

THOMAS J. EVANS
Director of Revenue and Finance



CODE ENFORCEMENT DEPT.

DAVID BERRY
Construction Official
Zoning Official

TOWNSHIP OF NUTLEY

1 KENNEDY DRIVE
NUTLEY, NEW JERSEY 07110

BUILDING
PLUMBING
ELECTRICAL
FIRE
ZONING

TELEPHONE: (973) 284-4957 · FACSIMILE: (973) 284-0071

October 7, 2025

Rui Silva
55 Highfield Lane
Nutley, NJ 07110

RE: Pool Attached to Dwelling
55 Highfield Lane
Block/Lot: 3802/3

Dear Mr. Silva,

Your request for a construction permit, at the above referenced address, to install a 12' x 20' x 54" above ground pool which will be attached to a deck that is attached to the main dwelling, as shown on the plans proposed by Architect Christopher Juchnik RA dated July 18, 2025, is disapproved for the following reason.

This property is located in an R-1 district as shown on the Nutley Zoning Map.

Chapter 700, Article XI, Section 700-67 D of the Codes of Nutley states an attached accessory structure or accessory use shall be considered to be a part of the main building. ***The property is located in an R-1 zoning district. The rear yard setback for a dwelling is 30'. The attached pool will have an eight (8') rear yard setback.***

A non-refundable filing fee of \$175.00 in connection with your appeal is to be paid to the Code Enforcement Office in order to begin the application process. ***All tax and water bills must be paid to date prior to the processing of a variance fee.***

Information on procedures for an appeal of this decision to the Board of Adjustment can be obtained from Jessica D'Onofrio at jdonofrio@nutleynj.org or (973) 284-4957. It should be noted that under State Statute, notice of appeal of this decision must be filed with this office not later than twenty (20) calendar days from the date of this notice.

Any changes to the proposed plans must be submitted prior to the applications being returned to the Code Enforcement Office. No changes can be made once the application is received by this office.

Sincerely,

DAVID BERRY
Zoning Official

DB/jd



TOWNSHIP OF NUTLEY, NEW JERSEY

ZONING BOARD OF ADJUSTMENT APPLICATION FORM

Docket No: ZBA-25-0040

TO ALL APPLICANTS: This application form is designed to obtain from you information necessary for the processing of your application by the Zoning Board of Adjustment.

Application Fee: \$ 175 (on denial letter)

Date of Denial Letter: 10/7/25

Section I: SUBJECT PROPERTY

Address: 55 Highfield Lane

Block: 3802 Lot: 3 Zone: R-1

	District Requirements	Proposed
Lot Area	_____	_____
Lot Width	_____	_____
Lot Depth	_____	_____
Front Yard	_____	_____
Side Yard	_____	_____
Rear Yard	_____	_____
Other	_____	_____

Section II: APPLICANT INFORMATION

Name: Rui SILVA

Address: 55 Highfield Lane

Telephone: 917-992-2293 or 973-652-6810

Email Address: MANUELA08019@GMAIL.COM

Applicant is a:

Corporation Partnership LLC Individual

If the owner is not the applicant, the following must be provided:

Owner Name: _____

Address: _____

Telephone: _____

Email Address: _____

Section III: DISCLOSURE STATEMENT

Pursuant to N.J.S. 40:55D-48.1 the names and address of all persons owning 10% of the stock in a corporation or a 10% interest in any partnership must disclosed by the applicant. In accordance with N.J.S. 40:55D-48.2, that disclosure requirement applies to any corporation or partnership which owns more than 10% interest.

Name: _____

Address: _____

Interest: _____

Name: _____

Address: _____

Interest: _____

Name: _____

Address: _____

Interest: _____

Section IV: PROPERTY INFORMATION

	Existing	Proposed
Total existing and total proposed dwelling units	_____ _____	_____ _____
Total existing and total proposed professional offices	_____	_____
Total existing and total proposed parking spaces	_____	_____

Present use of premises: One Family Dwelling

Has there been any previous appeal, request, or application to this or any other Township of Nutley Board or the Construction Code Official involving these premises? yes

If yes, state the nature, date and the disposition of each such matter: A variance was granted on 9/25/06 to erect a six (6') foot solid type fence in the side yard.

Section V: PROFESSIONAL INFORMATION

Applicant's Attorney

Name: _____

Address: _____

Telephone: _____ Fax: _____

Email Address: _____

Applicant's Architect

Name: _____

Address: _____

Telephone: _____ Fax: _____

Email Address: _____

Applicant's Engineer

Name: _____

Address: _____

Telephone: _____ Fax: _____

Email Address: _____

Applicant's Planning Consultant

Name: _____

Address: _____

Telephone: _____ Fax: _____

Email Address: _____

***List any other expert who will submit a report or who will testify for the applicant.
(Attach additional sheets, if necessary)***

Name: _____

Address: _____

Telephone: _____ Fax: _____

Email Address: _____ Field of Expertise: _____

Section VI: GENERAL INFORMATION

In the space below, state the nature of the constraints imposed by the physical characteristics of the land under consideration (i.e. exceptional narrowness, shallowness 01' topographic conditions).

X DISTANCE FROM DECK AND POOL TO MY FENCE LINE
WANT TO INSTALL A 12x20x54 ABOVE GROUND POOL WHICH
WILL BE ATTACHED TO THE NEW DECK, THAT IS ATTACHED
TO THE MAIN DWELLING.

In the space below, state any other extraordinary or exceptional situation or condition of the land involved which would constrain development in accordance with Zoning Regulations

X THE ONLY EXCEPTIONAL SITUATION IS THE DISTANCE FROM THE
HOUSE, DECK, POOL TO THE FENCE LINE OF MY
BACKYARD.

Explain how not granting this variance request would impose peculiar and exceptional practical difficulties or exceptional or undue hardship upon you.

X My Family and I would like to have a Deck & Pool in our Backyard. We have 2 daughters and spend a lot of time at home, enjoying our house & backyard. We have lived in Nutley for over 20 years and want to stay in Nutley.

Explain how the granting of this variance will not detrimentally affect the public good or substantially impair the intent and purpose of the Zone Plan and Zoning Ordinance.

