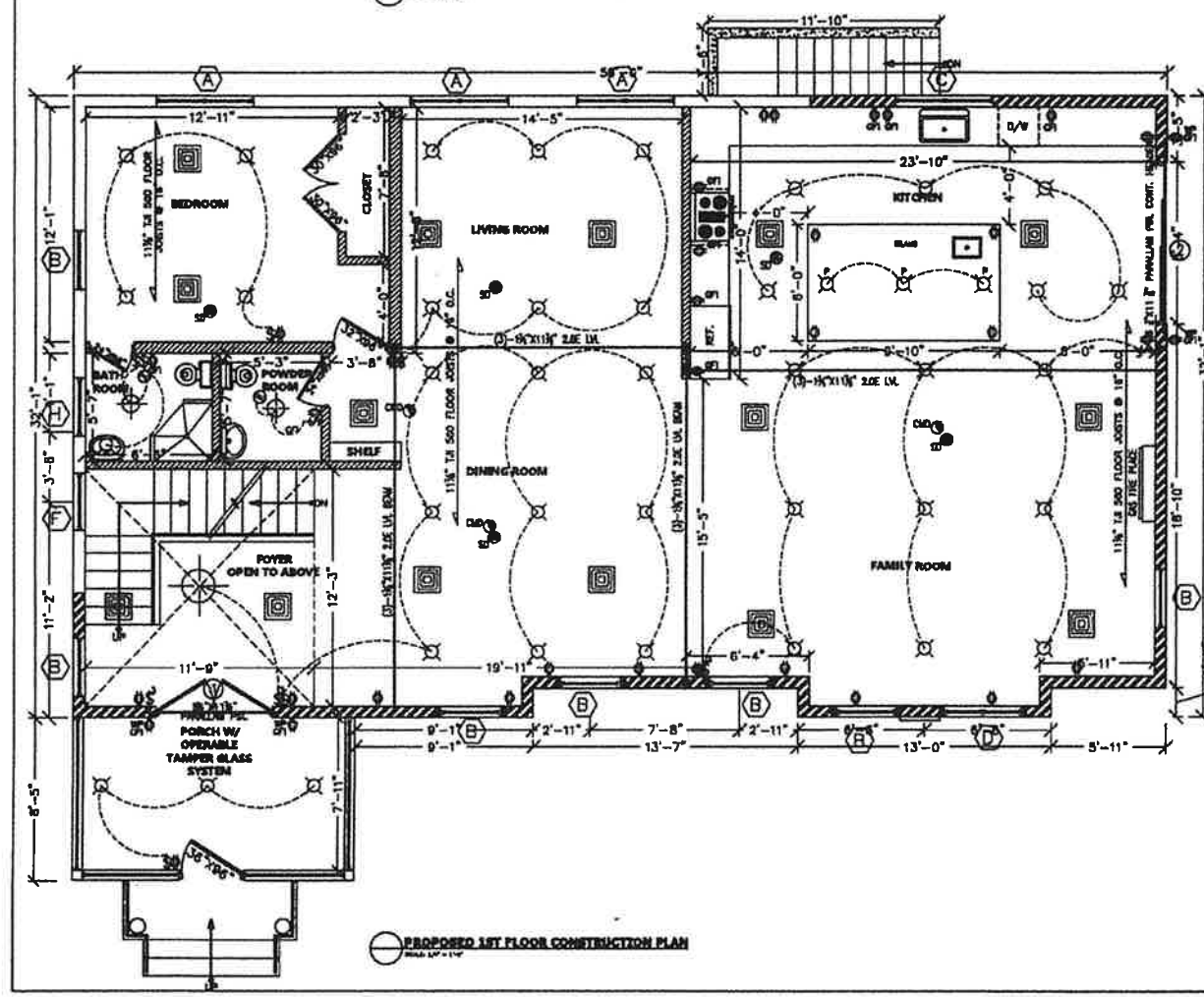
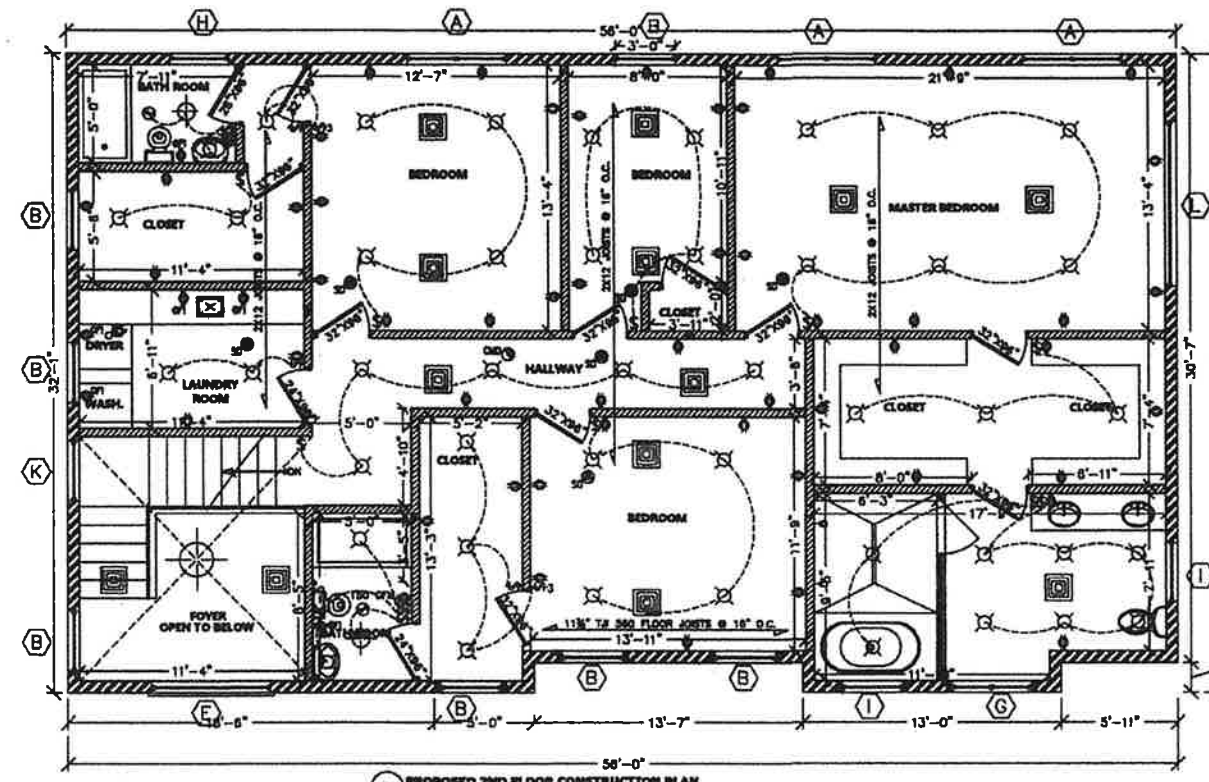
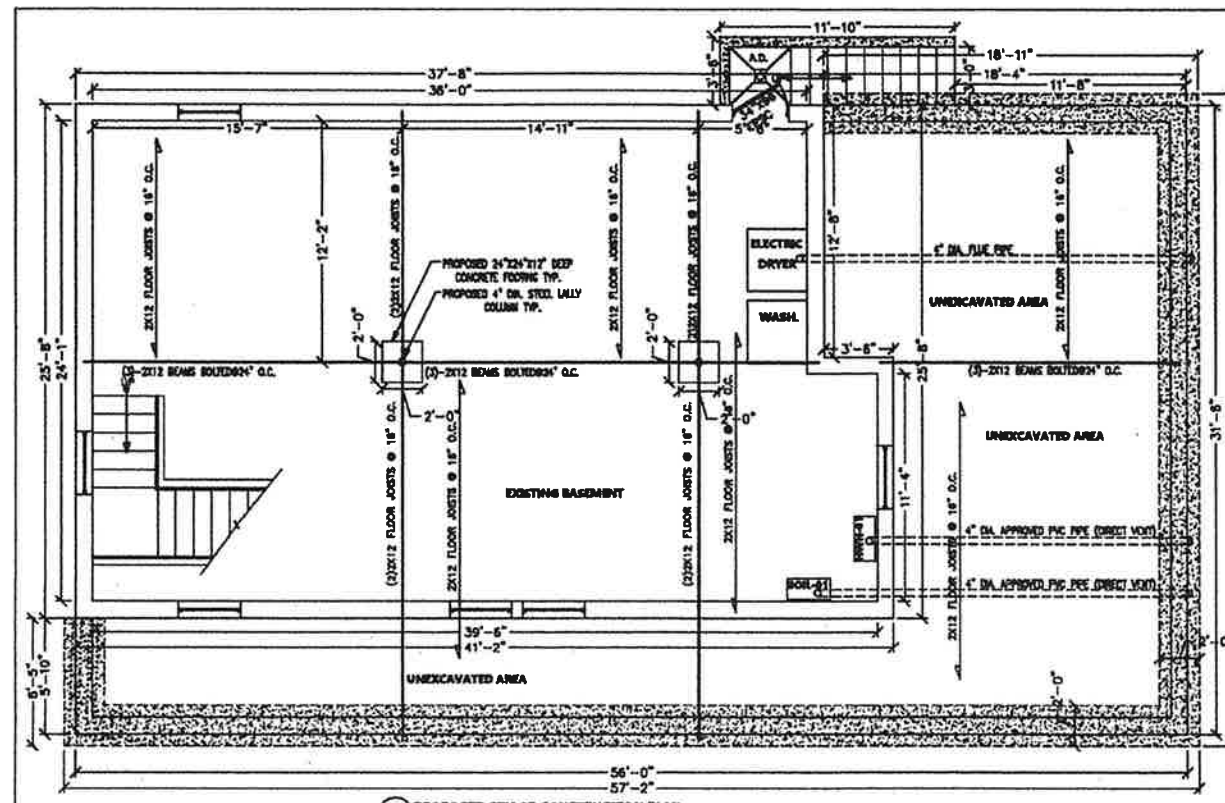
SHEET NUMBER
A-101.00


