



THOMAS J. EVANS
Director of Revenue and Finance

CODE ENFORCEMENT DEPT.

BUILDING
PLUMBING
ELECTRICAL
FIRE
ZONING

TOWNSHIP OF NUTLEY

1 KENNEDY DRIVE
NUTLEY, NEW JERSEY 07110

TELEPHONE: (973) 284-4957 · FACSIMILE: (973) 284-0071

DAVID BERRY
Construction Official
Zoning Official

November 6, 2025

Matthew Horner
21 Tennis Place
Nutley, NJ 07110

Re: Addition/Add a Level
21 Tennis Place
Block/Lot: 4103/7

Dear Mr. Horner,

Your request for a permit at the above referenced address to construct a new two-story addition at the rear yard of the property and to install a new second floor addition over the existing dwelling, having a 7.65' ft. side yard setback on the right side, as shown on the plans prepared by Architect Mark Roselli, RA dated September 4, 2025 is disapproved for the following reasons:

This property is located in an R-1AA district as shown on the Nutley Zoning Map.

Chapter 700, Article VIII, Section 700-46 A of the Codes of Nutley states the Schedule of Regulations requires the following in an R-1AA zone:

	<u>Required</u>	<u>Proposed</u>
Side Yard	10'	7.65'

A non-refundable use variance fee of \$175.00 was received by the Code Enforcement Department. All tax and water bills must be paid to date prior to the processing of a variance fee.

Information on procedures for an appeal of this decision to the Board of Adjustment can be obtained from Jessica D'Onofrio, jdonofrio@nutleynj.org or Jessica D'Onofrio, jdonofrio@nutleynj.org or at 973-284-4957. It should be noted that, under State Statute, notice of appeal of this decision must be filed with this office no later than twenty (20) calendar days from the date of this notice.

Any changes to the proposed plans must be submitted prior to the applications being returned to the Code Enforcement Office. No changes can be made once the application is received by this office.

Very truly yours,

DAVID BERRY
Zoning Official



TOWNSHIP OF NUTLEY, NEW JERSEY

ZONING BOARD OF ADJUSTMENT APPLICATION FORM

Docket No: _____

TO ALL APPLICANTS: This application form is designed to obtain from you information necessary for the processing of your application by the Zoning Board of Adjustment.

Application Fee: \$ _____ (on denial letter) Date of Denial Letter: 11/6/2025

Section I: SUBJECT PROPERTY

Address: 21 Tennis Place

Block: 4103 Lot: 7 Zone: R-1AA

	District Requirements	Proposed
Lot Area	<u>7,000 SF</u>	<u>7,500 SF existing</u>
Lot Width	<u>70' Min</u>	<u>75' existing - no change</u>
Lot Depth	<u>100' Min</u>	<u>100' existing - no change</u>
Front Yard	<u>25' Min</u>	<u>26.7' existing</u>
Side Yard	<u>10' Min</u>	<u>7.65' proposed</u>
Rear Yard	<u>30' Min</u>	<u>36.96' proposed</u>
Other	_____	_____

Section II: APPLICANT INFORMATION

Name: Matthew J Horner

Address: 21 Tennis Place

Nutley NJ 07110

Telephone: 646-346-9215

Email Address: Matt.J.Horner@gmail.com

Applicant is a:

____ Corporation ____ Partnership ____ LLC X Individual

If the owner is not the applicant, the following must be provided:

Owner Name: _____

Address: _____

Telephone: _____

Email Address: _____

Section III: DISCLOSURE STATEMENT

Pursuant to N.J.S. 40:55D-48.1 the names and address of all persons owning 10% of the stock in a corporation or a 10% interest in any partnership must disclosed by the applicant. In accordance with N.J.S. 40:55D-48.2, that disclosure requirement applies to any corporation or partnership which owns more than 10% interest.

Name: _____

Address: _____

Interest: _____

Name: _____

Address: _____

Interest: _____

Name: _____

Address: _____

Interest: _____

Section IV: PROPERTY INFORMATION

	Existing	Proposed
Total existing and total proposed dwelling units	<u>1</u>	<u>1</u>
Total existing and total proposed professional offices	<u>0</u>	<u>0</u>
Total existing and total proposed parking spaces	<u>2</u>	<u>4</u>

Present use of premises: R-5 (One-Family Residential)

Has there been any previous appeal, request, or application to this or any other Township of Nutley Board or the Construction Code Official involving these premises? No

If yes, state the nature, date and the disposition of each such matter: ---

Section V: PROFESSIONAL INFORMATION

Applicant's Attorney

Name: ---

Address: ---

Telephone: --- Fax: ---

Email Address: ---

Applicant's Architect

Name: mRAD Studios LLC - Mark Roselli RA

Address: 33 Cedar Lake West

Denville NJ 07834

Telephone: 201-452-2343 Fax: ---

Email Address: MarkRoselliArchitect@gmail.com

Applicant's Engineer

Name: ---

Address: ---

Telephone: --- Fax: ---

Email Address: ---

Name: _____

Address: _____

Telephone: _____ Fax: _____

Email Address: _____

Name: _____

Address: _____

Telephone: _____ Fax: _____

Email Address: _____ Field of Expertise: _____

In the space below, state the nature of the constraints imposed by the physical characteristics of the land under consideration (i.e. exceptional narrowness, shallowness or topographic conditions).

Nature of constraints include the existing non-conforming north side yard.

Because of this existing non-conforming condition, we would need to offset construction, which would create an undesirable exterior wall condition both at 2nd floor and at rear addition, as well as create non-ideal interior layouts.

Explain how not granting this variance request would impose peculiar and exceptional practical difficulties or exceptional or undue hardship upon you.

Not granting this variance request would require the addition along the side yard
on the north to step in, thereby creating an unaligned exterior wall condition.

This offset condition would be needed at 2nd floor and rear-yard addition
which would create undesirable impact on the interior spaces.

Explain how the granting of this variance will not detrimentally affect the public good or substantially impair the intent and purpose of the Zone Plan and Zoning Ordinance.

There are no detrimental affects on the public good. The scale and aesthetics
of the proposed house design changes does not negatively impact the neighborhood
and the design compliments the other houses on adjacent neighboring lots and streets.

CERTIFICATION

[illegible]

Matthew J. Horner, being duly sworn, hereby certify (check one)

➤ X that I am the applicant

or

➤ _____ that I am the _____ of _____,
(Title) (Company Name)
the Applicant, and that I am duly empowered and authorized to make this representation
on behalf of _____;
(Company Name)

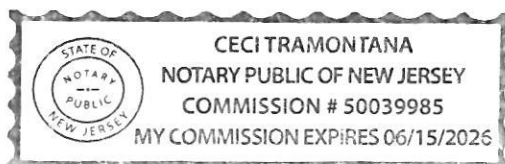
and that the information presented in this application is true, complete and accurate.


Applicant/Applicant's Authorized
Officer or Representative

Subscribed and sworn to before me
this 10th day of November, 2025

Carsten

Signature of person authorized to take oaths





Nutley
Parcel Offset List

Target Parcel(s): Block-Lot: 4103-7
HORNER, MATTHEW J.
21 TENNIS PLACE

23 parcels fall within 200 feet of this parcel(s).

Block-Lot: 4002-5

IRVINE, WILLIAM J. & MARY GRACE
225 HIGHFIELD LN
NUTLEY, NJ 07110
RE: 225 HIGHFIELD LANE

Block-Lot: 4103-10

BOZZA, DEAN & VOCATURO, DARRIEN
7 TENNIS PL
NUTLEY, NJ 07110
RE: 7 TENNIS PLACE

Block-Lot: 4002-40

CALICCHIO, PAUL
222 NUTLEY AVE
NUTLEY, NJ 07110
RE: 222 NUTLEY AVENUE

Block-Lot: 4103-11

PATEL, RUTUL & HARDI
240 NUTLEY AVE
NUTLEY, NJ 07110
RE: 240 NUTLEY AVENUE

Block-Lot: 4002-1

DIRENZI, GEORGE P. & GINA M.
230 NUTLEY AVE
NUTLEY, NJ 07110
RE: 230 NUTLEY AVENUE

Block-Lot: 4002-2

CHROMEY, ANDREW & ALISON
10 TENNIS PL
NUTLEY, NJ 07110
RE: 10 TENNIS PLACE

Block-Lot: 4002-6

HERRMANN, DENNIS & STANISCI, DAWN
221 HIGHFIELD LN
NUTLEY, NJ 07110
RE: 221 HIGHFIELD LANE

Block-Lot: 4002-7

AYZENBERG, EUGENE
217 HIGHFIELD LN
NUTLEY, NJ 07110
RE: 217 HIGHFIELD LANE

Block-Lot: 4103-9

FERNANDEZ, KELLY Q
11 TENNIS PL
NUTLEY NJ 07110
RE: 11 TENNIS PLACE

Block-Lot: 4002-8

MOSCARA, MICHAEL P. & ELISABETH A.
213 HIGHFIELD LN
NUTLEY, NJ 07110
RE: 213 HIGHFIELD LANE

Block-Lot: 4002-4

SULAIMON, TEMILOLUWA I & OLUWAKEMI
24 TENNIS PLACE
NUTLEY, NJ 07110
RE: 24 TENNIS PLACE

Block-Lot: 4103-8

SANTORO, MAUREEN & ANTHONY
15 TENNIS PL
NUTLEY, NJ 07110
RE: 15 TENNIS PLACE

Block-Lot: 4002-3

VILLANUEVA, PATRICIA & JORGE
18 TENNIS PL
NUTLEY, NJ 07110
RE: 18 TENNIS PLACE

Block-Lot: 4103-12

ZINNA, FRANK J. & MARIA A.
248 NUTLEY AVE
NUTLEY, NJ 07110
RE: 248 NUTLEY AVENUE

Block-Lot: 4103-3

GERDES, JASON & BARBARA
251 HIGHFIELD LN
NUTLEY, NJ 07110
RE: 251 HIGHFIELD LANE

Block-Lot: 4103-5

JAHN, PATRICIA C.
241 HIGHFIELD LN
NUTLEY, NJ 07110
RE: 241 HIGHFIELD LANE

Block-Lot: 3403-20

CAVALLO, ANTHONY J. & MARY C.
246 HIGHFIELD LN
NUTLEY, NJ 07110
RE: 246 HIGHFIELD LANE

Block-Lot: 3403-19

GREISS, MINA & JESSICA
22 VINE ST
NUTLEY, NJ 07110
RE: 232 HIGHFIELD LANE

Block-Lot: 4103-4

SHIRLEY HYLER IRREVOCABLE TRUST
245 HIGHFIELD LN
NUTLEY, NJ 07110
RE: 245 HIGHFIELD LANE

Block-Lot: 3403-18

SWANSON, ANDREW & KELLY C.
226 HIGHFIELD LN
NUTLEY, NJ 07110
RE: 226 HIGHFIELD LANE

Block-Lot: 3403-16

GRAVES, BRADFORD J. & MARY C.
216 HIGHFIELD LN
NUTLEY, NJ 07110
RE: 216 HIGHFIELD LANE

Block-Lot: 3403-17

PAVONE, SERGIO & DOMENICA
220 HIGHFIELD LN
NUTLEY, NJ 07110
RE: 220 HIGHFIELD LANE

Block-Lot: 4103-6

BITTANTE, LUIS & RUCHLIN, D.
233 HIGHFIELD LN
NUTLEY, NJ 07110
RE: 233 HIGHFIELD LANE

UTILITIES

(A)