X Because we have a architect & good contractor, all construction will be done according to the zone plans and zoning ordinance that will not affect any of my neighbors or public good.

CERTIFICATION

STATE OF NEW JERSEY }

COUNTY OF ESSEX }

ss.

X Rui SILVA, being duly sworn, hereby certify (*check one*)

➤ that I am the applicant

or

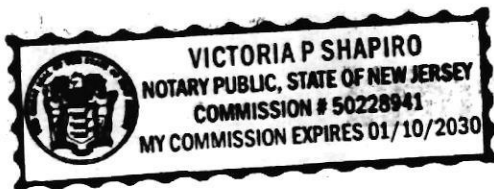
➤ _____ that I am the _____ of _____,
(Title) (Company name)
the Applicant, and that I am duly empowered and authorized to make this representation
on behalf of _____;
(Company Name)

and that the information presented in this application is true, complete and accurate.

[Signature]
Applicant/Applicant's Authorized
Officer or Representative

Subscribed and sworn to before me
this 19th day of March, 2026

X Victoria Shapiro
Signature of person authorized to take oaths





Nutley Parcel Offset List

Target Parcel(s): Block-Lot: 3802-3
SILVA, RUI MIGUEL AND MARIA M
55 HIGHFIELD LANE

37 parcels fall within 200 feet of this parcel(s).