LAST UPDATE:
JOB NO. 2025-16 DATED 03-05-2025

DRAWN BY
MR. AS NOTED

CHECKED BY
MR. SHEET 1 OF 8

DOB JOB#





MAR ARCHITECTURAL

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PROJECT
BLOOMFIELD AVENUE
NUTLEY, NJ

NUMERICAL NUMBER

OWNER
BLOOMFIELD AVENUE
NUTLEY, NJ

REVISIONS

NO.	DATE	REMARK
01		
02		
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OWNER

OPTION A

PROJECT
ADDITION
624 BLOOMFIELD AVENUE
NUTLEY NJ 07110

SHEET TITLE
PROPOSED FLOOR PLAN

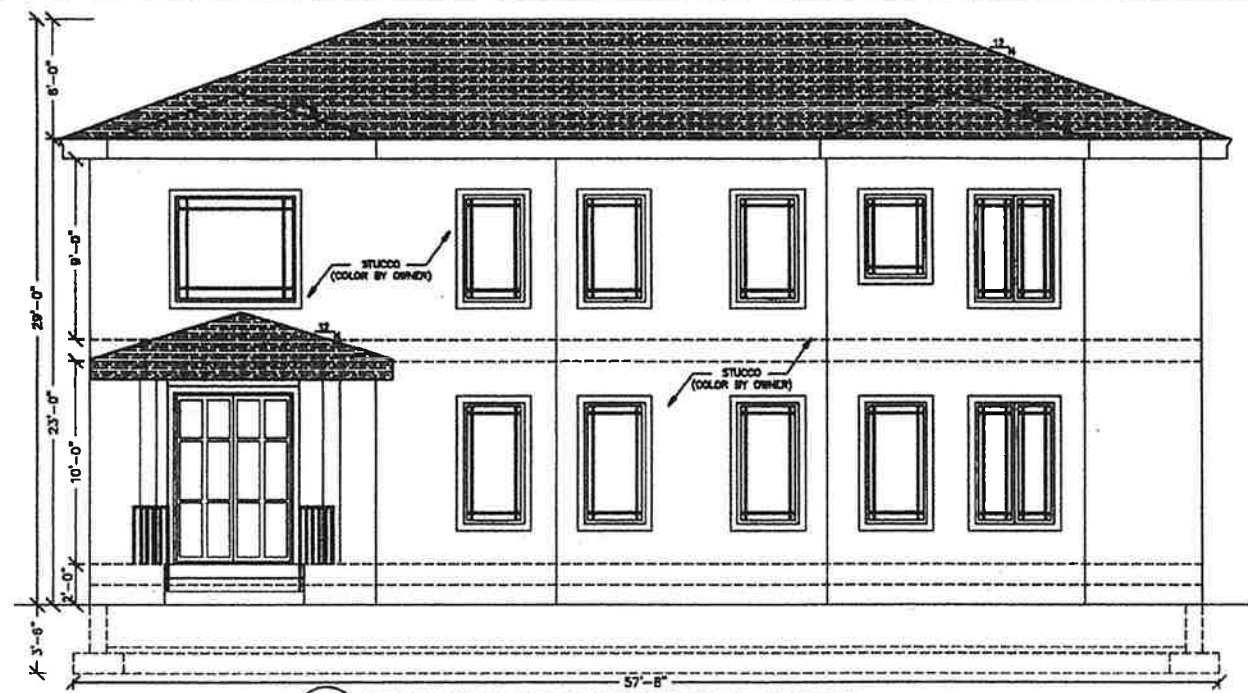
GENERAL CONTRACTOR

SHEET NUMBER
A-102.00

LAST UPDATE:
JOB NO. 2025-15 DATE 03-05-2025

DRAWN BY: MR. **SCALE:** AS NOTED
CHECKED BY: MR. **SHEET:** 1 OF 1

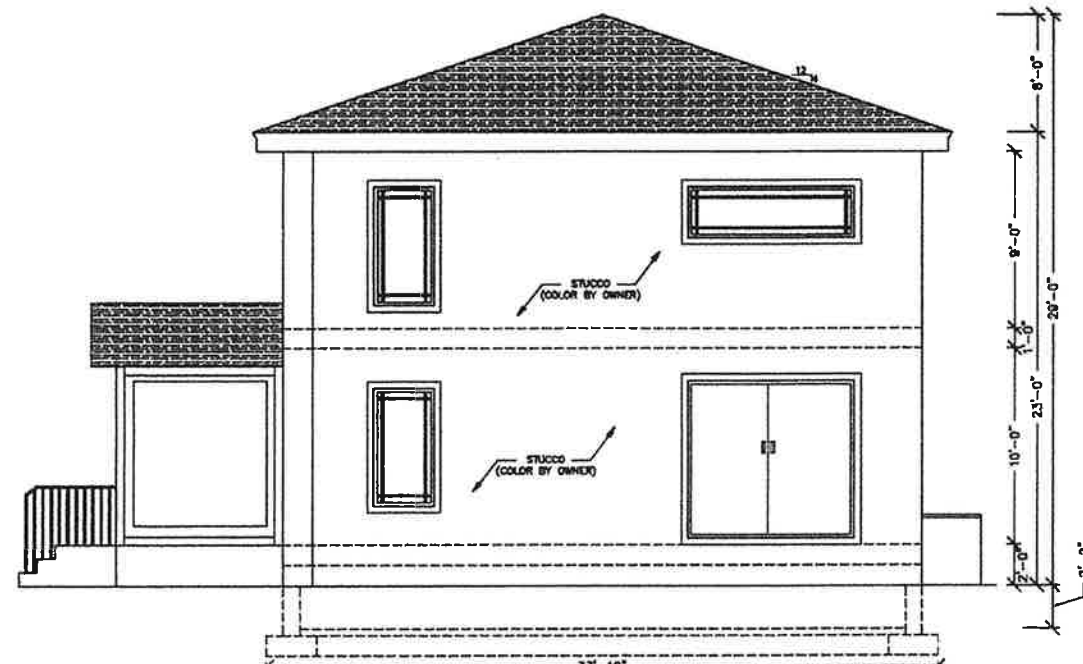
DOB JOB#



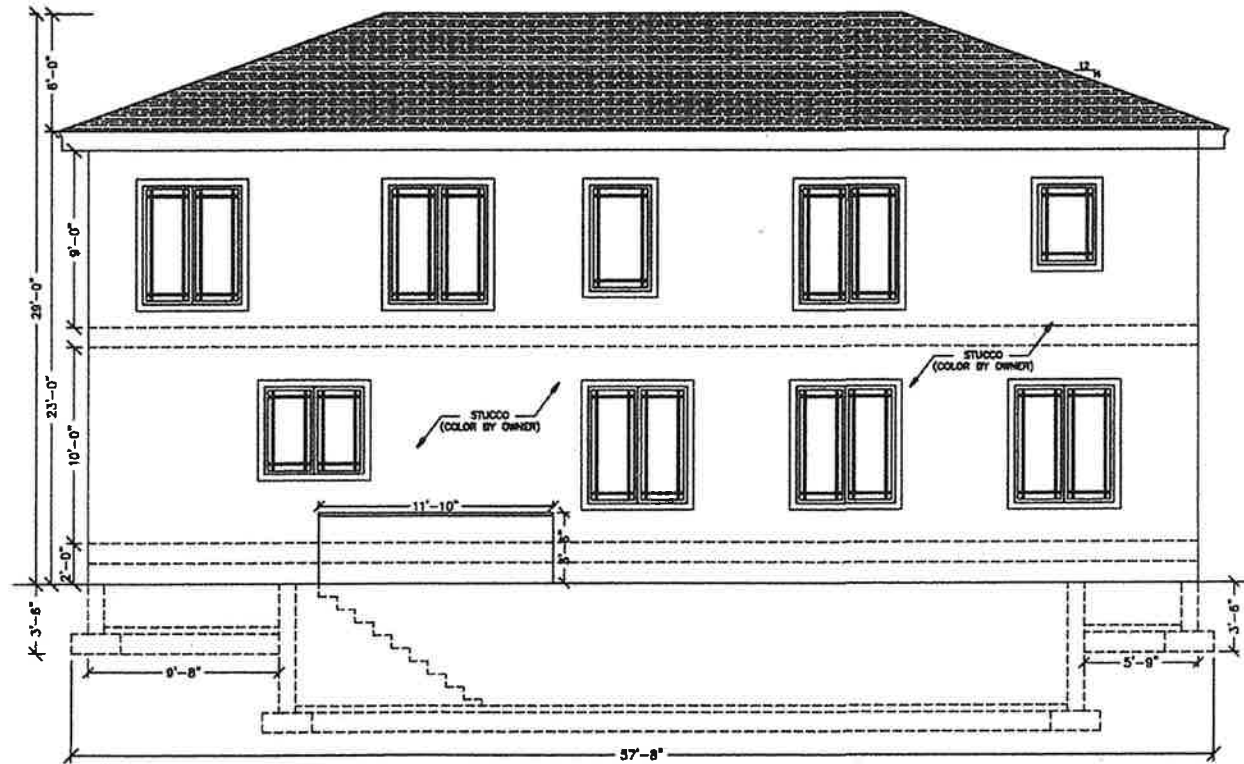