AT & T
Corporate Office
P.O. Box 7207
Bedminster, NJ 07921-7207

(B)

NJ Dept. of Transportation
1035 Parkway Avenue
CN-600
Trenton, NJ 08625

(C)

Essex County Planning Board
Public Works Building
900 Bloomfield Avenue
Verona, NJ 07044

(D)

PSE&G Company
Manager-Corporate Properties
80 Park Plaza, T6B
Newark, NJ 07102

(E)

North Jersey District Water Supply Co.
1 F.A. Orechio Drive
Wanaque, NJ 07465

(F)

Passaic Valley Water Co.
1525 Main Avenue
Clifton, NJ 07011

(G)

Verizon
540 Broad Street, Room 305
Newark, NJ 07101

(H)

TCI of Northern New Jersey
40 Potash Road
Oakland, NJ 07436
Attn: Dan Gannon

(I)

Essex County Utilities Authority
Leroy R. Smith Jr. Public Safety Building
60 Nelson Place – 6th Floor
Newark, NJ 07102

(J)

Norfolk Southern Railway
125 County Road
Jersey City, NJ 07307

HIGHFIELD LANE
(60' WIDE PUBLIC R.O.W.)

BLOCK 4103

LOT 6

90.00' (TIE)

LOT 5

LOT 7
AREA = 7,500 S.F.

N24°32'00"E

75.00'

SHED
FENCE(COR.)
0.6' NORTH

100.00'

S65°28'00"E

FENCE(COR.)
1.9' NORTH

P.O.B.

UP O

S24°32'00"W

CURB

TENNIS PLACE

(50' WIDE PUBLIC R.O.W.)

(30' WIDE ASPHALT PAVEMENT)

FM □

25.5'

26.7'

8.5'

58.0'

58.0'

75.00'

RETAINING WALL

ASPHALT DRIVEWAY

RETAINING WALL

(GARAGE UNDER)

25.5'

N65°28'00"W

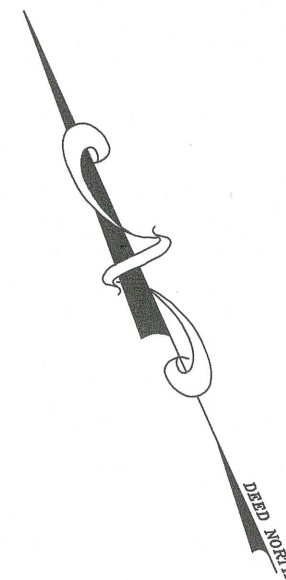
PIN 0.15' EAST

FENCE
0.1' SOUTH

FENCE(COR.)
0.2' SOUTH

100.00'

LOT 8



To: Matthew J. Horner, Single
Westcor Land Title Insurance Company
Attorneys Choice Title Agency, LLC
A. Absolute Escrow Settlement Co. Inc.
Garden State Home Loans Inc.
ISAOA/ATIMA
Riley & Gutman LLC

I CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP OR PLAN IS THE RESULT OF A FIELD SURVEY MADE ON JULY 16, 2024, BY ME OR UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH THE RULES AND REGULATIONS PROMULGATED BY THE "STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS".

THE INFORMATION SHOWN HEREON CORRECTLY REPRESENTS THE CONDITIONS FOUND AT, AND AS OF THE DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY BELOW THE SURFACE AND NOT VISIBLE.

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN A RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL DOCUMENT AND MAY HAVE BEEN ALTERED.

NOTES:

- THIS CERTIFICATION IS MADE ONLY TO HEREON NAMED PARTIES FOR PURCHASE AND OR MORTGAGE OF HEREIN DELINEATED PROPERTY BY THE NAME PURCHASER, NO RESPONSIBILITY OR LIABILITY IS ASSUMED BY SURVEYOR FOR USE OF SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO USE OF SURVEY FOR SURVEY AFFIDAVIT, RESALE OF PROPERTY, OR TO ANY OTHER PERSON NOT LISTED IN CERTIFICATION EITHER DIRECTLY OR INDIRECTLY.
- ENVIRONMENTALLY SENSITIVE AREAS ARE NOT LOCATED BY THIS SURVEY.
- NO ATTEMPT WAS MADE TO DETERMINE IF ANY PORTION OF THIS SURVEY IS CLAIMED BY THE STATE OF N.J. AS TIDELANDS.
- UNDERGROUND UTILITIES NOT LOCATED BY THIS SURVEY.
- REFERENCE DEED BOOK 4280, PAGE 915.

LEGEND:

P.O.B.	POINT OF BEGINNING	EM □	ELECTRIC METER
R.O.W.	RIGHT OF WAY	GM □	GAS METER
S.F.	SQUARE FEET	UP O	UTILITY POLE
CONC.	CONCRETE	DI □	DRAINAGE INLET
COR.	CORNER	— x —	FENCE LINE
●	CAPPED IRON PIN SET	○	IRON PIN FOUND

CREST

Engineering Associates Inc.

Civil & Environmental Engineers

Professional Planners · Surveyors · Landscape Architects
· CERTIFICATE OF AUTHORIZATION NO. 24GA27989300 ·

100 RIKE DRIVE
MILLSTONE TOWNSHIP, N.J. 08535
Ph(609)448-5650

12 ROBBINS PKWY.
AT WATER STREET
TOMS RIVER, N.J. 08753
Ph(732)244-0888

DANIEL P. HUNDLEY

PROFESSIONAL LAND SURVEYOR N.J. LICENSE No. 33174

SURVEY OF PROPERTY

LOT 7

BLOCK 4103

TOWNSHIP OF NUTLEY

ESSEX COUNTY, NEW JERSEY

DATE	7/16/24	DRAWN	DPH	CHECKED
SCALE	1"=20'	FILE No.	N-15309	DWG. No. 1

CAD FILE: 15309-supt

Addition and Renovation to:

21 TENNIS PLACE
NUTLEY NEW JERSEY

BLOCK 4103 | LOT 7

DISTRICT: R-1AA

- DRAWING LIST:
- C100 COVER SHEET, BULK REGULATIONS PHOTOS
 - C201 EXISTING ARCHITECTURAL SITE PLAN
 - C202 PROPOSED ARCHITECTURAL SITE PLAN
 - D101 DEMOLITION PLANS
 - D102 DEMOLITION PLANS AND ELEVATIONS
 - A101 PROPOSED BASEMENT PLAN
 - A102 PROPOSED 1ST FLOOR PLAN
 - A103 PROPOSED 2ND FLOOR PLAN
 - A104 PROPOSED ATTIC AND ROOF PLAN
 - A201 PROPOSED EXTERIOR ELEVATIONS 1
 - A202 PROPOSED EXTERIOR ELEVATIONS 2

21 TENNIS PLACE, NUTLEY -- PROPERTY AREA: 7,500 SF

EXISTING CONDITIONS		PROPOSED CONDITIONS	
EX HOUSE:	1,478	EX HOUSE:	1,478
EX ENCL PORCH:	141	NEW ADDITION:	531
F STAIRS:	43	F STAIRS (NEW):	56
R STAIRS:	12	R STAIRS (NEW):	39
SUBTOTAL: 1,674 SF		SUBTOTAL: 2,104 SF	
LOT COVERAGE:	22.32% (1)	LOT COVERAGE:	28.05% (1)
MAX LOT COVERAGE:	35%	MAX LOT COVERAGE:	35%
FRONT SIDEWALK:	110	FRONT SIDEWALK:	146
SIDE WALKWAYS:	0	SIDE WALKWAYS:	51
RETAINING WALLS:	36	RETAINING WALLS:	53
PATIO:	130	PATIO:	490
DRIVEWAY:	246	DRIVEWAY:	427
SUBTOTAL: 522		SUBTOTAL: 1,167	
TOTAL: 2,196 SF		TOTAL: 3,271 SF	
IMPERV COVERAGE:	29.28% (2)	IMPERV COVERAGE:	43.61% (2)
MAX IMPERV COVERAGE:	60%	MAX IMPERV COVERAGE:	60%
(1) EXISTING CONFORMING CONDITION		(1) PROPOSED CONFORMING CONDITION	
(2) EXISTING CONFORMING CONDITION		(2) PROPOSED CONFORMING CONDITION	



21 Tennis Place - Current

PHOTOGRAPHS OF NEIGHBORHOOD SHOWING SCALE, AESTHETICS AND STREETSCAPE:



15 Tennis Place - Current



18 Tennis Place - Current

700 ATTACHMENT 2
TOWNSHIP OF NUTLEY

SCHEDULE OF REGULATIONS AS TO
BULK, HEIGHT AND OTHER REQUIREMENTS

RESIDENTIAL DISTRICT FOR R-1AA ONE-FAMILY DETACHED

LOCATION	EXISTING	PROPOSED	REQUIRED	COMPLIES?	NOTES:	VARIANCE
FRONT YARD HOUSE	26.70'	26.70'	25.00'	YES	PROPOSED CONFORMING CONDITION	---
FRONT YARD PORTICO	N/A	20.58'	25.00'	NO	PROPOSED NON-CONFORMING CONDITION	VARIANCE 1 SOUGHT
SIDE YARD 1	8.60'	8.60'	8.00'	YES	EXISTING & PROPOSED CONFORMING	---
SIDE YARD 2	7.65'	7.65'	10.00'	NO	EXISTING & PROPOSED NON-CONFORMING	VARIANCE 2 SOUGHT
REAR YARD	36.01'	36.96'	30.00'	YES	PROPOSED CONFORMING CONDITION	---
MAX. HEIGHT	18.50' AVG.	32.00' AVG.	30.00' MAX	NO	PROPOSED NON-CONFORMING CONDITION	VARIANCE 3 SOUGHT
LOT COVERAGE	22.32%	28.05% (1)	35%	YES	PROPOSED CONFORMING CONDITION	---
IMPERVIOUS COVERAGE	29.28%	43.61% (2)	60%	YES	PROPOSED CONFORMING CONDITION	---