Block-Lot: 3802-2

DE SIMONE, FRANK & YOLANDA
59 HIGHFIELD LN
NUTLEY, NJ 07110
RE: 59 HIGHFIELD LANE

Block-Lot: 3902-10

OJEDA, OSCAR J & SAGASTUME, LILIAN
67 HIGHFIELD LANE
NUTLEY, NJ 07110
RE: 67 HIGHFIELD LANE

Block-Lot: 3902-11

SILJANOSKI, MICHAEL & AMY
63 HIGHFIELD LN
NUTLEY, NJ 07110
RE: 63 HIGHFIELD LANE

Block-Lot: 3602-8

SOLARI, DANIEL & CASELLA, GENNA
15 WHITE TER
NUTLEY, NJ 07110
RE: 15 WHITE TERRACE

Block-Lot: 3602-9

DE LUCA, SCOTT
13 WHITE TER
NUTLEY, NJ 07110
RE: 13 WHITE TERRACE

Block-Lot: 3602-21

MCINTYRE, KATHLEEN
60 HIGHFIELD LANE
NUTLEY, NJ 07110
RE: 60 HIGHFIELD LANE

Block-Lot: 3902-13

MARINARO, ANGELA
74 NUTLEY AVE
NUTLEY, NJ 07110
RE: 74 NUTLEY AVENUE

Block-Lot: 3802-7

REINER, ROBERT A. & MARY
39 HIGHFIELD LN
NUTLEY, NJ 07110
RE: 39 HIGHFIELD LANE

Block-Lot: 3902-12

PEZZOLLA, JOSEPH & MAURA
70 NUTLEY AVE
NUTLEY, NJ 07110
RE: 70 NUTLEY AVENUE

Block-Lot: 3802-8

SOMMA-DEJULIA, ANNE + SOMMA-BAUER, SHAW
35 HIGHFIELD LANE
NUTLEY, NJ 07110
RE: 35 HIGHFIELD LANE

Block-Lot: 3602-13

MARINELLI, SAVERIO & TRACEY
5 WHITE TER
NUTLEY, NJ 07110
RE: 5 WHITE TERRACE

Block-Lot: 3602-24

SILVA, MICHAEL MATOS
72 HIGHFIELD LN
NUTLEY, NJ 07110
RE: 72 HIGHFIELD LANE

Block-Lot: 3602-14
VSL REALTY LLC
70 RIVER RD #D5
CLIFTON, NJ 07014
RE: 3 WHITE TERRACE

Block-Lot: 3602-23
FASONE, PHYLLIS & FASONE, CELESTE
68 HIGHFIELD LN
NUTLEY, NJ 07110
RE: 68 HIGHFIELD LANE

Block-Lot: 3602-22
ORTEGA, CORALY RAMOS & WILLIAM
64 HIGHFIELD LN
NUTLEY, NJ 07110
RE: 64 HIGHFIELD LANE

Block-Lot: 3802-4
CASAS, JENIFER
51 HIGHFIELD LN
NUTLEY, NJ 07110
RE: 51 HIGHFIELD LANE

Block-Lot: 3902-15
LAFOON, ANTOINETTE M. & JEFFREY
82 NUTLEY AVE
NUTLEY, NJ 07110
RE: 82 NUTLEY AVENUE

Block-Lot: 3802-5
TANG, AARON & THANT, CLAIRE
47 HIGHFIELD LN
NUTLEY, NJ 07110
RE: 47 HIGHFIELD LANE

Block-Lot: 3902-14
MATARAZZO, LISA & CARNERO, ROBERTO
78 NUTLEY AVE
NUTLEY, NJ 07110
RE: 78 NUTLEY AVENUE

Block-Lot: 3802-6
BRUNO, PAUL S. & SUZANNE C.
43 HIGHFIELD LN
NUTLEY, NJ 07110
RE: 43 HIGHFIELD LANE

Block-Lot: 3602-20
STRAZHNIK, M. & DRANNIKOV, DMITRY
56 HIGHFIELD LANE
NUTLEY, NJ 07110
RE: 56 HIGHFIELD LANE

Block-Lot: 3602-19
ROBSON, BRENT & MICHELLE
52 HIGHFIELD LN
NUTLEY, NJ 07110
RE: 52 HIGHFIELD LANE

Block-Lot: 3602-18
MIKULSKI-GOMEZ, THOMAS G & MARISSA
48 HIGHFIELD LN
NUTLEY, NJ 07110
RE: 48 HIGHFIELD LANE

Block-Lot: 3602-17
PUZIO, MICHELLE & ERIC
44 HIGHFIELD LN
NUTLEY, NJ 07110
RE: 44 HIGHFIELD LANE

Block-Lot: 3602-16
MANNINO, ROSS R. & DOLORES J.
40 HIGHFIELD LN
NUTLEY, NJ 07110
RE: 40 HIGHFIELD LANE

Block-Lot: 3902-8
ARNOLD, ALFRED & MARY ANN
75 HIGHFIELD LN
NUTLEY, NJ 07110
RE: 75 HIGHFIELD LANE

Block-Lot: 3902-9
HOLZHERR, PAUL
71 HIGHFIELD LN
NUTLEY, NJ 07110
RE: 71 HIGHFIELD LANE

Block-Lot: 3802-1
SADULLAEV, DILSHOD & SALIMOVA, N
66 NUTLEY AVENUE
NUTLEY, NJ 07110
RE: 66 NUTLEY AVENUE

Block-Lot: 3802-31
CONTE, ROBERT A. & SHARON J.
62 NUTLEY AVE
NUTLEY, NJ 07110
RE: 62 NUTLEY AVENUE

Block-Lot: 3802-30
YOUSSEF, DAVID & JULIA
58 NUTLEY AVE
NUTLEY, NJ 07110
RE: 58 NUTLEY AVENUE

Block-Lot: 3802-29
AHMED, FAKHRUL & BEGUM, MUNNI
54 NUTLEY AVE
NUTLEY, NJ 07110
RE: 54 NUTLEY AVENUE

Block-Lot: 3802-28
MERINO, RONALD
50 NUTLEY AVE
NUTLEY, NJ 07110
RE: 50 NUTLEY AVENUE

Block-Lot: 3802-27
TRIPODI, NICHOLAS & DANA
46 NUTLEY AVE
NUTLEY, NJ 07110
RE: 46 NUTLEY AVENUE

Block-Lot: 3802-26
OATES, THOMAS
42 NUTLEY AVE
NUTLEY, NJ 07110
RE: 42 NUTLEY AVENUE

Block-Lot: 3602-10
MIENKIEWICZ, MICHELE A
11 WHITE TER
NUTLEY, NJ 07110
RE: 11 WHITE TERRACE

Block-Lot: 3602-11
ERICKSON, SCOTT & KIM, JAESON
9 WHITE TER
NUTLEY, NJ 07110
RE: 9 WHITE TERRACE

Block-Lot: 3602-12
DEMETROULAKOS, JOHN J. & ROBERTA J.
7 WHITE TER
NUTLEY, NJ 07110
RE: 7 WHITE TERRACE

UTILITIES

(A)

AT & T
Corporate Office
P.O. Box 7207
Bedminster, NJ 07921-7207

(B)

NJ Dept. of Transportation
1035 Parkway Avenue
CN-600
Trenton, NJ 08625

(C)

Essex County Planning Board
Public Works Building
900 Bloomfield Avenue
Verona, NJ 07044

(D)

PSE&G Company
Manager-Corporate Properties
80 Park Plaza, T6B
Newark, NJ 07102

(E)

North Jersey District Water Supply Co.
1 F.A. Orechio Drive
Wanaque, NJ 07465

(F)

Passaic Valley Water Co.
1525 Main Avenue
Clifton, NJ 07011

(G)

Verizon
540 Broad Street, Room 305
Newark, NJ 07101

(H)

TCI of Northern New Jersey
40 Potash Road
Oakland, NJ 07436
Attn: Dan Gannon

(I)

Essex County Utilities Authority
Leroy R. Smith Jr. Public Safety Building
60 Nelson Place – 6th Floor
Newark, NJ 07102

(J)

Norfolk Southern Railway
125 County Road
Jersey City, NJ 07307

GENERAL NOTES:

ALL WORK SHALL COMPLY WITH THE CURRENT:
 -REHAB SUBCODE - NAC 523-6
 -STATE OF NEW JERSEY UNIFORM CONSTRUCTION CODE
 -INTERNATIONAL BUILDING CODE (IBC) 2021
 -THE INTERNATIONAL RESIDENTIAL CODE (IRC) 2021 NEW JERSEY EDITION
 -NATIONAL ELECTRICAL CODE (NEC) 2020
 -THE NATIONAL STANDARD PLUMBING CODE (NSPC) 2021
 -MECHANICAL CODE (MCC) 2021
 -FUEL GAS CODE 2021
 -LOCAL FIRE CODES AND FIRE PROTECTION SUBCODE - LATEST EDITION
 -ENERGY SUBCODE IBC 2021
 -BAR-BR FREE JOISTS AND ALL GOVERNMENT AGENCIES HAVING JURISDICTION
 ALL CITY CODES, ORDINANCES AND ALL GOVERNMENT AGENCIES HAVING JURISDICTION
 CONTRACTORS AND SUBCONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH ALL THE ACCIDENT PREVENTION
 REQUIREMENTS OF THE ABOVE DOCUMENTS AND THE CONSTRUCTION SAFETY CODE OF THE STATE OF NEW JERSEY
 ALL CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY ALL CONDITIONS, DIMENSIONS, ETC. AT
 THE SITE AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO CONSTRUCTION.
 COMMENCEMENT OF WORK IMPLIES THE ACCEPTANCE OF ALL CONDITIONS. CONTRACTOR SHALL ALSO
 COORDINATE HIS WORK WITH WORK OF ALL TRADES.

THE OWNER SHALL OBTAIN AND PAY FOR MAIN BUILDING PERMIT. IF REQUIRED, CONTRACTOR SHALL OBTAIN
 AND PAY FOR ALL OTHER PERMITS REQUIRED TO PROPERLY COMPLETE THIS WORK.

CONTRACTOR SHALL ADD A SUFFICIENT SUM IN HIS BIDDING TO COVER THE COST OF ADDITIONAL TRIM,
 MOLDINGS, BLOCKING, ETC. THAT MAY BE REQUIRED TO PROPERLY EXECUTE THIS WORK.

ARCHITECT IS NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES,
 PROCEDURES OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THIS PROJECT.

ALL WORK ON THE PROJECT SHALL BE PERFORMED IN THE BEST WORKMANLIKE MANNER.