PROPOSED FRONT (WEST) ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED FRONT (NORTH) ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED REAR (SOUTH) ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED FRONT (EAST) ELEVATION
SCALE: 1/4" = 1'-0"



ARCHITECT
REGISTERED PROFESSIONAL
ARCHITECT, N.Y.

ENGINEER
REGISTERED PROFESSIONAL
ENGINEER, N.Y.

ALL ELEVATIONS SHOWN

REVISION	NO.	DATE	REMARK
01			
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OWNER

OPTION C

PROJECT
ADDITION
624 BLOOMFIELD AVENUE
RUTLEY NJ 07110

SHEET TITLE
PROPOSED ELEVATIONS

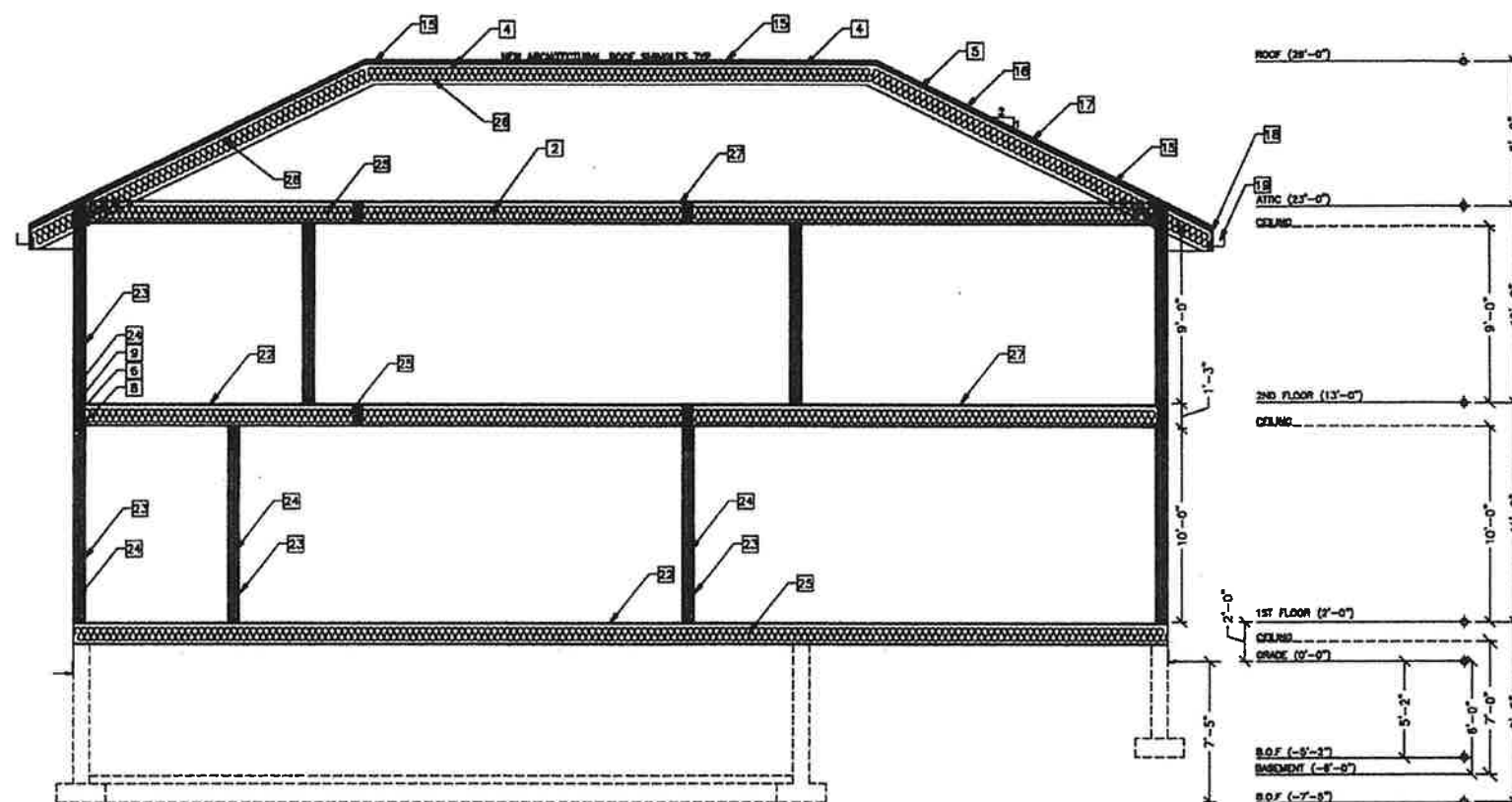
GENERAL CONTRACTOR

SHEET NUMBER
A-103.00

LAST UPDATE:
JOB NO. 2025-16 DATE: 03-05-2025

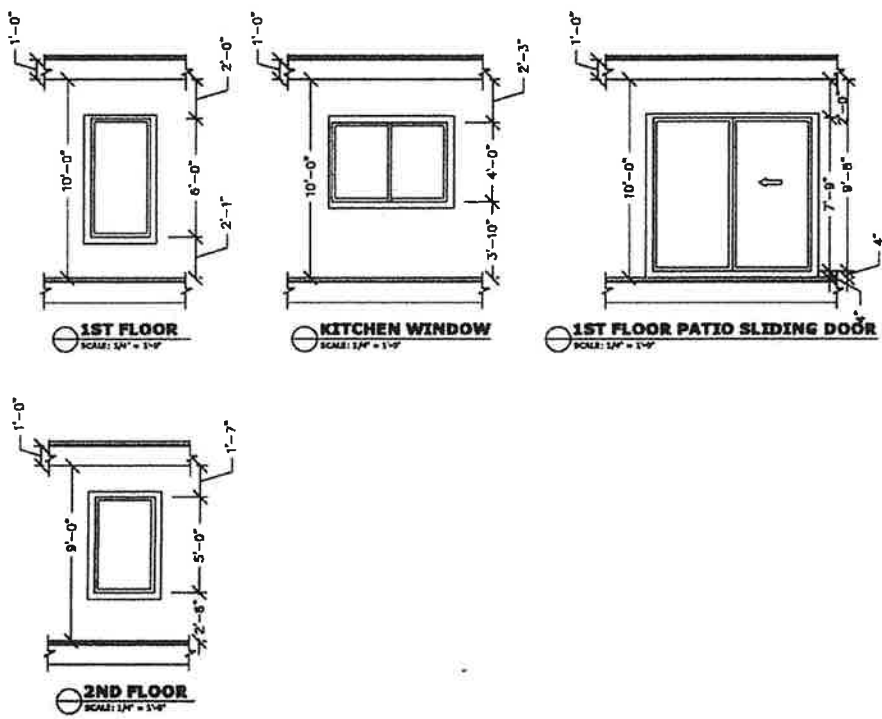
DRAWN BY: MR SCALE: AS NOTED
CHECKED BY: MR SHEET: 4 OF 8