NOTE: NO PROPOSED WORK IS ENCRDACHING FURTHER INTO REQUIRED MINIMUM SETBACKS THAN EXISTING NON-CONFORMING CONDITIONS

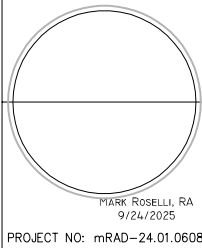
Mark Roselli, RA
NJ License # 21A01852100
33 Cedar Lake West, Denville NJ 07834
201-452-2343
MarkRoselliArchitect@gmail.com

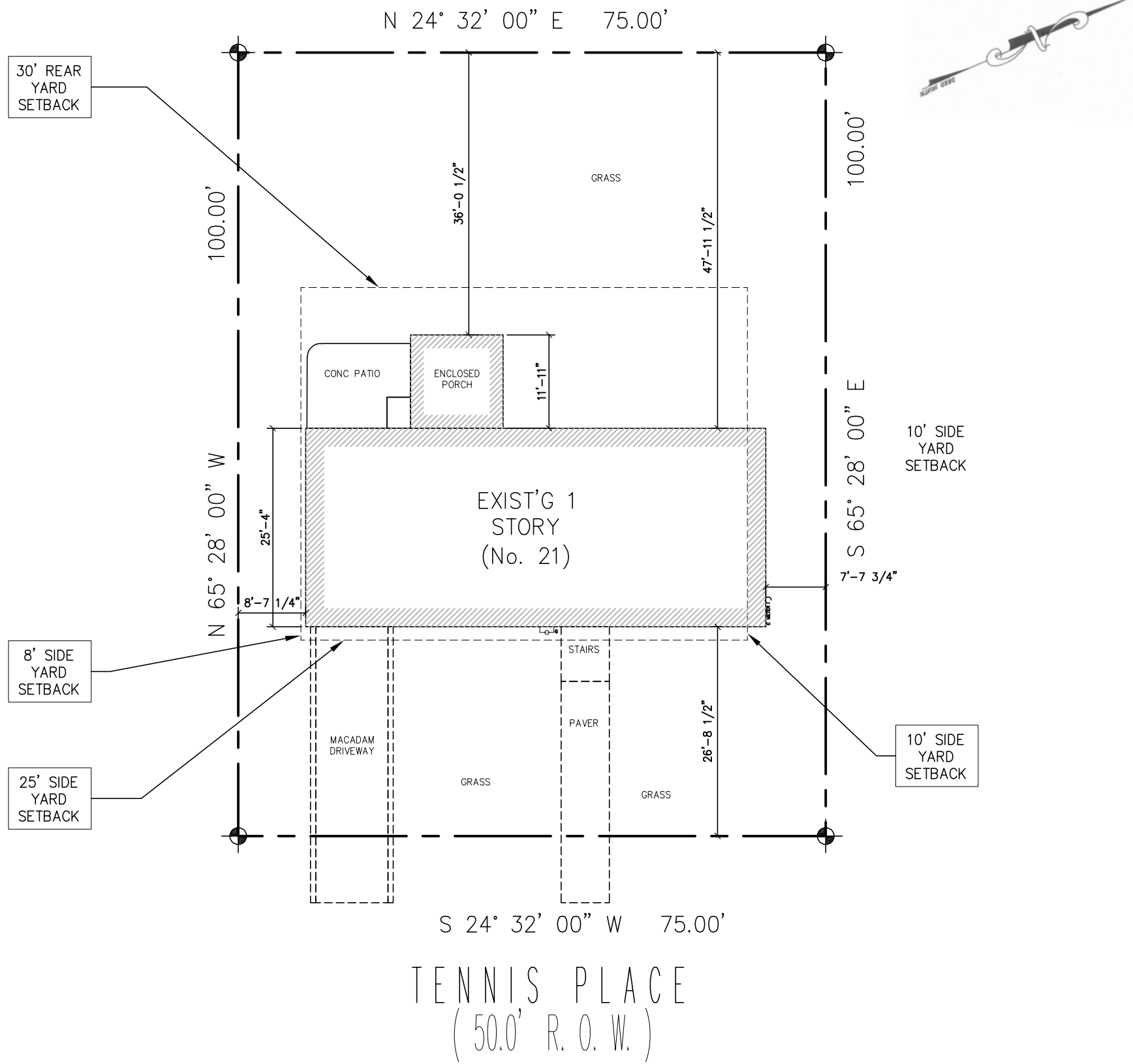


Sept 24
2025

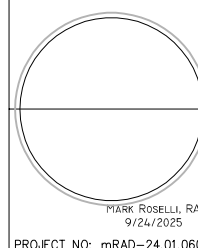
Homer Residence
Renovation + Addition
21 Tennis Place
Nutley NJ
Block 4103 | Lot 7

C100
COVER SHEET
SITE PLAN
ZONING TABLE





1	EXISTING SITE PLAN
C201	SCALE: 1/16" = 1'-0"



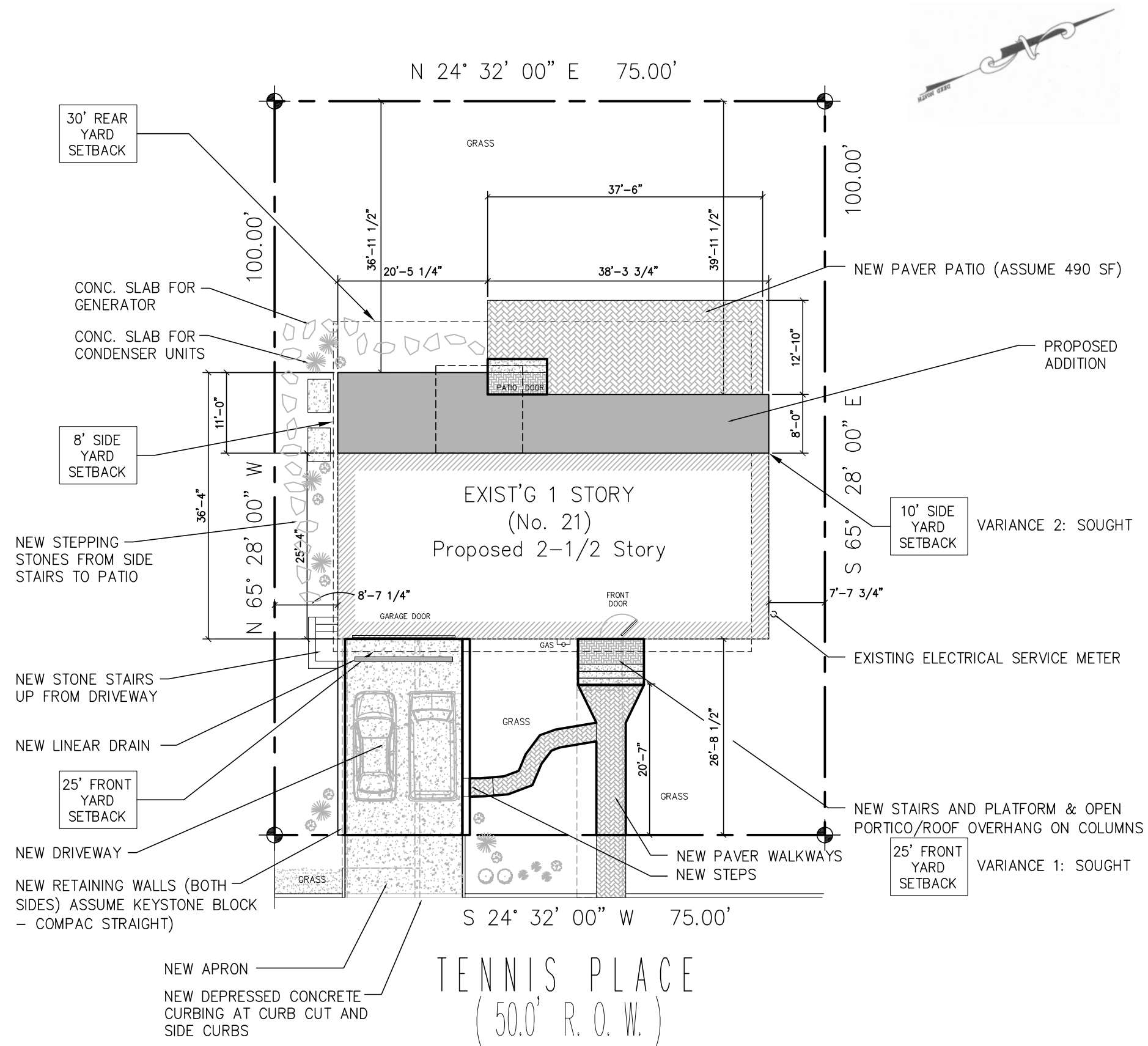
C201
COVER SHEET
SITE PLAN
ZONING TABLE

Homer Residence
Renovation + Addition
21 Tennis Place
Nutley NJ
Block 4103 | Lot 7

Sept 24
2025



Mark Roselli, RA
NJ License # 21A01852100
33 Cedar Lake West, Denville NJ 07834
201-452-2343
MarkRoselliArchitect@gmail.com



1	PROPOSED SITE PLAN
C202	SCALE: 1/16" = 1'-0"

BUILDING
HEIGHT (SEE
ELEVATIONS)