CONTRACTORS AGREE TO INDEMNIFY AND HOLD HARMLESS THE OWNER AND ARCHITECT, AND THEIR
 AGENTS AND EMPLOYEES, FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING
 REASONABLE ATTORNEY'S FEES IN CASE IT SHALL BE NECESSARY TO FILE AN ACTION, ARISING OUT OF
 PERFORMANCE OF THE WORK HEREON, THAT ARE (1) BODILY INJURY, ILLNESS OR DEATH, OR FOR PROPERTY
 DAMAGE, INCLUDING LOSS OF USE, AND (2) CAUSED IN WHOLE OR IN PART BY THE CONTRACTOR'S NEGLIGENCE
 ACT OF OMISSION, OR THAT OF A SUBCONTRACTOR, OR THAT OF ANYONE EMPLOYED BY THEM OR FOR WHOM
 THE CONTRACTOR OR SUBCONTRACTOR MAY BE LIABLE.

DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON. ANY DIMENSIONAL DISCREPANCIES FOUND SHALL BE
 REPORTED TO THE ARCHITECT BEFORE WORK IS TO CONTINUE.

ALL CONTRACTORS AND SUBCONTRACTORS ARE RESPONSIBLE FOR ADHERING TO THE REQUIREMENTS AND
 SPELLED OUT IN THESE NOTES. ALL PARTIES MUST CAREFULLY STUDY ALL NOTES FOR ITEMS WHICH MAY
 PERTAIN TO THEIR TRADES. FAILURE TO READ THESE NOTES DOES NOT PERMIT THE CONTRACTOR TO DEVIATE
 FROM THEIR REQUIREMENTS.

CONTRACTORS SHALL VERIFY ALL CONDITIONS AND CHECK ALL MEASUREMENTS ON JOB AND SHALL BE
 RESPONSIBLE FOR SAME.

REMOVE, REPLACE OR RELOCATE ALL EXISTING PIPING, CONDUIT, WIRING, ETC. REQUIRED FOR THE
 COMPLETION OF NEW WORK.

ALL STRUCTURE SHALL BE ADEQUATELY BRACED UNTIL THE ENTIRE STRUCTURAL FRAME HAS BEEN
 INSTALLED AND IS STRUCTURALLY SOUND.

PATCH, REPAIR, OR REPLACE ALL WORK DAMAGED BY NEW CONSTRUCTION.

ALL CONTRACTORS AND SUBCONTRACTORS ON THIS PROJECT SHALL BE RESPONSIBLE FOR THE PROPER
 PERFORMANCE OF THEIR WORK, COORDINATION WITH OTHER TRADES, METHODS, SAFETY AND SECURITY ON THE
 JOB SITE.

ALL FINISHES, FUTURES AND EQUIPMENT SHALL BE AS CHOSEN BY THE OWNER, WHERE NOT INDICATED ON
 DRAWINGS.

CONTRACTORS SHALL REMOVE ALL WORK NO LONGER REQUIRED OR MADE NECESSARY TO BE REMOVED IN
 ORDER TO PROPERLY CARRY OUT THIS ALTERATION. ALL WORK REMOVED (UNLESS OTHERWISE DIRECTED BY
 OWNER) SHALL BE TAKEN FROM THE PREMISES WITHOUT DELAY.

CONTRACTORS SHALL PROVIDE ALL THE MATERIALS AND PERFORM ALL THE WORK MENTIONED IN THESE
 SPECIFICATIONS OR SHOWN UPON THE SAID DRAWINGS, AND SHALL PROVIDE ALL SCAFFOLDING, PLANT, TOOLS,
 AND APPLIANCES NECESSARY FOR THE PERFORMANCE OF SAID WORK. THE CONTRACTOR SHALL ALSO SUPPLY
 DULY QUALIFIED AND EXPERIENCED ARTISANS, WORKMEN, AND FOREMAN TO CARRY OUT THE WORK.

THE OWNER WILL NOT BE RESPONSIBLE FOR ANY LOSS OR DAMAGE TO THE WORK OR ANY PROPERTY OF THE
 CONTRACTOR. CONTRACTORS SHALL OWE ALL NECESSARY NOTICES TO AND OBTAIN THE NECESSARY
 PERMITS, EXCEPT BUILDING PERMITS, AND SANCTION OF THE PROPER AUTHORITIES IN RESPECT OF THE SAID
 WORK, AND GENERALLY COMPLY WITH THE BUILDING AND OTHER REGULATIONS OF SUCH AUTHORITIES, AND
 SHALL KEEP THE OWNER INDEMNIFIED AGAINST ALL FINES, PENALTIES, AND LOSS INCURRED BY REASON OF ANY
 BREACH OF THIS STIPULATION.

CONTRACTORS WILL PROTECT THE WORK, MATERIALS, PROPERTY AND ADJACENT PROPERTY FROM DAMAGE
 OR LOSS. THE CONTRACTOR WILL ALSO TAKE PROPER PRECAUTIONS FOR THE SAFETY OF THE PUBLIC. THE
 PROPERTY WILL BE KEPT FREE OF WASTE, RUBBISH AND SURPLUS MATERIALS. THE CONTRACTOR WILL LEAVE
 THE PROPERTY "BROOM CLEAN" BEFORE BEING ENTITLED TO THE FINAL PAYMENT UNDER THIS CONTRACT. THE
 CONTRACTOR WILL ALSO PAY FOR, REPAIR OR REPLACE ANY DAMAGE OR LOSS CAUSED BY THE CONTRACTOR'S
 FAILURE TO PERFORM THIS CONTRACT.

CONTRACTORS AGREE TO ASSUME FULL RESPONSIBILITY FOR ACTS, NEGLIGENCE, OR OMISSIONS OF ALL
 HIS EMPLOYEES ON THE PROJECT, FOR THOSE OF HIS SUBCONTRACTORS AND THEIR EMPLOYEES, AND FOR
 THOSE OF ALL OTHER PERSONS DOING WORK UNDER A CONTRACT WITH HIM. THE CONTRACTOR AND ALL
 SUBCONTRACTORS WILL HAVE WORKERS COMPENSATION INSURANCE.