DOB JOB#



10 LONGITUDINAL SECTION
A110 SCALE: 1/4" = 1'-0"

- 1 NEW 2x10 FLOOR JOIST
- 2 NEW 2x12 FLOOR JOIST
- 3 NEW 2x10 ATTIC JOIST @ 16" O.C., TYP.
- 4 NEW 2x10 RIDGE, TYP.
- 5 NEW 2x10 ROOF RAFTERS, TYP.
- 6 NEW 2x10 WOOD RM JOIST
- 7 NEW 2x12 WOOD RM JOIST
- 8 2-2x8 TOP PLATE ALL AROUND
- 9 2-2x6 BOTTOM PLATE ALL AROUND
- 10 KNEE WALL ON BOTH SIDES
- 11 CROSS GABLE, SEE PLANS AND ELEVATIONS
- 12 NEW 2x6 WOOD STUDS TYP.
- 13 NEW 2x4 WOOD STUDS TYP.
- 14 NEW 2x8 WOOD JOISTS TYP.
- 15 NEW ARCH ROOF SHINGLES TO MATCH EXIST. ON ROOFING FELT- DOUBLE UNDERLAYMENT UNDER RIDGES, HIPS, VALLEYS, BREAKS-ON 1/2" PLYWOOD SHEATHING TYP. TYP.
- 16 NEW ICE + WATER SHIELD UNDERLAYMENT AT 4'-0" YP FROM EAVES, TYP.
- 17 1" CLEARANCE FOR AIR VENTILATION TYP.
- 18 NEW 1/2" COMPOSITE FASCIA AT EAVES TYP.
- 19 NEW ALUMINUM GUTTERS TYP. 5" MIN.
- 20 NEW VINYL OR COMPOSITE SOFFIT W/ CONTINUOUS VENTING- BLOCKING AS REQUIRED TYP.
- 21 NEW 3/4" PLYWOOD SHEATHING
- 22 NEW 3/4" PLYWOOD SUB-FLOOR TYP.
- 23 NEW 1/2" GYP. BOARD TYP.
- 24 INSULATION IN CAVITY (R21 FOR WALLS)
- 25 BLOWN-IN TYPE INSULATION IN CAVITY (R21 FOR FLOORING JOISTS)
- 26 INSULATION IN CAVITY (R60 FOR ROOF RAFTERS/ JOISTS)
- 27 NEW FINISH FLOOR TYP.
- 28 NEW BRICK VENEER TYP.
- 29 NEW STUCCO TYP.



WINDOW SCHEDULE									
LOCATION	WINDOW NO.	QTY.	SIZE OF OPENING (W x H)	TYPE	MODEL PELLA LIFE STYLE SERIES	MATERIAL	LIGHT	VIEWLATCH	REMARKS
LIVING ROOM	A	6	5'-0" X 6'-0"	CASMENT		WOOD	30.0	30.0	1, 2
LIVING ROOM	B	14	3'-0" X 6'-0"	CASMENT		WOOD	18.0	18.0	1, 2
KITCHEN	C	1	6'-0" X 4'-0"	CASMENT		WOOD	22.0	22.0	1, 2
PATIO	D	1	4'-0" X 6'-0"	CASMENT		WOOD	24.0	24.0	1, 2, 3
PORCH	E	1	6'-0" X 6'-0"	PICTURE	TEMPERED GLASS	WOOD	30.0	0.0	1, 2, 3
PORCH	F	1	3'-0" X 4'-0"	PICTURE	TEMPERED GLASS	WOOD	12.0	0.0	1, 2, 3
BEDROOM	H	2	3'-0" X 3'-0"	CASMENT	PROTECTED GLASS	WOOD	18.0	18.0	1, 2, 3
BEDROOM	G	1	4'-0" X 6'-0"	CASMENT	PROTECTED GLASS	WOOD	24.0	24.0	1, 2, 3
BEDROOM	I	2	3'-0" X 4'-0"	CASMENT	PROTECTED GLASS	WOOD	12.0	12.0	1, 2, 3
CLUB	K	1	3'-0" X 6'-0"	CASMENT	TEMPERED GLASS	WOOD	18.0	18.0	1, 2, 3
BEDROOM	L	1	6'-0" X 6'-0"	PICTURE		WOOD	30.0	0.0	1, 2, 3

WINDOW REMARKS:

- PELLA LIFE STYLE SERIES OR EQUIV. - THERMO BREAK TYPE TLT WINDOW, 1/2" MIN. INSULATED LOW "E"
- WINDOW PELL GLASS SIDE LOADED WITH INSET WINDOW
- CONTRACTOR TO VERIFY ALL DIMENSIONS, 0 FIELDS
- PROVIDE OPaque GLASS AT BEDROOM WINDOWS

DOOR SCHEDULE						
DOOR NO.	LOCATION	DOOR	MATERIAL	QTY.	REMARKS	
		SIZE (W x H)				
1	ENTRANCE	6'-0" X 8'-0" X 1 3/4"	IRON	1	-	1, 2, 7
2	ENTRY SLIDING DOOR (BEDROOM)	6'-0" X 8'-0" X 1 3/4"	GLASS	1	-	1, 2, 8

DOOR REMARKS:

- COLOR & APPROXIMATE TO BE DETERMINED BY OWNER
- UNDERCUT 1/2" & BARRIERS AND TRAILERS ONLY
- PROVIDE NEW BOLD HINGERS BUILDING ENTRANCE DOOR WITH HARDWARE, FRAME AND TRANOMES
- FLUSH TYPE HINGERS CORE COMBINATION WITH 1/4" THICK TEMPERED HINGERS
- PROVIDE SILLER GROUND HINGERS
- PROVIDE WINDSTOPPERS AND GROUND
- CONTRACTOR TO VERIFY IN FIELD (W/2) ALL DOOR SIZES AND DOOR HINGERS
- DOOR TO BE FULLY SHUTTED FOR R22.2.4

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ARCHITECT
BOUTIQUE & BIL
Zabala, RA

DATE: 07/14/2025
REVISION: 1

PROJECT
ADDITION
624 BLOOMFIELD AVENUE
NUTLEY NJ 07110

SHEET TITLE
PROPOSED
LONGITUDINAL SECTION

GENERAL CONTRACTOR

SHEET NUMBER
A-104.00

LAST UPDATE:
JOB NO. 2025-15 DATE: 03-05-2025

DRAWN BY: MR
CHECKED BY: MR

SCALE: AS NOTED
SHEET 5 OF 9

DOB JOB#

FIXTURE CONNECTION SCHEDULE					
FIXTURE	SYMBOL	SOIL OR WASTE	VENT CONNECTION	COLD WATER	HOT WATER
STALL SHOWER		2"	1 1/2"	1/2"	1/2"
WATER CLOSET		4"	2"	1/2"	-
LABATORY		2"	2"	1/2"	1/2"
KITCHEN SINK		2"	1 1/2"	1/2"	1/2"
BATH TUB		2"	1 1/2"	1/2"	1/2"
LAUNDRY SINK		2"	1 1/2"	1/2"	1/2"
SCWIDE		3"	1 1/2"	1/2"	1/2"

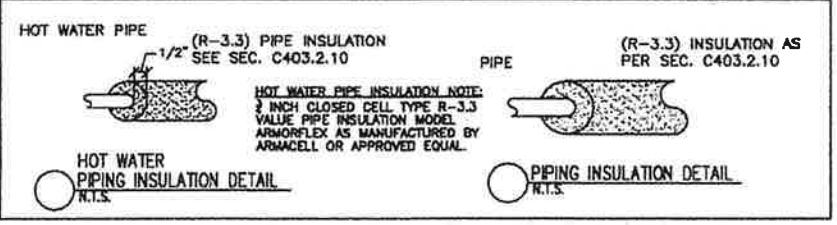
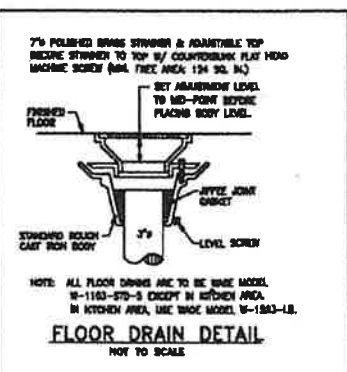
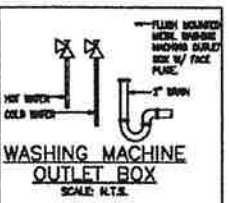
- LEGEND**
- C.O. CLEAN OUT
 - KS KITCHEN SINK
 - FD FLOOR DRAIN
 - C.O.D.P. CLEAN OUT DECK PLATE
 - V VENT
 - W WASTE
 - S SOIL
 - WC WATER CLOSET
 - LAV LABORATORY
 - BT BATH TUB
 - D.C.V. DOUBLE CHECK VALVE
 - V.L.F. VERIFY IN FIELD
 - RV ROOF VENT
 - HWS HOT WATER SUPPLY
 - HWR HOT WATER RETURN
 - TR/TO TOP REGISTER/TIME DAMPER
 - CR CEILING REGISTER
 - CWS COLD WATER SUPPLY
 - PRV PRESSURE RELIEF VALVE
 - HBV HOBBS VALVE
 - GV GATE VALVE
 - MV MOTORIZED VALVE TACO MODEL SERIES/506
 - LV LUBRICATION VALVE
 - AV AIR VALVE
 - CV CHECK VALVE
 - AV AIR VENT
 - DN DOWN
 - UP UP
 - BC BOTTOM CONNECTION
 - PG PRESSURE GAUGE