VARIANCE 3: SOUGHT

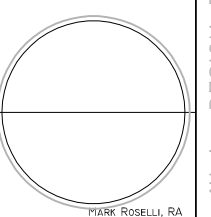
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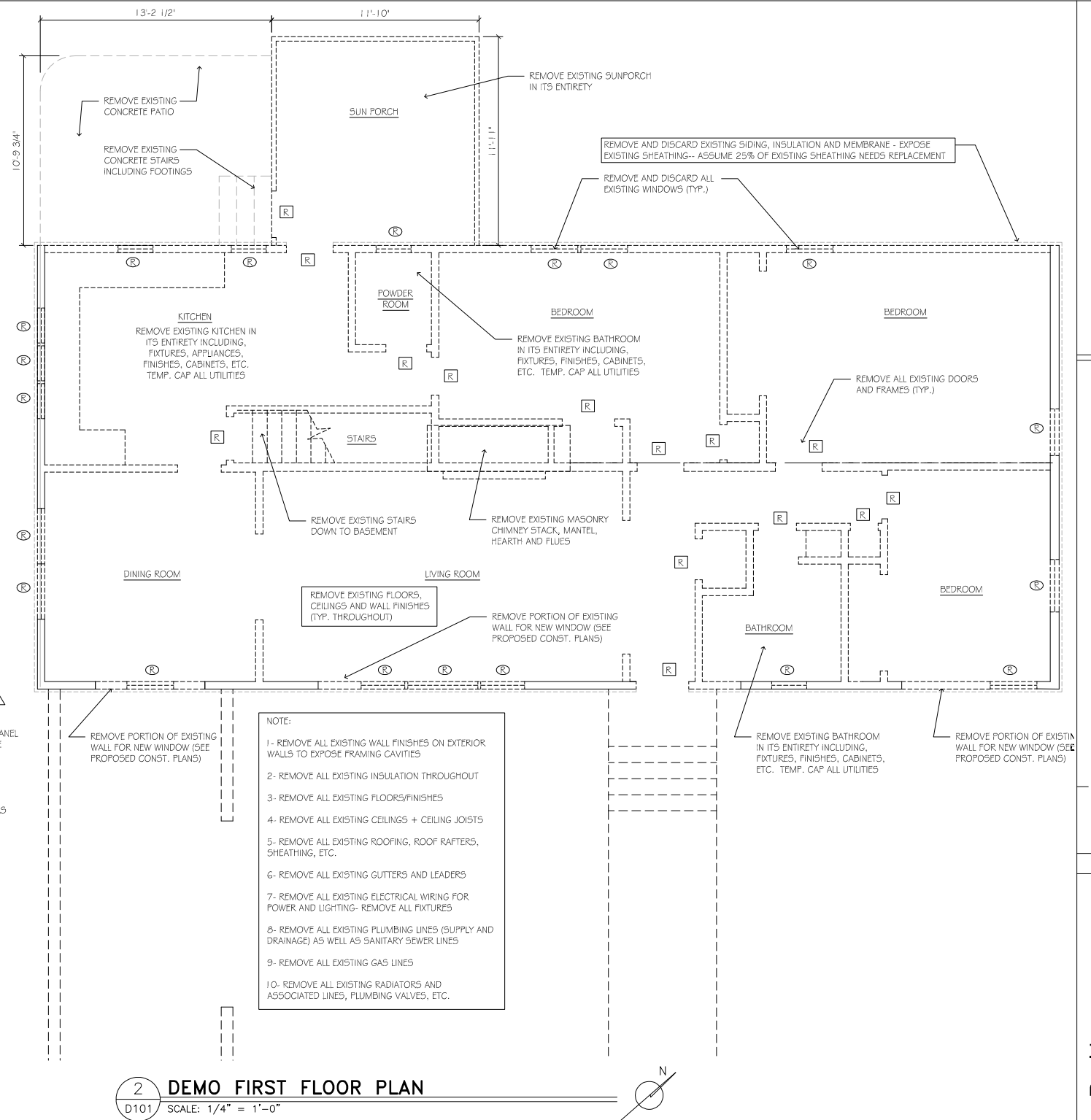
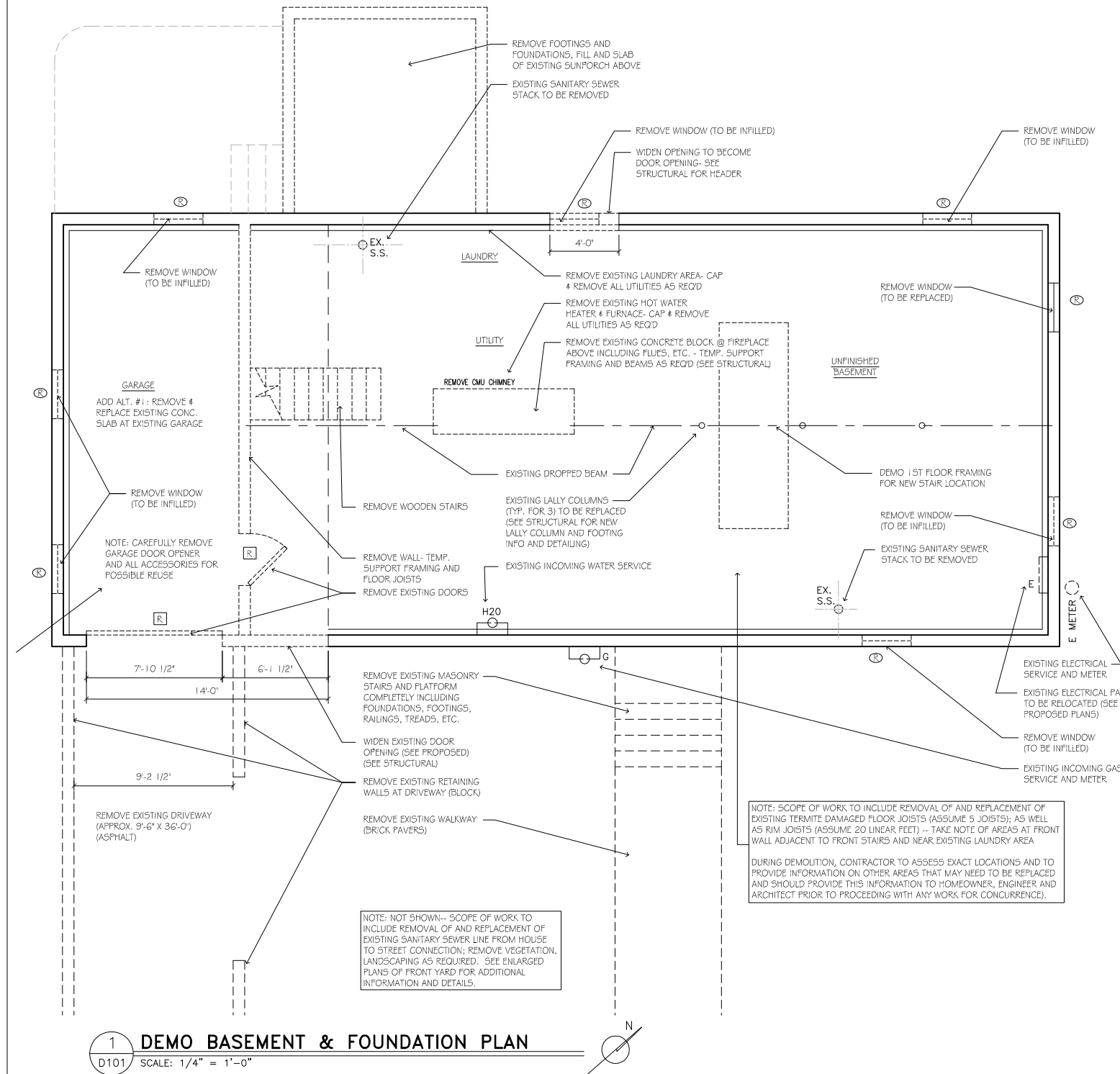
Sept 24
2025

Horner Residence
Renovation + Addition
21 Tennis Place
Nutley NJ
Block 4103 | Lot 7

C202
COVER SHEET
SITE PLAN
ZONING TABLE



MARK ROSELLI, RA
9/24/2025
PROJECT NO: mRAD-24.01.0608



Mark Roselli, RA
NJ License # 21A101852100
201-452-2343
MarkRoselliArchitect@gmail.