CONTRACTORS REPRESENT AND WARRANT TO THE OWNER THAT ALL EQUIPMENT AND MATERIALS USED IN
 THE WORK, AND MADE A PART OF THE STRUCTURES THEREON, OR PLACED PERMANENTLY IN CONNECTION
 THEREWITH, WILL BE NEW UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS, OF GOOD QUALITY,
 FREE OF DEFECTS, AND IN CONFORMITY WITH THE CONTRACT DOCUMENTS. IF IT IS UNDERSTOOD BETWEEN THE
 PARTIES HERETO THAT ALL EQUIPMENT AND MATERIALS NOT SO IN CONFORMITY ARE DEFECTIVE.

IF, THROUGH ACTS OF NEGLIGENT OR THE PART OF A CONTRACTOR, ANY OTHER CONTRACTOR OR ANY
 SUBCONTRACTOR SUFFERS DAMAGE ON THE WORK, THE CONTRACTOR AGREES TO SETTLE WITH SUCH OTHER
 CONTRACTOR OR SUBCONTRACTOR BY AGREEMENT OR ARBITRATION, IF HE WILL DO SETTLE. IF SUCH OTHER
 CONTRACTOR OR SUBCONTRACTOR ASSERTS ANY CLAIM AGAINST THE OWNER ON ACCOUNT OF ANY DAMAGE
 ALLEGED TO HAVE BEEN SO SUSTAINED, THE OWNER SHALL NOTIFY THE CONTRACTOR IN WRITING, AND THE
 CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AGAINST ANY SUCH CLAIM.

FOUNDATIONS

FOOTINGS SHALL BE A MINIMUM OF 3'-0" BELOW FINISHED GRADE AND ON UNDISTURBED SOIL AND/OR SUPERPAVED
 COMPLETED P.A., FREE OF FROST, HAVING A MINIMUM KILOBARIC BEARING CAPACITY OF 1-1/2 TONS PER
 SQUARE FOOT.
 SOIL UNDER FOOTINGS SHALL BE PROTECTED FROM FREEZING.
 DIMENSIONS OF LEVEL OF FOOTINGS MUST BE WITHIN 1/4" OF REFUSE OF THE SOIL (ONE
 VERTICAL TO TWO HORIZONTAL).
 FRONT 6 INCHES PORTIONS SHALL LIE ON ALL CONCRETE SLABS OR EARTH.
 CONTRACTOR SHALL ADEQUATELY PROTECT WALLS, PILES, ETC. FROM DAMAGE DUE TO BACKFILLING.
 BACKFILLING PROCEDURES, IF REQUIRED, SHALL NOT DISTURB THE SOIL STRUCTURE.

ALL TIE SHALL BE CONSTRUCTED WITHIN 6" OF THE SURFACE OF THE SOIL.
 TEST OF AN ACCORDANCE WITH ASTM D1557.

CONTRACTOR MUST PREVENT THE FOUNDATIONS FROM BEING PUT IN CONTACT BY THE EXCAVATIONS FOR
 UTILITIES, ETC.

DATA MUST BE CLEAR. ALL DRAINAGE SPRAWL SHALL BE BACKFILLED WITHIN 10' OF THE POINTS OF
 6 INCHES MINIMUM THICKNESS AND BE UNIFORM. COVERS SHALL BE AT LEAST 4" PER FEET OF MAXIMUM 14"
 DEPTH, AS DETERMINED BY THE ASTM D-1557 TEST. MINIMUM COVER ON A 4 INCH WATER JETTER IS SPECIFIED
 ELSEWHERE. THE TOTAL UNIT WEIGHT OF THE SOIL AT ALL DRAINAGE STRUCTURE COVERS, AS DETERMINED
 BY THE D-1557 TEST, SHALL NOT BE GREATER THAN 120 PCF.

FOUNDATION DRAINAGES: INSTALL A PERFORATED DRAIN PIPE AT THE PERIPHERY OF THE FOUNDATION
 FRONT 4" DRAIN TILE OR PIPE AS REQUIRED BY CODE. THE DRAIN PIPE SHALL BE INSTALLED ON A STONE BASE
 12" WIDE. INSTALL 4" STONE OR TYPICAL DRAIN TILE, BE 40% TO THE CURB, A DUMP OR DRY WELL.

COMPLY WITH PROVISIONS OF ALL CITY SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS, 2014.

CONCRETE:

"BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE," AND CRSI "MANUAL OF STANDARD PRACTICE,"
 EXCEPT WHERE MORE STRINGENT REQUIREMENTS ARE INDICATED.

FURNISH FORM MATERIALS WITH SUFFICIENT STABILITY TO WITHSTAND PRESSURE OF PLACED CONCRETE
 WITHOUT BOW OR DEFLECTION.

DEFORMED REINFORCING BARS: ASTM A 615, GRADE 60, UNLESS OTHERWISE INDICATED.

WELDED WIRE FABRIC: ASTM A 185.

AIR-ENTRAPPING ADMIXTURE: ASTM C 260 FOR EXTERIOR EXPOSED CONCRETE, (SIDEWALKS)

PROVIDE NORMAL HEIGHT CONCRETE WITH THE FOLLOWING PROPERTIES:

- 3500-PSI, 28-DAY COMPRESSIVE STRENGTH; WATER-CEMENT RATIO, 0.51 MAXIMUM (NON-AIR-ENTRAINED),
 0.40 MAXIMUM (AIR-ENTRAINED).

SLUMP LIMITS: NOT MORE THAN 3 INCHES.

JOB-SITE MIXING: USE DRUM-TYPE BATCH MACHINE MIXER, MIXING NOT LESS THAN 1-1/2 MINUTES FOR 1 CU.
 YD. OF SMALLER CAPACITY. INCREASE MIXING TIME AT LEAST 15 SECONDS FOR EACH ADDITIONAL CU. YD.

IF NOT EXPOSED TO WEATHER OR IN CONTACT WITH EARTH:

- SLABS, WALLS, JOISTS
- BEAMS, COLUMNS, GYPSUM WALLBOARD, TILES, SHEATHING OR
 SPRINGS

BOTTOM OF FOOTING SHALL BE A MINIMUM OF 3'-0" BELOW FINISHED GRADE. BEARING ON UNDISTURBED SOIL.
 FOOTING DESIGN IS BASED ON ASSUMED SOIL BEARING CAPACITY OF 1-1/2 TONS PER SQ. FT., WHICH SHALL BE
 VERIFIED AT THE SITE. NO FOOTING SHALL BE PLACED ON FROZEN SOIL.
 IN COLD WEATHER COMPLY WITH ACT 308.