GAS H.W.H. / BOILER EQUIPMENT SCHEDULE:

QTY.	LOCATION	MANUFACTURE	MODEL	INPUT (BTU/H)	THERMAL EFFICIENCY	WEIGHT (LBS)	MEAS (U.LISTED)
BOILER-01	CELLAR	NAVEN	NCB-240E	240,000 BTU/H	92%	80 LBS	128-06-E
STW-01	CELLAR	NAVEN	NCB-240E	240,000 BTU/H	92%	90 LBS	128-06-E

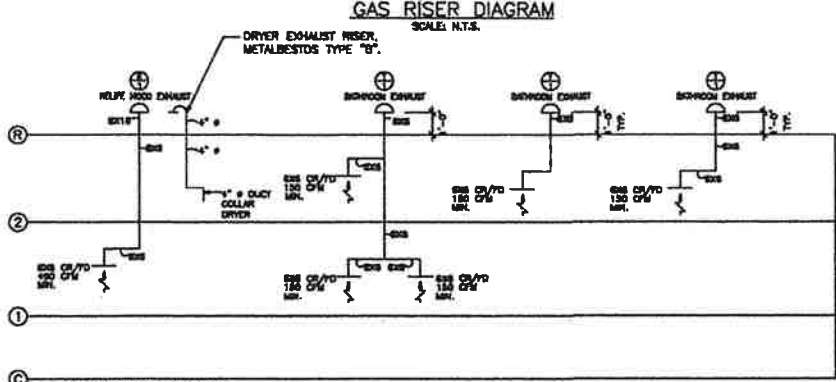
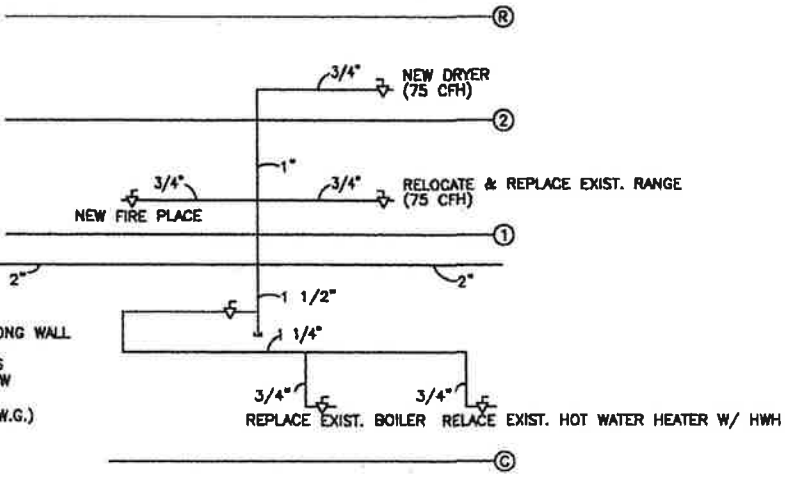
FANS

UNIT	SERVICE	CFM	FAN DATA	MOTOR DATA	WEIGHT	MODEL NO.	DISC. SW.	PVE-PAB	BACKDRAFT
T-1	TOILET EXHAUST	180	1/4" 1014 0.03	1/8 BELT 110W/10	35	85-180	YES	YES	YES
K-1	KITCHEN	400	1/4" 1014 0.03	1/8 BELT 110W/10	30	85-220	YES	YES	YES

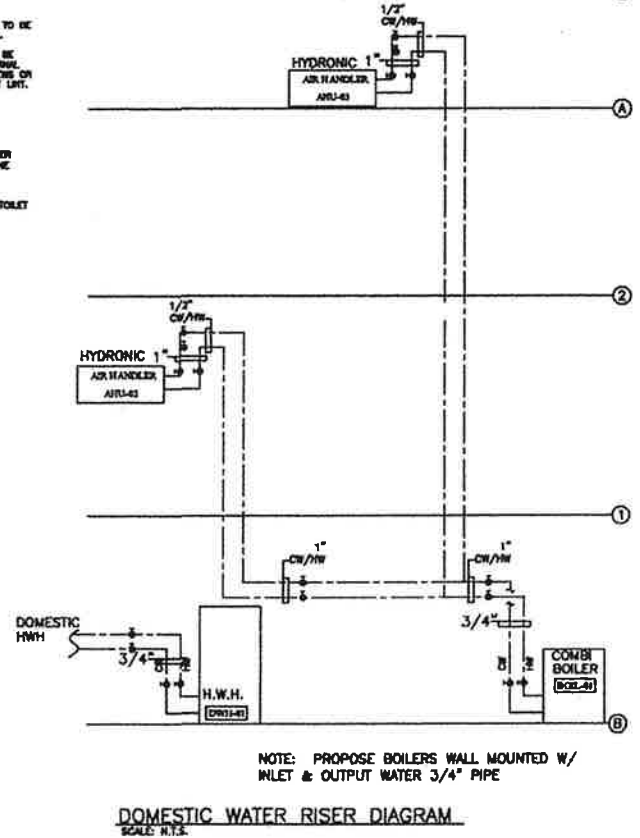
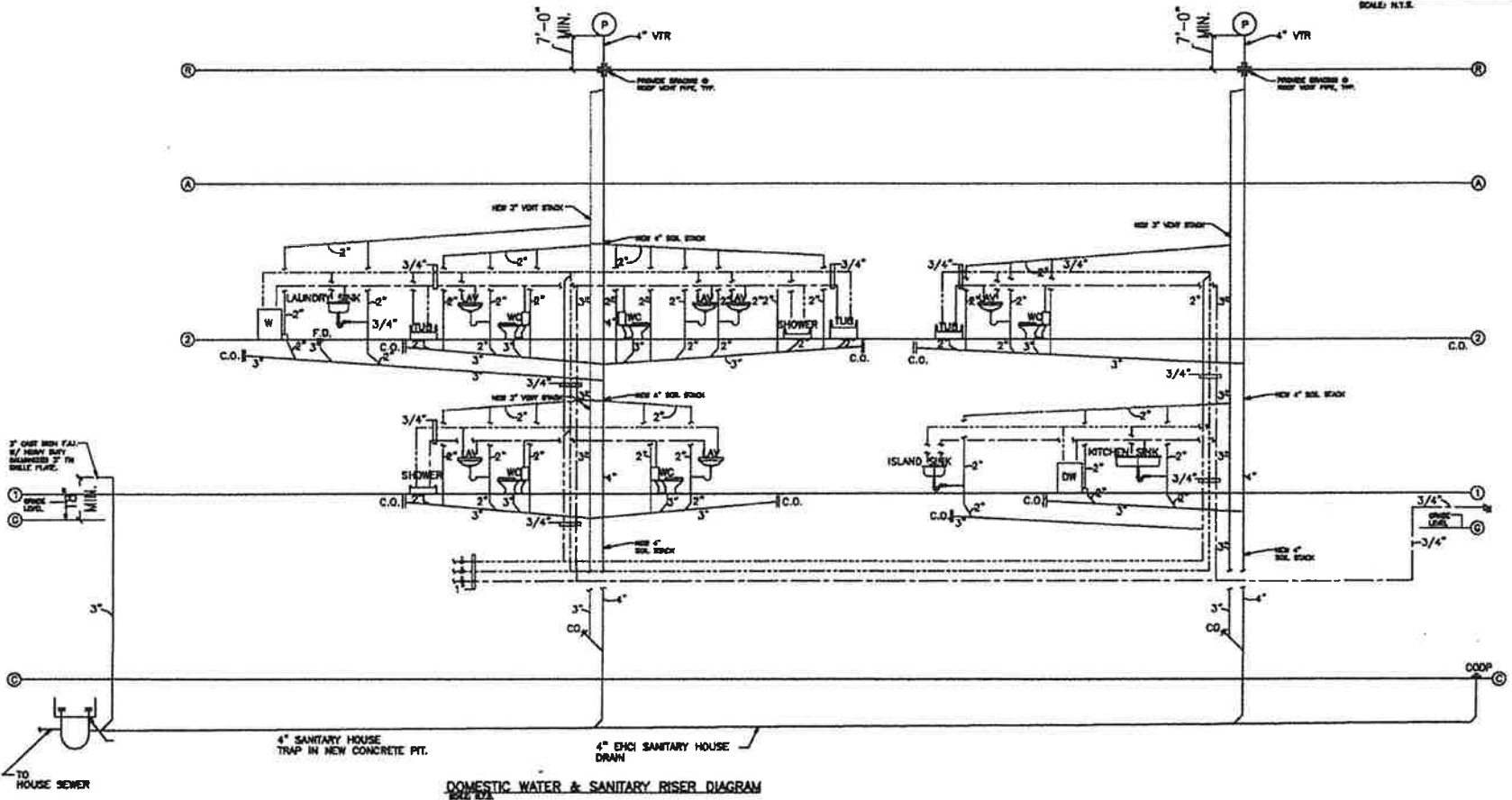


INCOMING GAS SIZED AS PER UTILITY CO. REQUIREMENT.