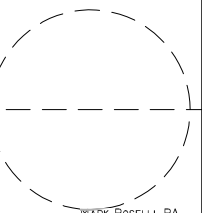


Sept 24
2025

Horner Residence
21 Tennis Place
Nutley, NJ 07110
Block 4103 | Lot 7

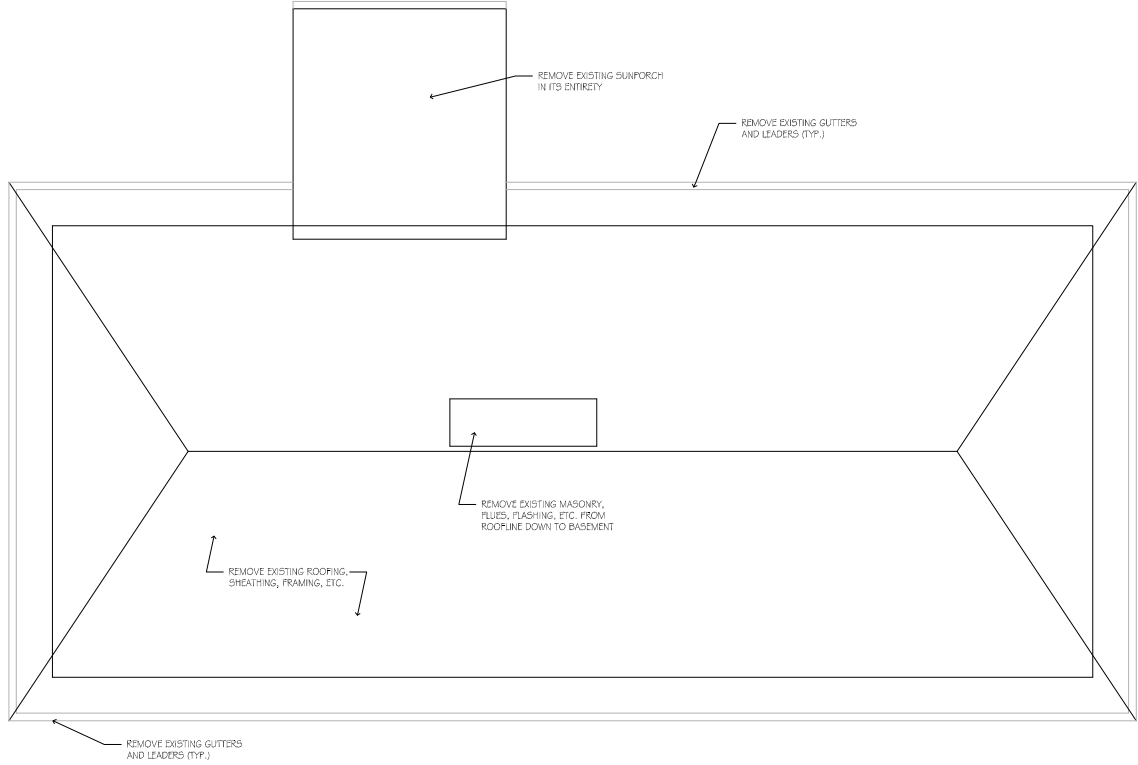
**RENOVATION &
ADDITION TO
EXISTING 1-FAMILY
RESIDENCE**

D101
DEMO PLANS

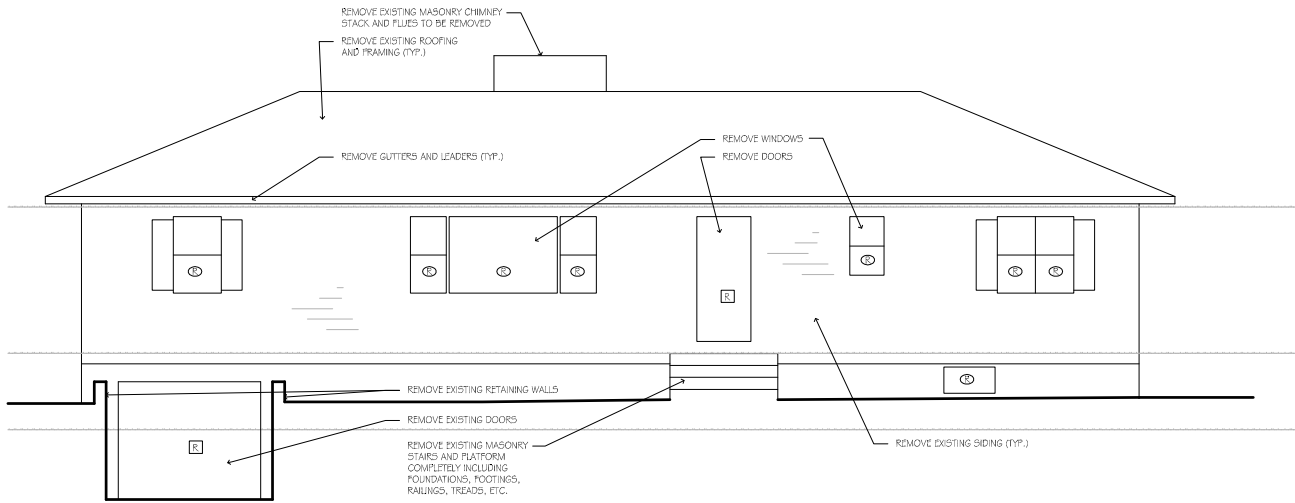


PROJECT NO: mR24-001

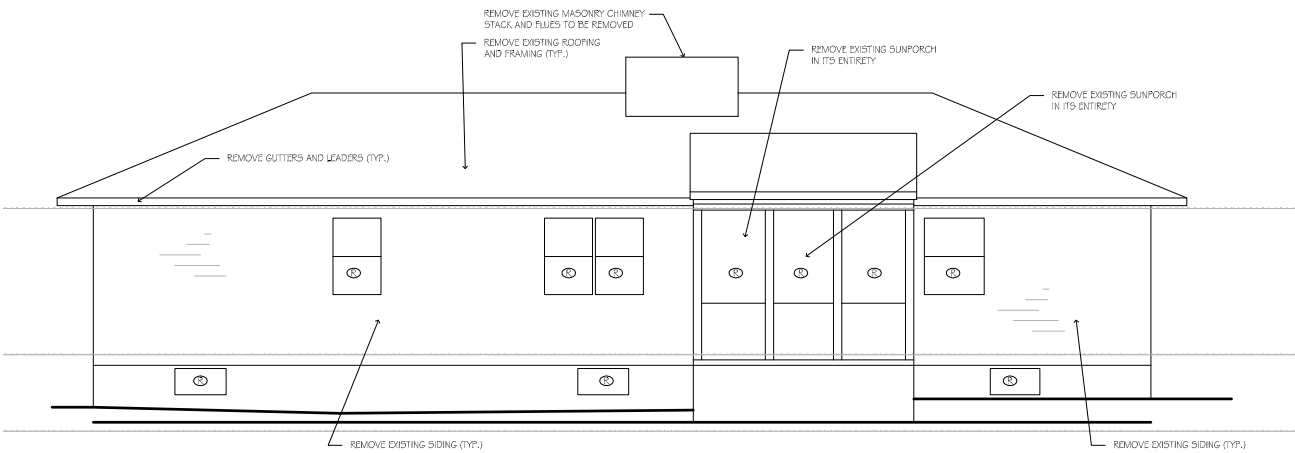
C:\Users\mark\OneDrive\Documents\04_Mark\mRAD\Horner Residence - 21 Tennis Place\Drawings\01 DEMO PLANS (Horner).dwg September 25, 2025 - 10:01pm mark



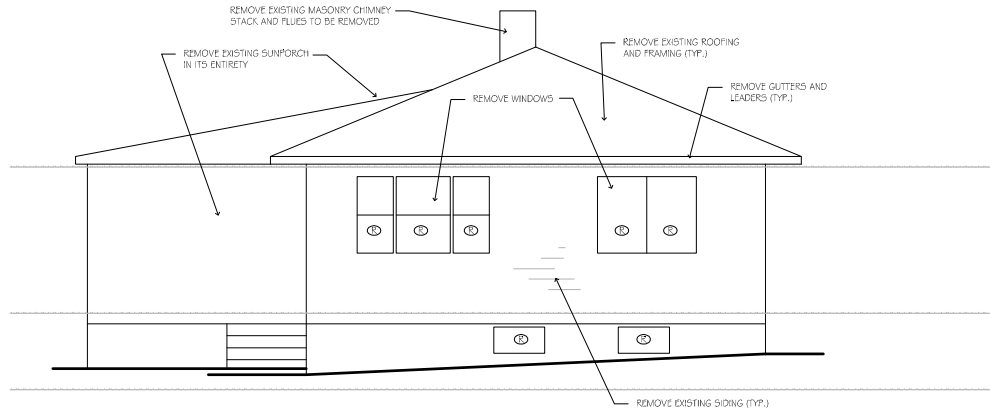
2 DEMO ROOF PLAN
D102 SCALE: 1/4" = 1'-0"



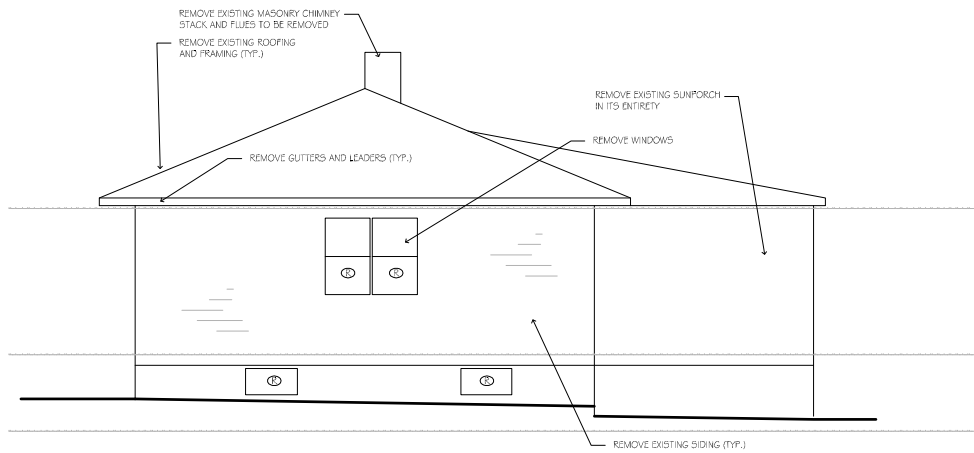
A DEMO FRONT ELEVATION
D102 SCALE: 1/8" = 1'-0"



C DEMO REAR ELEVATION
D102 SCALE: 1/8" = 1'-0"



B DEMO SIDE ELEVATION (DRIVEWAY)
D102 SCALE: 1/8" = 1'-0"



D DEMO SIDE ELEVATION
D102 SCALE: 1/8" = 1'-0"

Mark Roselli, RA
NJ License # 21A01852100
201-452-2343
MarkRoselliArchitect@gmail.com

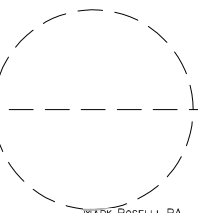


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2025

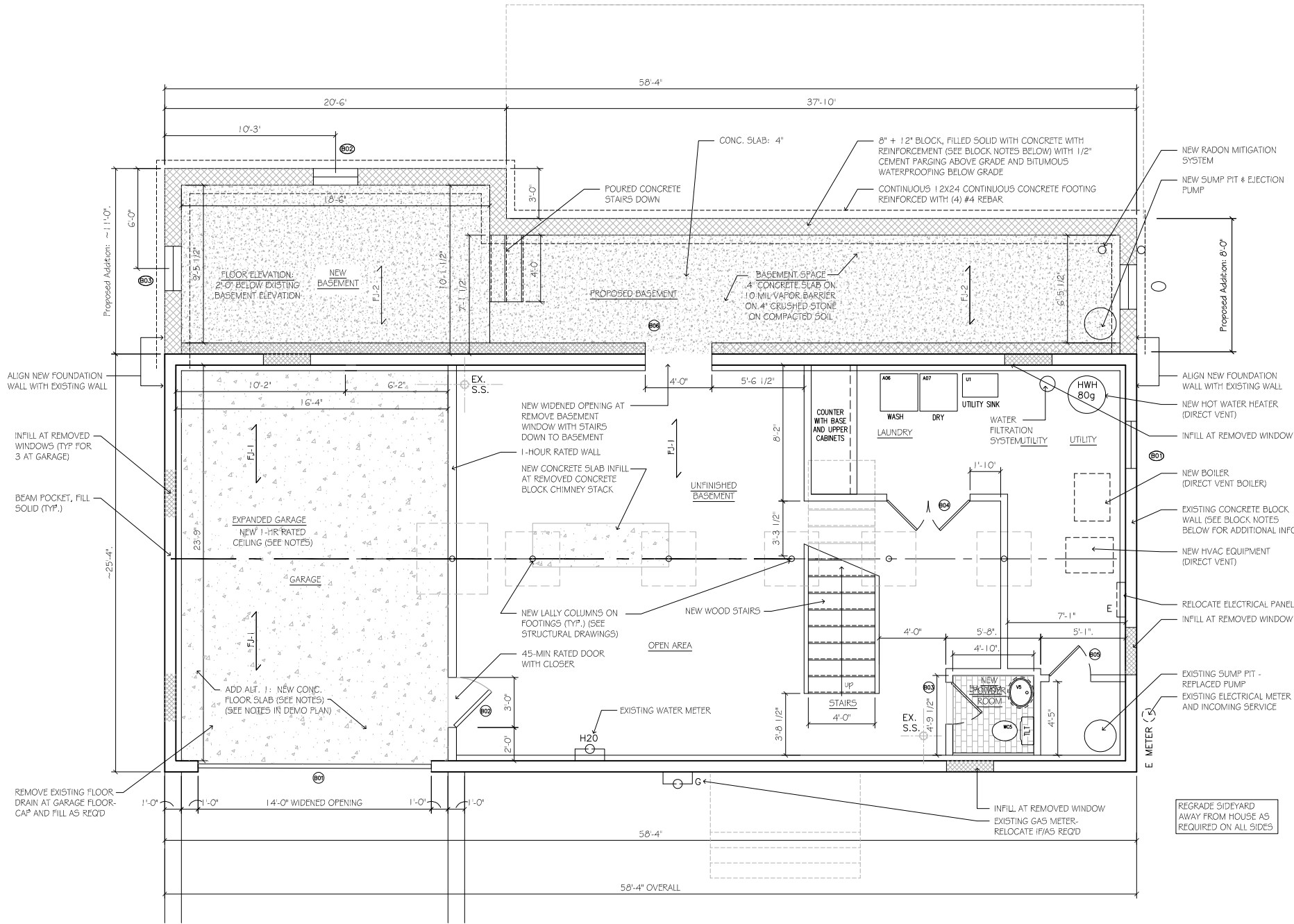
Horner Residence
21 Tennis Place
Nutley, NJ 07110
Block 4103 | Lot 7