IN HOT WEATHER COMPLY WITH ACT 305.

ALL EMBEDMENTS, INCLUDING ANCHOR BOLTS, SHALL BE IN PLACE PRIOR TO POURING CONCRETE.

MASONRY

THE FIRST COURSE OF CONCRETE BLOCK ON FOOTING SHALL BE FILLED SOLID WITH CONCRETE.

ALL BEARING WALLS OF HOLLOW MASONRY UNITS SHALL BE ASTM C 93, GRADE N, TYPE II

BLOCK SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH ON THE GROSS AREA OF 1,500 PSI.
 WHERE BLOCK SHALL DECREASE IN THICKNESS, THE TOP COURSE OF THICK WALL SHALL BE SOLID MASONRY
 OR CONCRETE-FILLED BLOCK.

METAL TIES FOR THICK VENEER SHALL BE 22 GA. GALV. CORRUGATED STEEL, MIN. 7/8" WIDE
 AS PER INC. STANDARD EDITION SECTION P-7.02. TIES SHALL BE SPACED 24" O.C. VERT. AND
 24" O.C. HORIZ. AND WELDED TO WOOD STUDS. BRICK VENEER SHALL BE INSTALLED OVER WOOD OR METAL STUDS
 SHALL BE LIMITED TO THE FIRST STORY ABOVE FINISHED GRADE AND SHALL NOT EXCEED 5" IN THICKNESS.

CONCRETE MASONRY UNITS: ASTM C 90.

FACE BRICK: ASTM C 216.

BEARING: BEAM, GIRDER AND OTHER CONCENTRATED LOADS SHALL BE PROVIDED WITH A BEARING OF SOLID
 MASONRY OR TOP 2 COURSES OF HOLLOW UNIT MASONRY FILLED SOLID WITH CONCRETE AND WITH A BEARING
 PLATE OF ADEQUATE DESIGN AND DIMENSIONS TO DISTRIBUTE THE LOAD SAFELY ON THE WALL OR PIER.

BRICK, BLOCK AND STONE MASONRY SHALL BE PROTECTED FROM FREEZING FOR NOT LESS THAN 48 HOURS
 AFTER INSTALLATION.

EXTEND FIREPLACE HEARTH'S MIN. 20" OUT FROM FRONT FACE OF FIREPLACE AND MIN. 12" BEYOND OPENING ON
 EACH SIDE. SUPPORTED CONCRETE ARCH NOT LESS THAN 4" THICK. SUPPORT

WOOD OR FIRECLAY OPENING WITH A NON-COMBUSTIBLE LINTEL. PROVIDE CAST IRON CLEANOUT DOOR
 FOR ASH PIT. MAX. 24" O.C. HORIZ. AND VERTICAL. PROVIDE 1/2" THICK BRICK WITH MEDIUM DUTY FIRE CLAY MORTAR AS REQUIRED BY IBC SECTION 211.

MORTARS: IN CONTACT WITH EARTH - TYPE M OR S.
 MASONRY ABOVE GRADE - TYPE M, S, OR N.

ANCHOR BOLTS IN CONCRETE: MINIMUM OF TWO ANCHOR BOLTS PER SECTION OF PLATE AND PLACED 12"
 FROM END OF EACH SECTION OF PLATE, 6"-8" ON CENTER, MINIMUM 1/2" DIAMETER NOT LESS THAN 15" GROUTED
 INTO MASONRY.

ADJUSTABLE MASONRY-VENEER ANCHORS: PROVIDE 2-PIECE ASSEMBLIES FOR ATTACHMENT OVER SHEATHING
 TO METAL STUDS, ALLOWING VERTICAL OR HORIZONTAL DIFFERENTIAL MOVEMENT BETWEEN WALL AND WALL
 FRAMING PARALLEL TO PLANE OF WALL AND CAPABLE OF WITHSTANDING A 100-LBF LOAD IN EITHER TENSION OR
 COMPRESSION WITHOUT PERFORMING CHECK OR DEVELOPING PLAN. IN EXCESS OF 6.00 INCH, VENEER ANCHORS
 TO SHEATHING WOOD FRAME WALLS SHALL BE 22 GA. GALV. CORRUGATED STEEL 3/4" X 7" AND SHALL BE
 SPACED 16" O.C. VERTICALLY AND 32" HORIZONTALLY (WHERE APPLICABLE).

LAY OUT WALLS IN ADVANCE FOR ACCURATE SPACING OF SURFACE BOND PATTERNS AND FOR ACCURATE
 LOCATING OF OPENINGS, MOVEMENT-PIPE JOINTS, RETURNS, AND OFFSETS. AVOID THE USE OF
 LESS-THAN-HALF-SIZE UNITS AT CORNERS, JAMBS, AND WHERE POSSIBLE AT OTHER LOCATIONS.

TOOL EXPOSED JOINTS SLIGHTLY CONCAVE WHEN THUMBPRINT HARD, USING A JOINTER LARGER THAN JOINT
 THICKNESS, UNLESS OTHERWISE INDICATED.

CARPENTRY

ALL WOOD FRAMING WHICH CONTACTS CONCRETE OR MASONRY, OR IS EXPOSED TO THE ELEMENTS SHALL BE
 PRESSURE TREATED MATERIAL.

FRAMING LUMBER (STUDS, JOISTS, GIRDERS, RAFTERS, PLATES, SILLS, HEADERS, TRIMMERS, RIDGES, VALLEYS,
 TAIL BEAMS, ETC.) SHALL BE DOUGLAS FIR-LARCH, GRADE NO. 2 (EXTREME FIBER IN BENDING = 875 PSI, MODULUS
 OF ELASTICITY = 1,600,000) OR HEM-FIR, NO. 2 (EXTREME FIBER IN BENDING = 890 PSI, MODULUS OF ELASTICITY = 1,300,000).