EXISTING GAS METER ALONG WALL.
NOTE: ALL GAS EQUIPMENTS WILL OPERATE AT LOW GAS PRESSURE. (NOT TO EXCEED 7 W.G.)



- NOTES:**
- ALL KITCHEN EXHAUST DUCT TO BE 18 GAUGE GALVANIZED STEEL.
 - DRYER EXHAUST DUCT MUST BE CONSTRUCTED WITH NO INTERNAL OBSTRUCTION SUCH AS SCREENS OR ANYTHING THAT CAN COLLECT LINT.
- ABBREVIATION:**
- SS STANDING SHOWER
 - WM WASHING MACHINE
 - KS KITCHEN SINK
 - LAV LABORATORY
 - BT BATH TUB
 - WC WATER CLOSET



NOTE: PROPOSE BOILERS WALL MOUNTED W/ INLET & OUTPUT WATER 3/4" PIPE

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E-MAIL: info@marcorp.com
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PROJECT: ADDITION
824 BLOOMFIELD AVENUE
NUTLEY NJ 07110

SHEET TITLE: PROPOSED PLUMBING, GAS RISER DIAGRAM

GENERAL CONTRACTOR:

SHEET NUMBER: A-105.00

LAST UPDATE: JOB NO. 2025-18 DATE: 03-05-2025

DRAWN BY: MR. AS NOTED
CHECKED BY: MR. SHEET 4 OF 8

DOB JOB#

NOTE:
THE PLUMBING SYSTEM SHALL BE INSTALLED IN
ACCORDANCE WITH THE REQUIREMENTS OF
CHAPTERS 28-32 OF THE INTERNATIONAL
RESIDENTIAL CODE NJ EDITION

**THE MECHANICAL SYSTEMS SHALL BE INSTALLED IN
ACCORDANCE WITH THE REQUIREMENTS OF
CHAPTERS 12-25 OF THE INTERNATIONAL
RESIDENTIAL CODE NJ EDITION.**

**THE FUEL GAS SYSTEM SHALL BE INSTALLED IN
ACCORDANCE WITH THE REQUIREMENTS OF
CHAPTER 24 OF THE INTERNATIONAL
RESIDENTIAL CODE NJ EDITION**

HEATED WATER TEMPERATURE (°F)	NON-CIRCULATING RUNOUTS		CIRCULATING MAINS AND RUNOUTS	
	UP TO 1" UP TO 1.5"	1.5" TO 2.0"	2.0" TO 2.5"	OVER 2"
170-180	0.5	1.0	1.0	2.0
140-160	0.5	0.5	1.0	1.5
100-130	0.5	0.5	0.5	1.5

MINIMUM DESIGN DEAD LOAD ^a AS PER TABLE C3-1 ACCE 7-95	
COMPONENT	LOAD (psf)
CEILING	
GYPSUM BOARD (1/2-in.)	7.5
GYPSUM BOARD (5/8-in.)	8.0
EXPANDED STEEL CHANNEL SYSTEM	2.6
COVERINGS, ROOF, AND WALL	
ASPHALT SHINGLES	2.8
FLYASH SHINGLES (1/2-in.)	2.8
PLYWOOD (1-in. 1/4-in.)	3.6
FOAM INSULATOR, 1/2-in.	6.75
SINGLEPLY SHEET WATERPROOFING MEMBRANE	6.7
STANDARD, SMOOTH SURFACE WATERPROOFING MEMBRANE	1.8
FLOORS AND FLOOR FINISHES	
CONCRETE OR GRAVELLY FILL (2-in.) ON 1/2-in. MORTAR BED	16.8
HARDWOOD FLOORING, 7/8-in.	1.0
LINOLEUM OR ASPHALT TILE, 3/8-in.	1.0
BRICK FLOORING, 3/4-in.	3.0
FLOORING, WOOD JOIST (see Figure) JOIST SIZES (in.)	13-in. G.I. 15-in. G.I.
2x8	8
2x6	8
2x10	7
2x12	8
FRAME PARTITIONS	
WOOD ON STEEL STUD, 12-in. G.I., 5/8-in. BOTH SIDES	8.5
FRAME WALLS	
EXTERIOR STUD WALLS	
2-in. or 1 1/2-in., 8-in., ASPHALT INSULATED, 3/8-in. BRICKS	11.0
2 1/2-in. or 1 1/2-in., 8-in., ASPHALT INSULATED, 3/8-in. BRICKS	12.8
4 IN. FIBRO, STUD WALL WITH BRICK WORK EXTERIOR	45.0

* WEIGHTS OF MASONRY INCLUDE MORTAR BUT NOT PLASTER. FOR PLASTER, ADD 5 lb/ft² FOR EACH FACE PLASTERED, VALLIES GIVEN REPRESENT AVERAGES. IN SOME CASES THERE IS A CONSIDERABLE RANGE OF WEIGHT FOR THE SAME CONSTRUCTION.

ALLOWABLE DEFLECTION OF STRUCTURAL MEMBERS* AS PER TABLE 3.01.5 OF THE INTERNATIONAL RESIDENTIAL CODE/NJ EDITION

NOTE: L=SPAN LENGTH, H=SPAN HEIGHT

6. THE WIND LOAD SHALL BE PERMITTED TO BE TAKEN AS 1.7 TIMES THE COMPONENT AND CLADDING LOADS FOR THE PURPOSES OF THE DETERMINING DEFLECTION LIMITS HEREON.