RENOVATION &
ADDITION TO
EXISTING 1-FAMILY
RESIDENCE

D102
DEMO ROOF PLANS +
ELEVATIONS



PROJECT NO: mR24-001



- SEE DOOR AND WINDOW SCHEDULES ON SHEET AG01
- SEE APPLIANCE AND PLUMBING SCHEDULE ON SHEET AG02
- SEE FINISH SCHEDULE ON AG02

1

A101

CONSTRUCTION PLAN - BASEMENT LEVEL

SCALE: 1/4" = 1'-0"



NOTE: ALL APPLIANCES PURCHASED BY HOMEOWNERS BUT SHALL BE INSTALLED BY GC AND HIGHER SUBS FOR COMPLETE & TOTAL INSTALLATION INCLUDING BUT NOT LIMITED TO:

- WASHER & DRYER
- HOT WATER HEATER
- BOILER AND HVAC EQUIPMENT (UNDER SEPARATE PERMIT)
- RADON MITIGATION SYSTEM
- SUMP PUMP
- WATER SOFTENER SYSTEM/OSMOSIS SYSTEM

NOTE: ALL PLUMBING FIXTURES PURCHASED BY HOMEOWNERS BUT SHALL BE INSTALLED BY GC AND HIGHER SUBS FOR COMPLETE & TOTAL INSTALLATION INCLUDING BUT NOT LIMITED TO:

- ALL WATER CLOSETS
- ALL VANITIES AND FAUCETS
- ALL SINKS & FAUCETS- NOTE KITCHEN INCLUDES MAIN SINK AND BAR SINK
- ALL SHOWER HEADS
- ALL ROSE BIBS
- UTILITY SINK IN BASEMENT

PLUMBING SCOPE ALSO INCLUDES THE FOLLOWING:

- NEW SEWERLINE TO REPLACE EXISTING
- NEW/RELOCATED WATER LINE
- GAS LINE WITH SHUT OFF VALVE IN REAR FOR NEW GRILLE
- GAS LINE WITH SHUT OFF VALVE/QUICK DISCONNECT IN REARYARD FOR NEW GENERATOR

NOTE: ALL LIGHTING FIXTURES PURCHASED BY HOMEOWNERS BUT SHALL BE INSTALLED BY GC AND HIGHER SUBS FOR COMPLETE & TOTAL INSTALLATION. CONTRACTOR TO INCLUDE ALL CIRCUITING, WIRING, SWITCHES, ETC.

CONTRACTOR TO PURCHASE AND INSTALL ALL RECESSED HI-HATS. CONFIRM FIXTURE TYPE(S) AND TRIM OPTIONS WITH HOMEOWNERS PRIOR TO FINAL ORDER IS PLACED.

SWITCH AND RECEPTACLE COVER PLATES TO BE PURCHASED BY HOMEOWNERS/INSTALLED BY CONTRACTOR.

ELECTRICAL SCOPE ALSO INCLUDES RELOCATING EXISTING MAIN PANEL IN BASEMENT AS WELL AS PROVIDING AND INSTALLING A NEW SUBPANEL AT 2ND FLOOR - LOCATION TO BE DETERMINED.

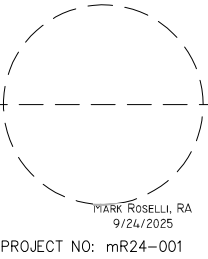
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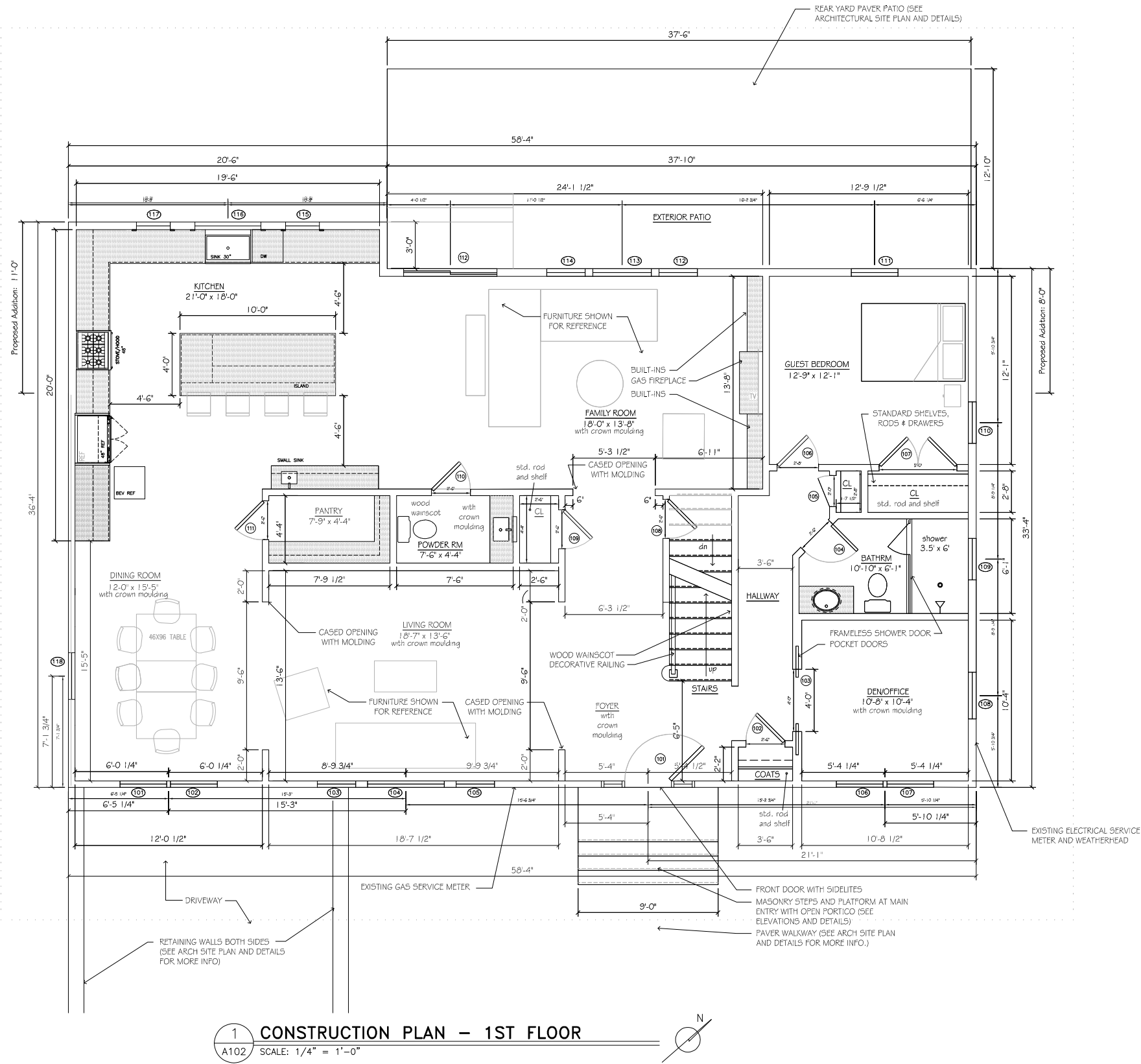
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Horner Residence
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Block 4103 | Lot 7

RENOVATION &
ADDITION TO
EXISTING 1-FAMILY
RESIDENCE
A101
CONST PLANS



PROJECT NO: mR24-001



- ALL BEDROOM CLOSETS TO RECEIVE:
- GYP. BD. FINISH, PRIMED AND PAINTED
 - WALL BASE, QUARTER ROUND
 - SAME FLOORING AS ADJACENT FLOOR
 - STANDARD RODS AND SHELVEING
- PRIMARY CLOSET TO RECEIVE:
- GYP. BD. FINISH, PRIMED AND PAINTED
 - WALL BASE WITH QUARTER ROUND
 - SAME FLOORING AS ADJACENT FLOOR
 - CUSTOM CABINETS RODS AND SHELVEING
 - CUSTOM ISLAND AT CENTER WITH COUNTER
- PANTRY TO INCLUDE:
- CABINETS AND COUNTERS & SHELVEING TO MATCH KITCHEN SIMILAR IN STYLE, COLOR AND MATERIAL
 - FLOORING TO MATCH KITCHEN
 - GYP. BD. FINISH, PRIMED AND PAINTED
 - WALL BASE WITH QUARTER ROUND
- POWDER ROOM AND BATHROOMS TO RECEIVE:
- FLOOR TILE
 - WALL BASE
 - FIXTURES PER PLUMBING SCHEDULE
 - VANITY
 - MOLD RESISTANT GYP. BD. AND JOINT COMPOUND
 - MOLD RESISTANT PRIMER AND PAINT
- KITCHEN TO RECEIVE THE FOLLOWING PER ROTELLI INTERIOR:
- BASE CABINETS & COUNTERS
 - UPPER CABINETS
 - ISLAND AND COUNTER
 - FIXTURES AND FAUCETS AS PER SPECS, PLUMBING SCHEDULE, ETC.
 - APPLIANCES AS PER SCHEDULE
 - CABINET BELOW AND ADJACENT TO SINK TO BE WATER-PROOF
 - FLOOR FINISH AS SCHEDULED
- FAMILY ROOM:
- FIRE PLACE: SUMLINE 9X DIRECT VENT
 - FIREPLACE WITH PAINT-GRADE DECORATIVE MANTEL
 - SLIDING PATIO DOOR: ANDERSEN (SEE SCHEDULE)
- ENTRY PORTICO:
- OPEN ON 3 SIDES
 - COVERED ROOF BEARING ON (2) DECORATIVE COLUMNS
 - COLUMNS SHALL BE: PERMACAST OR EQUAL (STYLE TBD)
 - STAIRS AND PLATFORM SHALL BE A COMBINATION OF MASONRY AND BRICK
 - RAILINGS, BOTH SIDES, SHALL BE DECORATIVE ALUMINUM RAILINGS, BLACK POWDER COATED, MATTE
 - CEILING TO BE BEAD-BOARD (AZEK)