LAMINATED-VENEER LUMBER: LUMBER MANUFACTURED BY LAMINATING WOOD VENEERS IN A CONTINUOUS
 PRESS USING AN EXTENSION-TYPE ADHESIVE COMPLYING WITH ASTM D 2559 TO PRODUCE MEMBERS WITH GRAIN
 ORIENTED PARALLEL TO THEIR LENGTHS AND COMPLYING WITH THE FOLLOWING REQUIREMENTS:

- EXTREME FIBER STRESS IN BENDING: 2500 PSI (17 Mpa) FOR 12 INCH NOMINAL (286-mm ACTUAL)-
 DEPTH MEMBERS.
- MODULUS OF ELASTICITY: 2,000,000 psi (13 800 Mpa).

WOOD-BASED STRUCTURAL-USE PANELS: PROVIDE EITHER ALL-VENEER, MAT-FORMED, OR COMPOSITE PANELS
 COMPLYING WITH DCO-PS 2, PERFORMANCE STANDARD FOR WOOD-BASED STRUCTURAL-USE PANELS, UNLESS
 OTHERWISE INDICATED. PROVIDE PLYWOOD PANELS COMPLYING WITH DCO-PS 1, U.S. PRODUCT STANDARD
 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD, WHERE PLYWOOD IS INDICATED.

SPAN RATINGS: PROVIDE PANELS WITH SPAN RATINGS REQUIRED TO MEET "CODE PLUS" PROVISIONS OF APA
 FORM NO. E30, "APA DESIGN/CONSTRUCTION GUIDE: RESIDENTIAL & COMMERCIAL."

FOUNDATION SUBFLOOR-UNDERLayment: APA-RATED STURD-I-FLOOR, EXPOSURE 1.

SUBFLOORING: APA-RATED SHEATHING, EXPOSURE 1.

PLYWOOD UNDERLAYER FOR CARPET: APA UNDERLAYER EXPOSURE 1 PLYWOOD PANELS WITH FULLY
 SANDED FACE.

CLEARANCE BETWEEN WOOD SOING AND EARTH ON THE EXTERIOR OF A BUILDING SHALL NOT BE
 LESS THAN 6 INCHES EXCEPT WHERE SOING, SHEATHING AND WALL FRAMING ARE OF APPROVED
 PRESSURE-TREATED WOOD.

SET ALL JOISTS AND GIRDERS WITH NATURAL CAMBER UP. DOUBLE-UP FLOOR JOISTS UNDER PARTITION
 RUNNING PARALLEL TO JOISTS, OR AS PER PLANS.

GYPSUM BOARD SHALL BE 5/8" OR 1/2" AND FASTENED WITH APPROVED SCREWS SPACED 12" O.C. PER IBC
 2018/IRC 2018. PROVIDE WATER RESISTANT GYPSUM BACKER BOARD WALLS AND CEILING AT BATHROOMS AND

SMOKE DETECTORS SHALL BE INSTALLED IN THE IMMEDIATE VICINITY OF THE BEDROOM, IN ALL BEDROOMS AND
 IN EACH STORY WITHIN THE DWELLING UNIT, INCLUDING BASEMENT. ALL DETECTORS SHALL BE APPROVED
 LISTED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

HEADERS OVER DOORS AND WINDOWS SHALL BE (2) 2" X 8" UNLESS OTHERWISE INDICATED.

SET ROUGH CARPENTRY TO REQUIRED LEVELS AND LINES, WITH MEMBERS PLUMB, TRUE TO LINE, CUT, AND

SECURELY ATTACH ROUGH CARPENTRY WORK TO SUBSTRATE BY ANCHORING AND FASTENING AS INDICATED,
 COMPLYING WITH THE FOLLOWING:

- "RECOMMENDED NAILING SCHEDULE" OF REFERENCED FRAMING STANDARD AND WITH APFA'S "NATIONAL
 DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION".
- "TABLE 2363.2 - FASTENING SCHEDULE" OF THE CURRENT BUILDING CODE.

POWER-DRIVEN FASTENERS: CARB NER-272.

FRAMING STANDARDS: COMPLY WITH APFA'S "MANUAL FOR WOOD FRAME CONSTRUCTION", UNLESS OTHERWISE

GYPSUM WALLBOARD

PROVIDE GYPSUM BOARDS IN 8 FOOT LENGTHS TO MINIMIZE CONSTRUCTION JOINTS.

GYPSUM WALLBOARD SHALL BE AS PER FEDERAL SPECIFICATION SS-1-300, IN 48" WIDTHS, TYPE II, GRADE W.

USE TYPES AND THICKNESSES SPECIFIED BELOW EXCEPT WHERE SHOWN OTHERWISE IN THE DRAWINGS.

- STANDARD WALLBOARD: TYPE II, GRADE R, CLASS 1, 1/2" THICK.
- FIRE-RETARDANT WALLBOARD: TYPE II, GRADE X, CLASS 1, 5/8" THICK.
- WATER-RESISTANT WALLBOARD: TYPE VII, GRADE W, OR X AS REQUIRED, CLASS 2, 5/8" THICK.

INSTALL AS PER MANUFACTURER'S INSTRUCTION, TRADE ASSOCIATION STANDARDS, AND GOVERNING BUILDING

HOLD WALLBOARD 3/8 INCH TO 1/2 INCH UP FROM FLOOR. INSTALL WALL PANELS HORIZONTALLY UNLESS
 OTHERWISE REQUIRED. STAGGER PANEL JOINTS VERTICALLY.

SCREW ATTACHMENT AS PER MANUFACTURER'S INSTRUCTIONS. DO NOT POSITION CONDUIT AND PIPING WHERE
 IT CAN BE DAMAGED.

THOROUGHLY SEAL PENETRATIONS IN FIRE-RATED WALLS. BOX IN RECESSES IN FIRE-RATED WALLS. MAKE
 CUTOUPS FOR ELECTRICAL OUTLETS, SWITCH BOXES, PIPE, ETC., TIGHTLY TO SIZE.