TABLE 2.1 HAILING SCHEDULE AS PER ANSI & A.P.M. 1995			
JOINT DESCRIPTION		NUMBER OF COMMON NAILED	
ROOF FRAMING			
RAFTER TO TOP PLATE (TOS NAILED): 12" O.C. SPACERS 16" O.C. SPACERS	(2) 6d (2) 8d	PER RAFTER	
CILING JOIST TO TOP PLATE (TOS NAILED): 12" O.C. SPACERS 16" O.C. SPACERS	(2) 6d (2) 8d	PER JOIST	
CILING JOIST TO PARALLEL RAFTER (FACE NAILED):	ROOF SPAN		
	12'-0"	20'-0"	28'-0"
12" O.C. SPACERS 2-12 PITCH	(4) 16d (8) 16d	(8) 16d (11) 16d	(11) 16d (14) 16d
12" O.C. SPACERS 4-12 PITCH	(8) 16d (8) 16d	(8) 16d (8) 16d	(8) 16d (7) 16d
12" O.C. SPACERS 6-12 PITCH	(8) 16d (8) 16d	(8) 16d (7) 16d	(7) 16d (8) 16d
12" O.C. SPACERS 8-12 PITCH	(8) 16d (8) 16d	(8) 16d (7) 16d	(7) 16d (8) 16d
12" O.C. SPACERS 10-12 PITCH	(8) 16d (8) 16d	(8) 16d (7) 16d	(7) 16d (8) 16d
12" O.C. SPACERS 12-12 PITCH	(8) 16d (8) 16d	(8) 16d (7) 16d	(7) 16d (8) 16d
12" O.C. SPACERS 2-12 PITCH	(4) 16d (8) 16d	(8) 16d (11) 16d	(11) 16d (14) 16d
12" O.C. SPACERS 4-12 PITCH	(8) 16d (8) 16d	(8) 16d (8) 16d	(8) 16d (7) 16d
12" O.C. SPACERS 6-12 PITCH	(8) 16d (8) 16d	(8) 16d (7) 16d	(7) 16d (8) 16d
12" O.C. SPACERS 8-12 PITCH	(8) 16d (8) 16d	(8) 16d (7) 16d	(7) 16d (8) 16d
12" O.C. SPACERS 10-12 PITCH	(8) 16d (8) 16d	(8) 16d (7) 16d	(7) 16d (8) 16d
12" O.C. SPACERS 12-12 PITCH	(8) 16d (8) 16d	(8) 16d (7) 16d	(7) 16d (8) 16d
CILING JOIST LAP OVER PARTITIONS (FACE NAILED)	ROOF SPAN		
	12'-0"	20'-0"	28'-0"
12" O.C. SPACERS 2-12 PITCH	(4) 16d (8) 16d	(8) 16d (11) 16d	(11) 16d (14) 16d
12" O.C. SPACERS 4-12 PITCH	(8) 16d (8) 16d	(8) 16d (8) 16d	(8) 16d (7) 16d
12" O.C. SPACERS 6-12 PITCH	(8) 16d (8) 16d	(8) 16d (7) 16d	(7) 16d (8) 16d
12" O.C. SPACERS 8-12 PITCH	(8) 16d (8) 16d	(8) 16d (7) 16d	(7) 16d (8) 16d
12" O.C. SPACERS 10-12 PITCH	(8) 16d (8) 16d	(8) 16d (7) 16d	(7) 16d (8) 16d
12" O.C. SPACERS 12-12 PITCH	(8) 16d (8) 16d	(8) 16d (7) 16d	(7) 16d (8) 16d
COLLAR TIE TO RAFTER (FACE NAILED)	SPAN		
	12'-0"	20'-0"	28'-0"
3-12 PITCH	(4) 16d (8) 16d (8) 16d (8) 16d (8) 16d	(8) 16d (8) 16d (7) 16d (8) 16d (8) 16d	(8) 16d (8) 16d (7) 16d (8) 16d (8) 16d
	SPAN		
	12'-0"	20'-0"	28'-0"
4-12 PITCH	(4) 16d (8) 16d (8) 16d (8) 16d (8) 16d	(8) 16d (8) 16d (7) 16d (8) 16d (8) 16d	(8) 16d (8) 16d (7) 16d (8) 16d (8) 16d
	SPAN		
	12'-0"	20'-0"	28'-0"
5-12 PITCH	(4) 16d (8) 16d (8) 16d (8) 16d (8) 16d	(8) 16d (8) 16d (7) 16d (8) 16d (8) 16d	(8) 16d (8) 16d (7) 16d (8) 16d (8) 16d
	SPAN		
	12'-0"	20'-0"	28'-0"
6-12 PITCH	(4) 16d (8) 16d (8) 16d (8) 16d (8) 16d	(8) 16d (8) 16d (7) 16d (8) 16d (8) 16d	(8) 16d (8) 16d (7) 16d (8) 16d (8) 16d
	SPAN		
	12'-0"	20'-0"	28'-0"
7-12 PITCH	(4) 16d (8) 16d (8) 16d (8) 16d (8) 16d	(8) 16d (8) 16d (7) 16d (8) 16d (8) 16d	(8) 16d (8) 16d (7) 16d (8) 16d (8) 16d
BLOCKING TO RAFTER (TOS NAILED)	(2) 6d		
2x4 BOARD TO RAFTER (END NAILED)	(2) 16d		
WALL FRAMING			
TOP PLATE TO TOP PLATE (FACE NAILED)	(2) 16d	PER FOOT	
TOP PLATE AT INTERSECTIONS (FACE NAILED)	(2) 16d	JOINTS - EACH SIDE	
STUD TO STUD (FACE NAILED)	(2) 16d	2" O.C.	
HEADER TO HEADER (FACE NAILED)	16d	1" O.C. ALONG EDGES	
TOP OR BOTTOM PLATE TO STUD (END NAILED)	(2) 16d	PER 2x4 STUD	
BOTTOM PLATE TO STUD (END NAILED)	(2) 16d	PER 2x4 STUD	
BOTTOM PLATE TO FLOOR JOIST, BANDJOIST, ENDJOIST, OR BLOCKS (FACE NAILED)	(2) 16d	PER FOOT	
FLOOR FRAMING			
JOIST TO BILL, TOP PLATE OR GINDER (TOS NAILED)	(4) 6d		
LEDGERS TO JOIST (TOS NAILED)	(2) 6d		
BLOCKING TO JOIST (TOS NAILED)	(2) 6d		
BLOCKING TO BILL OR TOP PLATE (TOS NAILED)	(2) 16d		
LEDGER STRIP TO BEAM (FACE NAILED)	(2) 16d		
JOIST ON LEDGER TO BEAM (TOS NAILED)	(2) 6d		
BAND JOIST TO JOIST (END NAILED)	(2) 16d		
BAND JOIST TO BILL OR TOP PLATE (TOS NAILED)	(2) 16d		
			

3. WHEN WALL BRICKING IS CONTIGUOUS OVER CONNECTED MEMBERS, THE TABULATED NUMBER OF NAILS SHALL BE PERMITTED TO BE REDUCED TO (1) 96 NAIL PER FOOT.

~~NAILED TO TOP PLATE / ONE END JOINT TO TOP PLATE JOINT NOTED (TABLE 3.34) MINIMUM 6" FROM END~~
~~* 10# BOX NAILS SHALL BE PERMITTED TO BE SUBSTITUTED FOR 8# COMMON NAILS~~

- WHEN CEILING JOIST ARE INSTALLED PARALLEL TO RAFTERS, THE SUM OF THE TOENAILS IN THE RAFTER AND CEILING JOIST SHALL EQUAL OR EXCEED THE TABULATED NUMBER OF NAILS REQUIRED

• TO AVOID SPLITTING, NO MORE THAN TWO TORNAILS SHALL BE INSTALLED IN EACH SIDE OF THE RAFTER OR CEILING JOINT WHEN FASTENED TO A 2nd TOP PLATE OR 3 TORNAIL IN EACH SIDE WHEN FASTENED TO A 3rd TOP PLATE

SHR-518 JOINT TO PARALLEL BATTERY / SHR-518 JOINT LAPS OVER POSITIVE BATTERY TERMINAL AS

- HALLING REQUIREMENTS SHALL BE PERMITTED TO BE REDUCED 25% IF HALLS ARE CLINCHED

• **HEEL JOINT CONNECTIONS ARE NOT REQUIRED WHEN THE PEGGE IS SUPPORTED BY A LOAD BEARING WALL, HINDER OR PEGGE BEAM**

* WHEN INTERMEDIATE SUPPORT OF THE RAFTER IS PROVIDED BY VERTICAL STRUTS OR PURLINS, A LOAD BEARING WALL, THE TABULATED JOINT CONNECTION REQUIREMENTS SHALL BE PERMITTED BE REDUCED PROPORTIONALLY TO THE REDUCTION IN SPAN.

- EQUIVALENT NAILING PATTERNS ARE REQUIRED FOR CEILING JOINT TO CEILING JOINT LAP SPACINGS
- TABULATED JOINT CONNECTION REQUIREMENTS ASSUME CEILING JOINTS OR RAFTER TIE A

LOCATED AT THE BOTTOM OF THE ATTIC SPACE, THE TABULATED HEEL JOINT CONNECTION REQUIREMENT SHALL BE INCREASED BY THE FOLLOWING FACTORS:

* TABULATED CONNECTION REQUIREMENTS ARE BASED ON A TOTAL UPLIFT MINUS 2% OF ROOF

* WHEN THE TABULATED NUMBER OF NAILS REQUIRED IN EACH END OF THE STRAP IS EQUAL TO 1 AND THE FRAMING IS ATTACHED IN ACCORDANCE WITH TABLE 3.1 THE RIDGE STRAP AND ADDITIONAL NAILING

• WHEN A COLLAR TIE IS USED IN USE OF A RIDGE STRAP, THE NUMBER OF 10M COMMON NAILS

REQUIREMENT IN EACH END OF THE COLLAR THE NEED NOT EXCEED THE TABULATED NUMBER OF 34 NAILS IN STEEL STRAP

* TABULATED CONNECTION REQUIREMENTS ARE BASED ON 12" RIDGE STRAP SPACING. FOR DIFFERENT RIDGE STRAP SPACING MULTIPLY THE TABULATED VALUES BY THE APPROPRIATE MULTIPLIER BELOW. IF THE NUMBER OF NAILS IN EACH END OF THE RIDGE STRAP EXCEEDS 6, SPECIAL CONNECTION HARDWARE IS REQUIRED.

*TABULATED LENGTH REQUIREMENTS ASSUME A MEAN ROOF HEIGHT OF 2 FEET. FOR MEAN ROOF HEIGHTS OF 15 FEET OR LESS, THE TABULATED VALUES SHALL BE PERMITTED TO BE MULTIPLIED BY 0.89

TABLE 2.8 ROOF SHEATHING ATTACHMENT REQUIREMENTS FOR WIND LOADS AS PER ASCE/SEI 7-05

BREATHING SIZE	RAFTENTRULO SPACING (INCHES, O.C.)	MINIMUM NUMBER OF IN COMMON MALE PER SUPPORT	
1st OR 2nd BREATHING	12-18.2	2	2
3rd OR LARGER BREATHING	12-18.2	3	3

E = MAX. SPACING AT PANEL EDGES (INCHES)
F = MAX. SPACING AT INTERMEDIATE SUPPORTS IN THE PANEL FIELD (INCHES)

1. FOR ROOF HEATING WITHIN 4 FEET OF THE PERIMETER EDGE OF THE ROOF, INCLUDING 4 FEET ON EACH THE ROOF PEAK, THE 4 FOOT PERIMETER EDGE ZONE ATTACHMENT REQUIREMENTS SHALL BE USED

2. TABULATED 12 INCH O.C. NAIL SPACING ASSUMES SHEATHING ATTACHED TO RAFTER/TRUSS FRAMING MEMBERS WITH $d \geq 0.48$. FOR FRAMING MEMBERS WITH $d < 0.48$ $d < 0.48$, THE NAIL SPACING SHALL BE REDUCED BY 5

2. TABULATED 8 INCH O.C. NAIL SPACING ASSUMES BRACKETS ATTACHED TO RAFTER/TRUSS FRAMING MEMBERS WITH $G \geq 0.6L$. FOR FRAMING MEMBERS WITH $G < 0.6L$ OR $0 < G < 0.6L$, THE NAIL SPACING SHALL BE REDUCED BY 4 INCH.