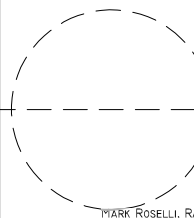
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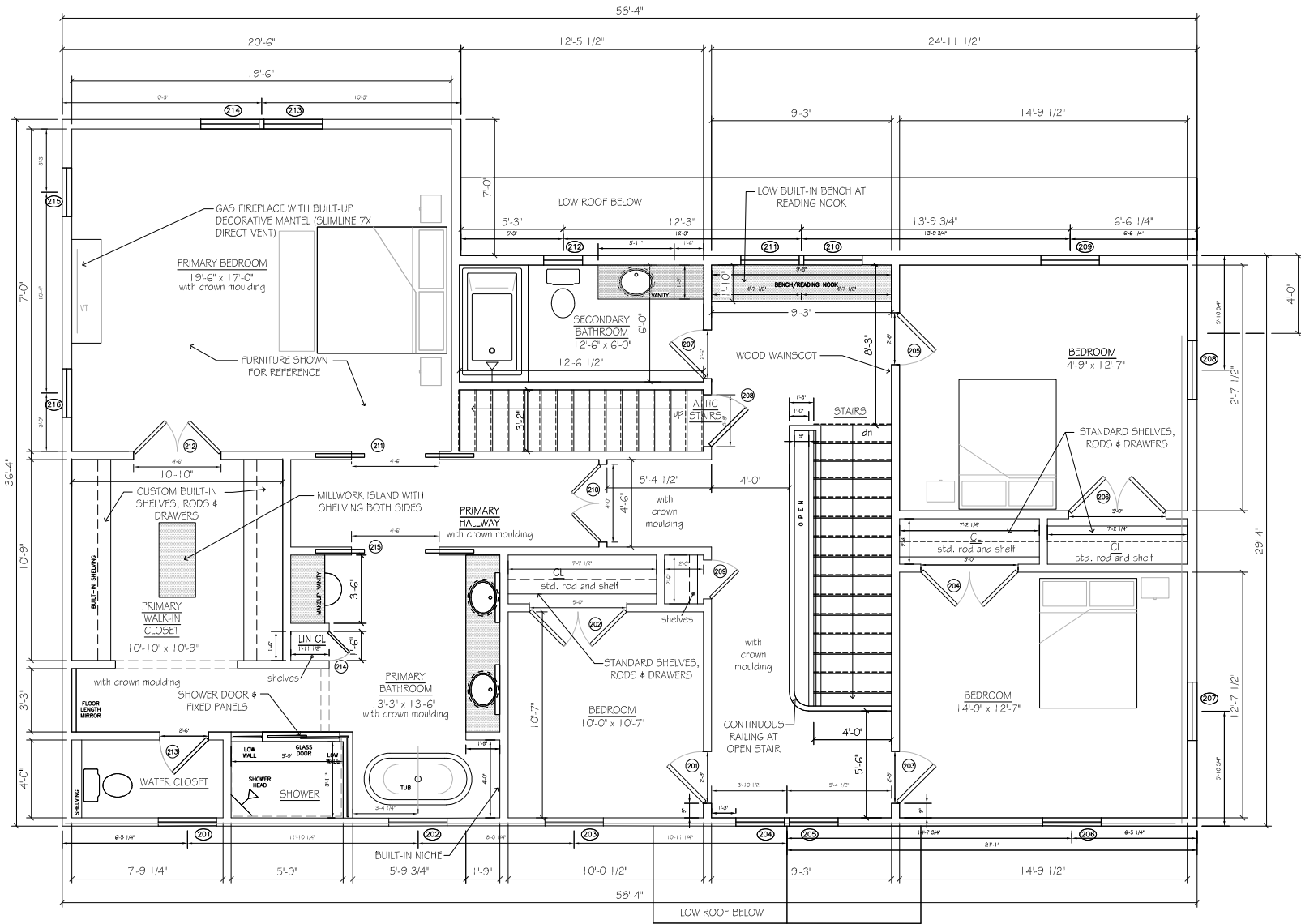
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RENOVATION &
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EXISTING 1-FAMILY
RESIDENCE
A102
CONST PLANS



PROJECT NO: mR24-001



1 CONSTRUCTION PLAN - 2ND FLOOR
A103 SCALE: 1/4" = 1'-0"

- ALL BEDROOM CLOSETS TO RECEIVE:
- GYP. BD. FINISH, PRIMED AND PAINTED
 - WALL BASE, QUARTER ROUND
 - SAME FLOORING AS ADJACENT FLOOR
 - STANDARD RODS AND SHELVING
- PRIMARY CLOSET TO RECEIVE:
- GYP. BD. FINISH, PRIMED AND PAINTED
 - WALL BASE WITH QUARTER ROUND
 - SAME FLOORING AS ADJACENT FLOOR
 - CUSTOM CABINETS RODS AND SHELVING
 - CUSTOM ISLAND AT CENTER WITH COUNTER
- BATHROOMS TO RECEIVE:
- FLOOR TILE
 - WALL BASE
 - FIXTURES PER PLUMBING SCHEDULE
 - VANITY
 - MOLD RESISTANT GYP. BD. AND JOINT COMPOUND
 - MOLD RESISTANT PRIMER AND PAINT
- PRIMARY BATHROOM TO RECEIVE:
- SAME AS ABOVE WITH THE FOLLOWING:
 - LARGE SHOWER WITH FRAMELESS SHOWER DOOR/ENCLOSURE
 - NICHE AT TUB
 - BUILT-IN MAKE-UP VANITY
 - CROWN MOULDING
- PRIMARY BEDROOM:
- FIRE PLACE: SUMILINE 7X DIRECT VENT
 - FIREPLACE WITH PAINT-GRADE DECORATIVE MANTEL
 - TRAY CEILING WITH CROWN MOULDING
- HALLWAY/STAIRS:
- CONTINUATION OF WOOD PANELING (WAINSCOT) AT STAIRS FROM 1ST FLOOR UP TO BEDROOM DOOR FRAME
 - BUILT-IN READING NOOK BENCH
 - DECORATIVE RAILING AND CONTINUOUS BANISTER AT STAIRS

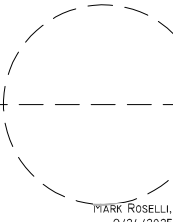
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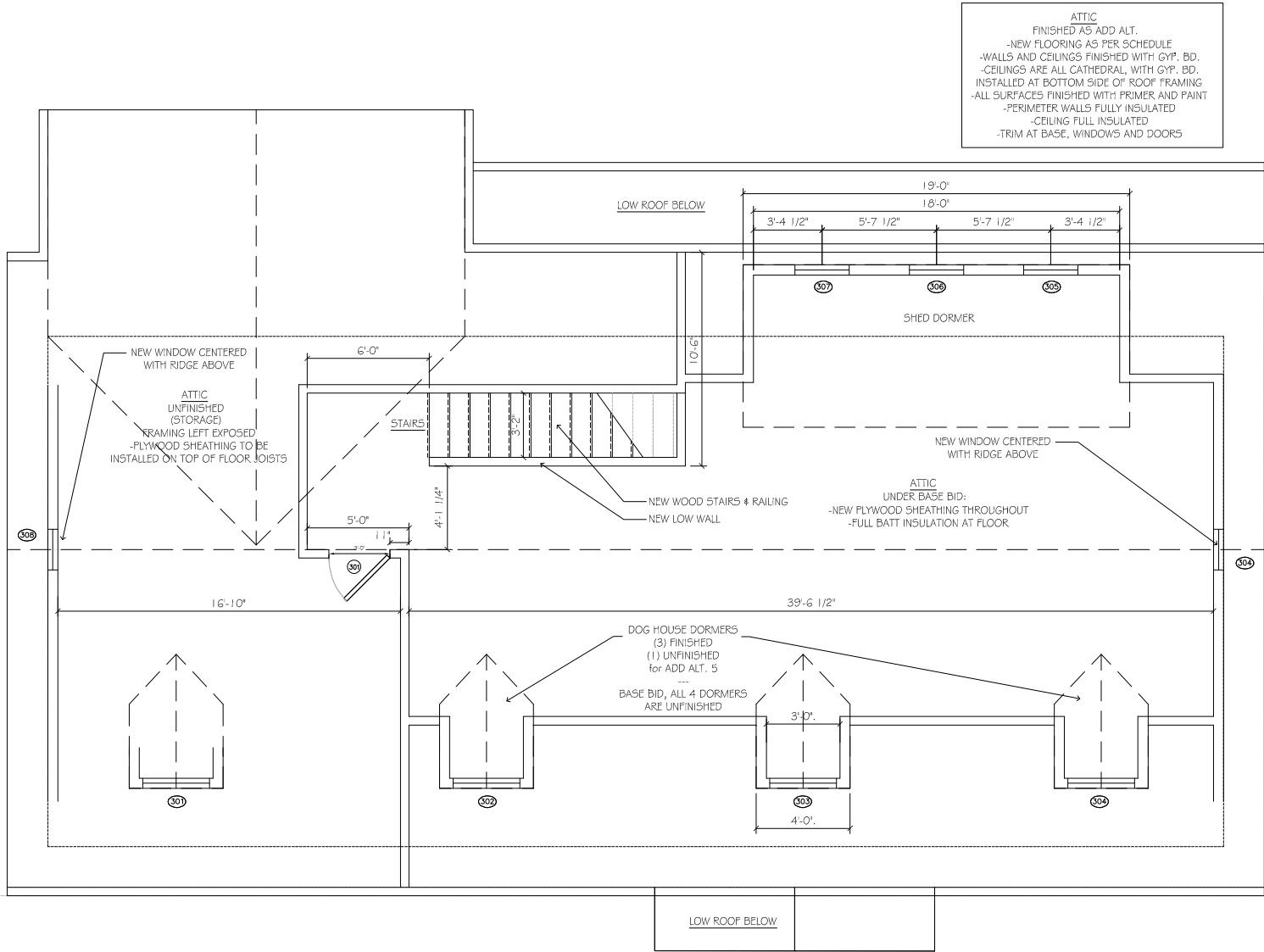