FOR FRAMING MEMBERS WITH $G \leq 0.40$ $G \leq 0.40$, THE NAIL SPACING SHALL BE REDUCED BY 3 INCH.

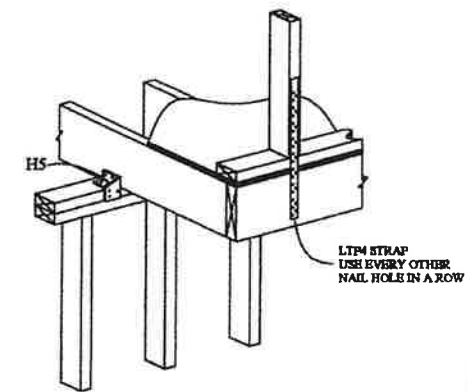
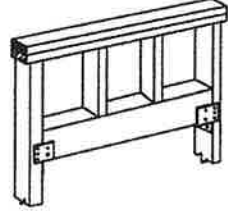
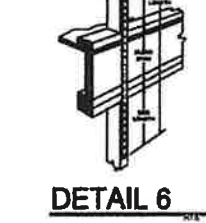
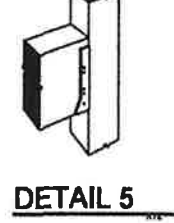
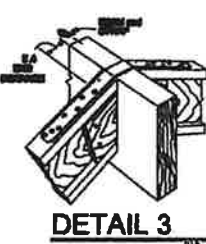
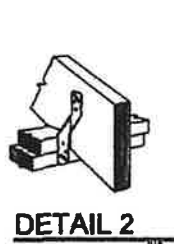
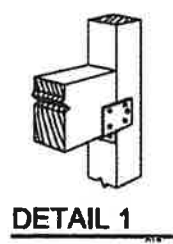
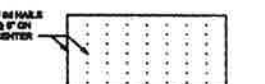
BREATHING SIZE	STUD SPACING (INCHES, O.C.)	MINIMUM NUMBER OF BS COMMON NAILS PER SUPPORT	
1½ OR 2½ BREATHING	12-18.2	3	2
1½ OR LARGER BREATHING	12-18.2	3	3

E = NAIL SPACING AT PANEL EDGES (INCHES)
F = NAIL SPACING AT INTERMEDIATE SUPPORTS IN THE PANEL FIELD (INCHES)


1. FOR WALL SHEATHS WITHIN 4 FEET OF TEH CORNERS, THE 4 FOOT EDGE ZONE ATTACHMENTS SHALL BE USED

2. TABULATED 12 INCH O.C. NAIL SPACING ASSUMES SHEATHING ATTACHED TO STUD FRAME MEMBERS WITH $S \geq 0.4S$. FOR FRAMING MEMBERS WITH $0.43 < S < 0.46$, THE NAIL SPACING

2. FOR EXTERIOR PANELS, GALVANIZED BOX NAILS SHALL BE PERMITTED TO BE SUBSTITUTED FOR CORN NAILS.

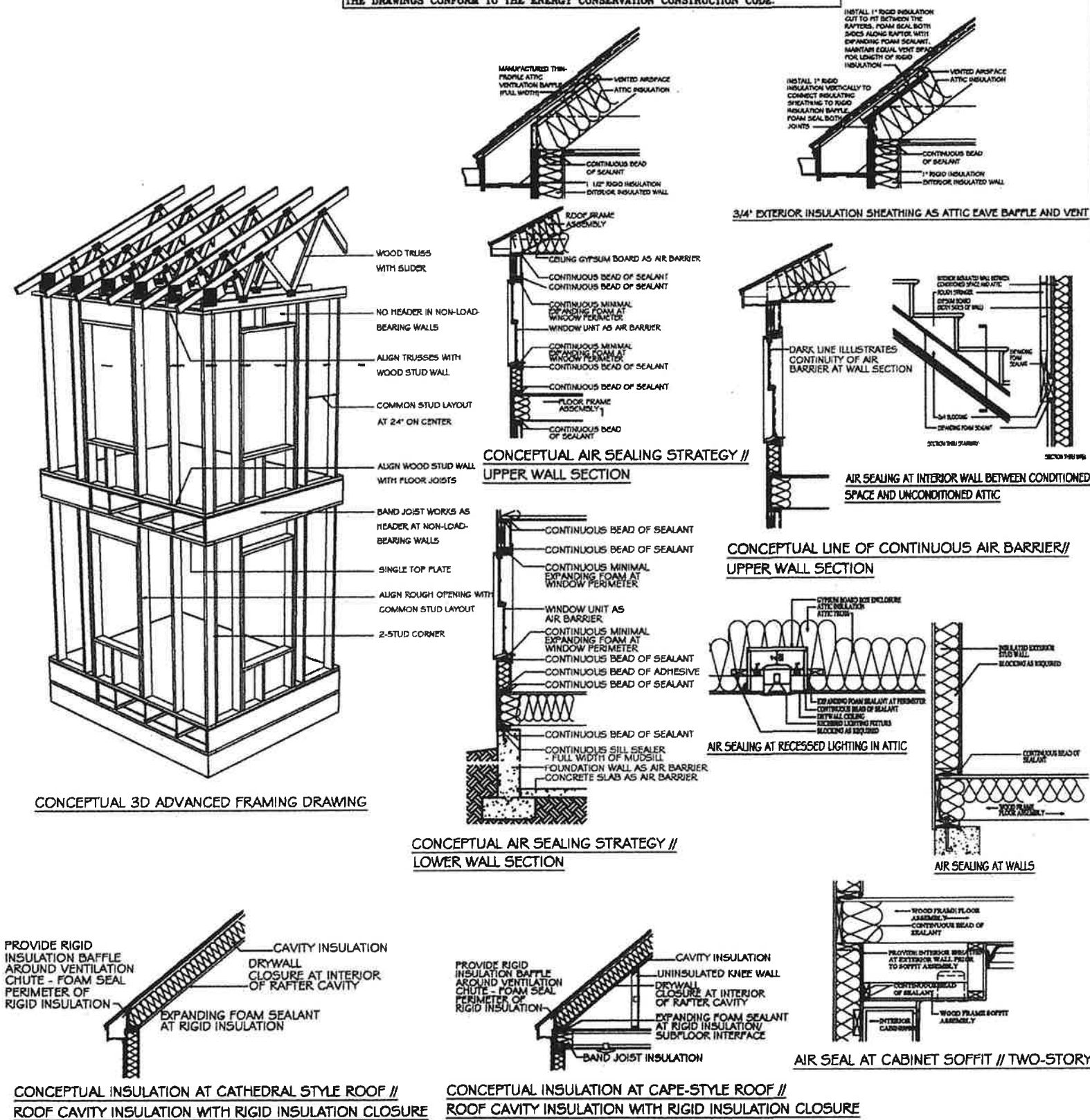


D13 CANTILEVER
SIMPSON STRONG-TIE
HS, LTP4

		
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ARCHITECT SIGNATURE & SEAL Zoran Pantic, PA		
NJ REG. NO. 14-000000-000		
OWNER SIGNATURE & SEAL Mohammad Hossain, PE		
NJ REG. NO. 14-000000-000		
REVISIONS		
NO.	DATE	REMARK
10		
09		
08		
07		
06		
05		
04		
03		
02		
01	07/14/2008	REV. 1
OTHER		
PROJECT ADDITION 424 BLOOMFIELD AVENUE NUTLEY NJ 07110		
SHEET TITLE PROPOSED DETAILS		
GENERAL CONTRACTOR		
SHEET NUMBER <div style="font-size: 2em; font-weight: bold; margin-top: 10px;">A-106.00</div>		
LATEST UPDATE: JOB NO. 2025-16 DATED 03-05-2025		
DRAWN BY MR	SCALE AS NOTED	
CHECKED BY MR	SHEET 7 OF 9	
DOB JOB#		

AIR SEALING AND THERMAL BARRIER DIAGRAMS

THE DESIGN PROFESSIONAL CERTIFIES THAT TO THE BEST OF HIS KNOWLEDGE
THE DRAWINGS CONFORM TO THE ENERGY CONSERVATION CONSTRUCTION CODE



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HAJRE UZUMCU: 2009-2010

REVISIONS		
NO	DATE	REMARK
10		
09		
08		
07		
06		
05		
04		
03		
02		
01	07/14/2005	REV. 1

OWNER

PROJECT
ADDITION
824 BLOOMFIELD AVENUE
NUTLEY NJ 07110

SHEET TITLE

DETAILS

GENERAL CONTRACTOR	
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SHEET NUMBER

A-108.00

LAST UPDATE:

JOB NO. 2025-16	DATE 03-05-2025
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DRAWN BY

RY	MR
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ORDERED BY
MR.

DOB JOB#