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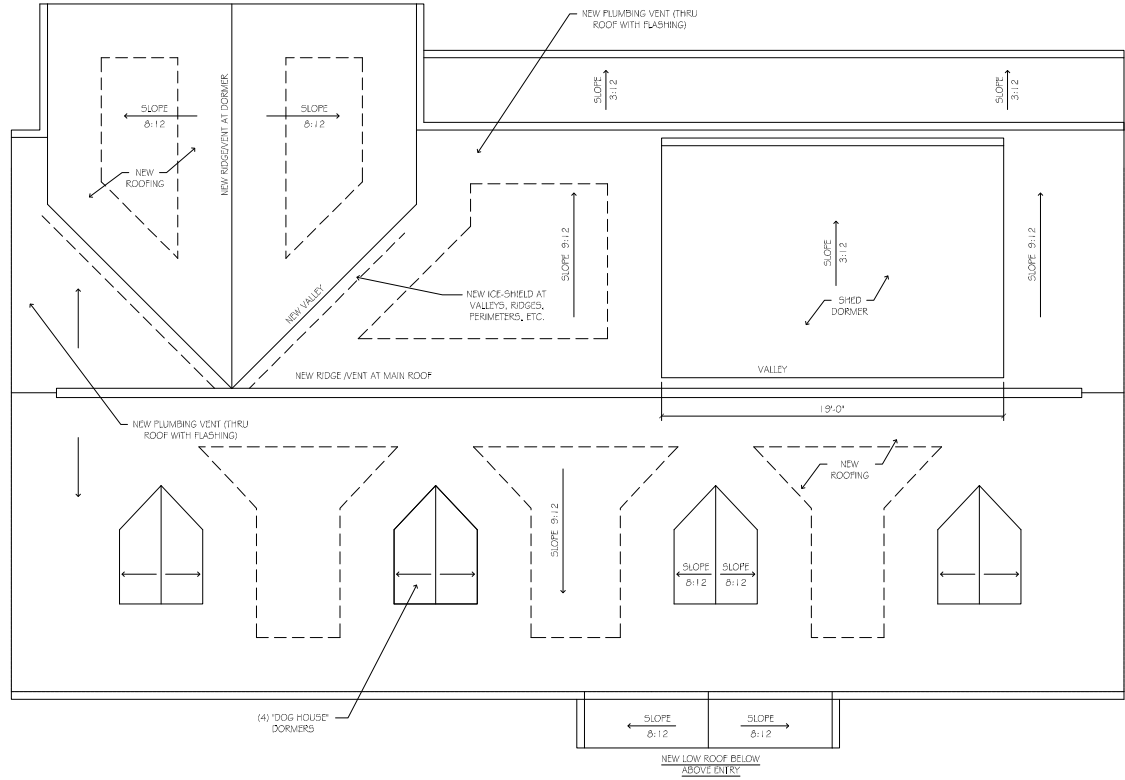
RENOVATION &
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RESIDENCE
A103
CONST PLANS





1 CONSTRUCTION PLAN – ATTIC LEVEL
A104 SCALE: 1/4" = 1'-0"

ATTIC
FINISHED AS ADD ALT.
-NEW FLOORING AS PER SCHEDULE
-WALLS AND CEILINGS FINISHED WITH GYP. BD.
-CEILINGS ARE ALL CATHEDRAL, WITH GYP. BD.
-INSTALLED AT BOTTOM SIDE OF ROOF FRAMING
-ALL SURFACES FINISHED WITH PRIMER AND PAINT
-CEILING FULL INSULATED
-TRIM AT BASE, WINDOWS AND DOORS



2 CONSTRUCTION PLAN – ROOF
A104 SCALE: 3/16" = 1'-0"

- BASE BID SHALL ALSO INCLUDE THE FOLLOWING:
- 1- NEW ROOFING AT ENTIRE HOUSE
 - 2- FLASHING SHALL BE INSTALLED AT WALL AND ROOF INTERSECTIONS, WHEREVER THERE IS A CHANGE IN ROOF SLOPE OR DIRECTION AND AROUND ROOF OPENINGS. SIDEWALL FLASHING SHALL BE CONTINUOUS OR STEPPED (4" MIN. HEIGHT). FLASHING AT VENT PIPES, SOIL STACKS, ETC. PER ASPHALT SHINGLE MANUFACTURER'S INSTRUCTIONS. DROP EDGES REQUIRED AT ALL EAVES AND RAKE EDGES.
 - 3- GAF TIMBERLINE HD (HIGH DEFINITION) SHINGLES AND ROOFING SYSTEM- COLOR TO BE DETERMINED. INCLUDE ALL ACCESSORIES BY GAF TO QUALIFY FOR FULL WARRANTY/COVERAGE
 - 4- GAF'S 'LIFETIME ROOFING SYSTEM' SHALL INCLUDE ROOF DECK PROTECTION, LEAK BARRIER, COBRA ATTIC VENTILATION, RIDGE CAP SHINGLES AND LIFETIME SHINGLES. SHEATHING SHALL BE 5/8" MIN WITH (2) LAYERS OF UNDERLAYMENT FELT.
 - 5- ICESHIELD (ICE BARRIER MEMBRANE) 36' REQUIRED AT ALL PERIMETERS, TRANSITIONS, RIDGES, VALLEYS, ETC.
 - 6- RIDGE VENTS AND VENTS AT EAVES REQUIRED.
 - 7- NEW THRU ROOF PLUMBING VENTS (BLACK) - NOT PVC, WITH FLASHING/COLLAR.
 - 8- INCLUDE ALL NEW ALUMINUM GUTTERS AND LEADERS ON ENTIRE HOUSE. ALL LEADERS SHALL DRAIN INTO NEW UNDERGROUND DRAINAGE SYSTEM. COLOR TO BE DETERMINED.
 - 9- GUTTERS SHALL BE 3"x4". COLOR T.B.D. ALL GUTTERS SHALL INCLUDE CONTINUOUS GUTTER GUARD (TYPICAL).
 - 10- ALL RAINWATER SHALL BE DIRECTED TO GRADE ON SPLASH BLOCKS DRAINING AWAY FROM HOUSE AND ADJACENT NEIGHBORING STRUCTURES. AND WHERE EXISTING UNDERGROUND DRAINAGE SYSTEM EXISTS, RUN NEW LEADERS TO THESE INVERTS.

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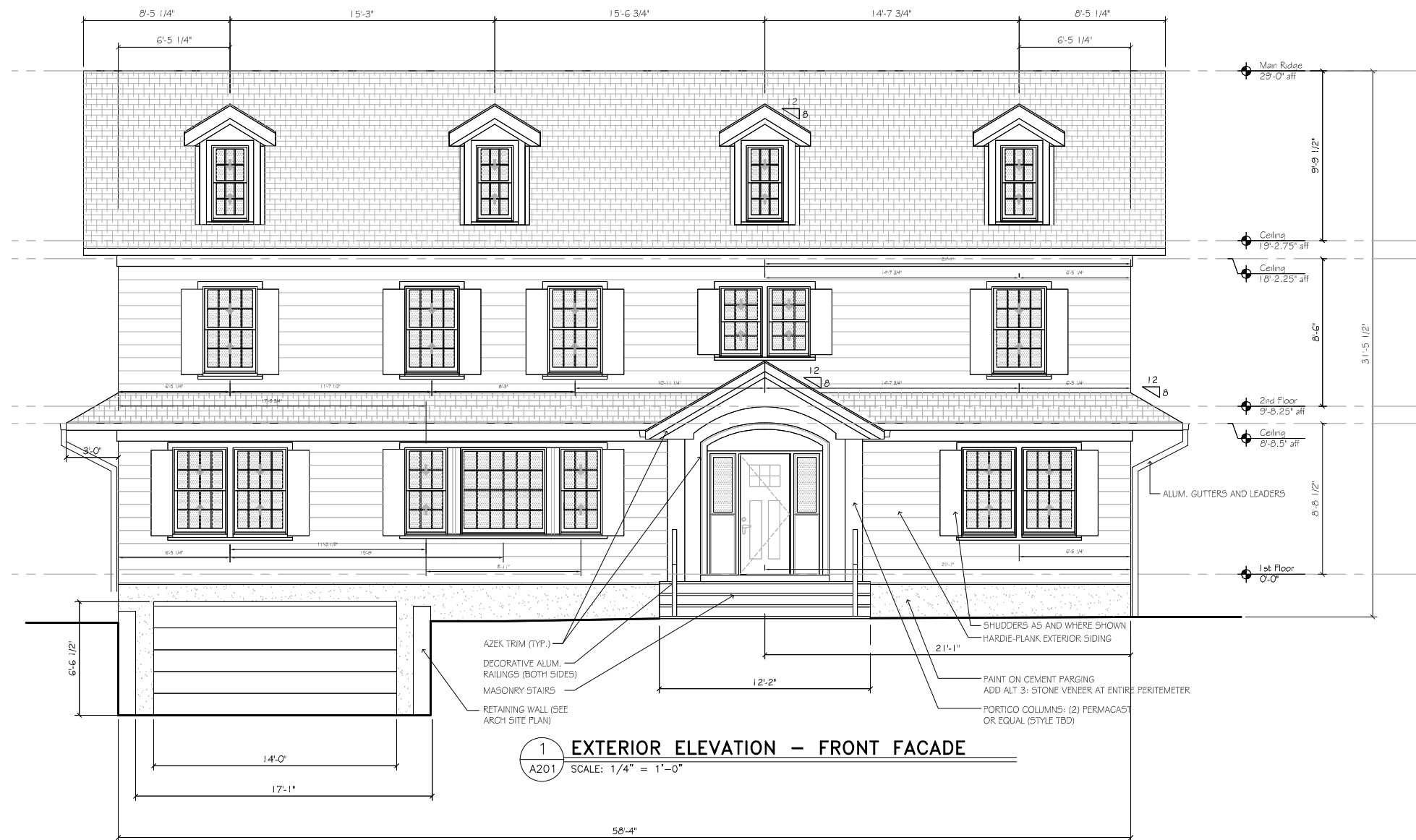
RENOVATION &
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A104
CONST PLANS

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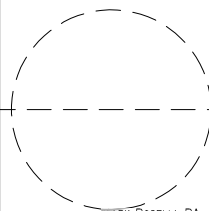


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**RENOVATION &
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RESIDENCE**

A201
EXTERIOR ELEVATIONS



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RENOVATION &
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A202
EXTERIOR ELEVATIONS