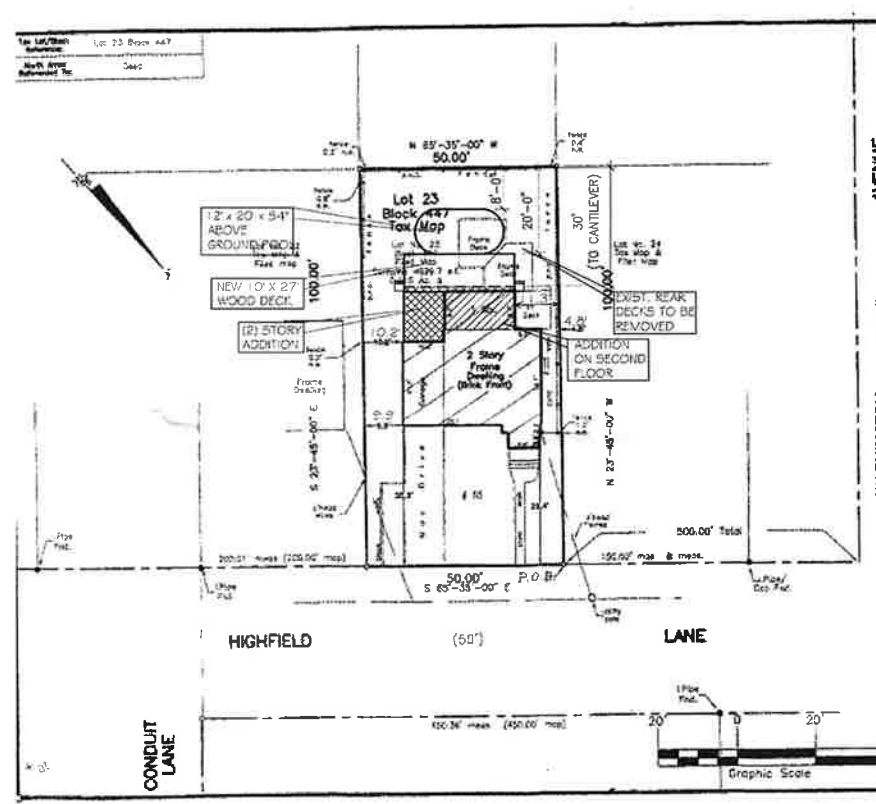
TAPING AND SPACKLING MUST FOLLOW APPLICABLE TRADE STANDARDS AND MANUFACTURER'S INSTRUCTIONS
 THROUGHOUT. KEEP TEMPERATURE ABOVE SPECIFIED MINIMUM (USUALLY 55 DEGREES). DO NOT TRACK
 DIRT AND SPARKLE DUST TO CLEAN AREAS.

INSULATION

FACED MINERAL-FIBER BLANKET INSULATION: ASTM C 465, TYPE II, CLASS A (BLANKETS WITH REFLECTIVE
 VAPOR-RETARDER MEMBRANE FACING AND FLAME SPREAD OF 25 OR LESS); WITH FOIL-SCRIM-KRAFT,
 FOIL-SCRIM, OR FOIL-SCRIM-POLYETHYLENE VAPOR-RETARDER MEMBRANE ON 1 FACE.

INSTALLATION: COMPLY WITH INSULATION MANUFACTURER'S WRITTEN INSTRUCTIONS APPLICABLE TO
 PRODUCTS AND APPLICATION INDICATED.

INSTALL INSULATION THAT IS UNDAMAGED, DRY, UNMOISTED, AND HAS NOT BEEN EXPOSED AT ANY TIME TO ICE
 AND SNOW.



SITE PLAN

REFERENCE:

File No.	Book	Page	Vol. No.
27	617	11/24/58	1458

CERTIFICATION:
 To the best of my knowledge and belief, this map is a result of a field survey made by me or under my direct supervision in accordance with NJAC 17:27-5.1 Land Surveyor, Dispensation of Land Surveyors. The information shown herein represents the conditions found on or in the site shown below. Certifications shown are given solely to the parties listed herein and are not transferable to subsequent parties. This survey is subject to all applicable restrictions, easements of record and any other facts as certified to each party's deed. Offsets shown are for survey purposes only and are not to be used for construction purposes. Underground utility lines are crossing the property shown, not clearly evident on the site. This survey was performed and not delineated. Property corner marker (NAC 17:27-5.1(d)) has been submitted to the office use for signature prior to completion of this survey. Certified To: Rui Miguel Sique and Maria Manuela Marreiros. Hudson City Savings Bank, its successors or/or assigns as their interests may appear. First American Title Insurance Company. Maria J. Rivera, Esq.

Survey Prepared For:
Lot No. 23 Block 447
 Township of Nutley, Essex County, NJ.

Prepared By:
J.P. Miceli
 Land Surveying
 Phone (973) 631-8466 -- Fax (973) 631-8470

John P. Miceli, Land Surveyor, N.J. Lic. No. 30061
 Date: 3/2/01
 Scale: 1"=20' Project No.: 03-0958
 TA 05-0190

ZONING DATA

BLOCK: 447	LOT: 23	ZONE: R-1
	REQUIRED	PROVIDED
LOT AREA (SQ.FT)	5000	5000
LOT WIDTH	50'	50'
LOT DEPTH	100'	100'
MAX. BUILDING COVERAGE (%)	35%	33.88%
MAX. IMPERVIOUS COVERAGE (%)	60%	49% - WITH DECK/POOL
USE GROUP		R-5
TYPE OF CONSTRUCTION		S-B
1ST FLOOR (ADDITION) (SQ.FT)		164
1ST FLOOR (EXISTING) (SQ.FT)		973
2ND FLOOR (ADDITION) (SQ.FT)		288
2ND FLOOR (EXISTING) (SQ.FT)		568
TOTAL BUILDING AREA (SQ.FT)		2013
CUBIC CONTENT (FT ³) ADDITION		5,056
LIVE LOAD / SQ.FT.		30/40PSF
BUILDING HEIGHT:		
STORIES:	2 1/2	2 1/2
FEET:	30'	± 27'(EXISTING)
YARDS:		
FRONT:	25'	29.4'
SIDE (ZONE):	6'	9.9'
OTHER SIDE:	6'	11.3' (TO ADD)
REAR:	30'	30' (TO CANTILEVER PROJECTION)

PROJECT DATA

USE GROUP: R5
 CONSTRUCTION CLASSIFICATION: 5B

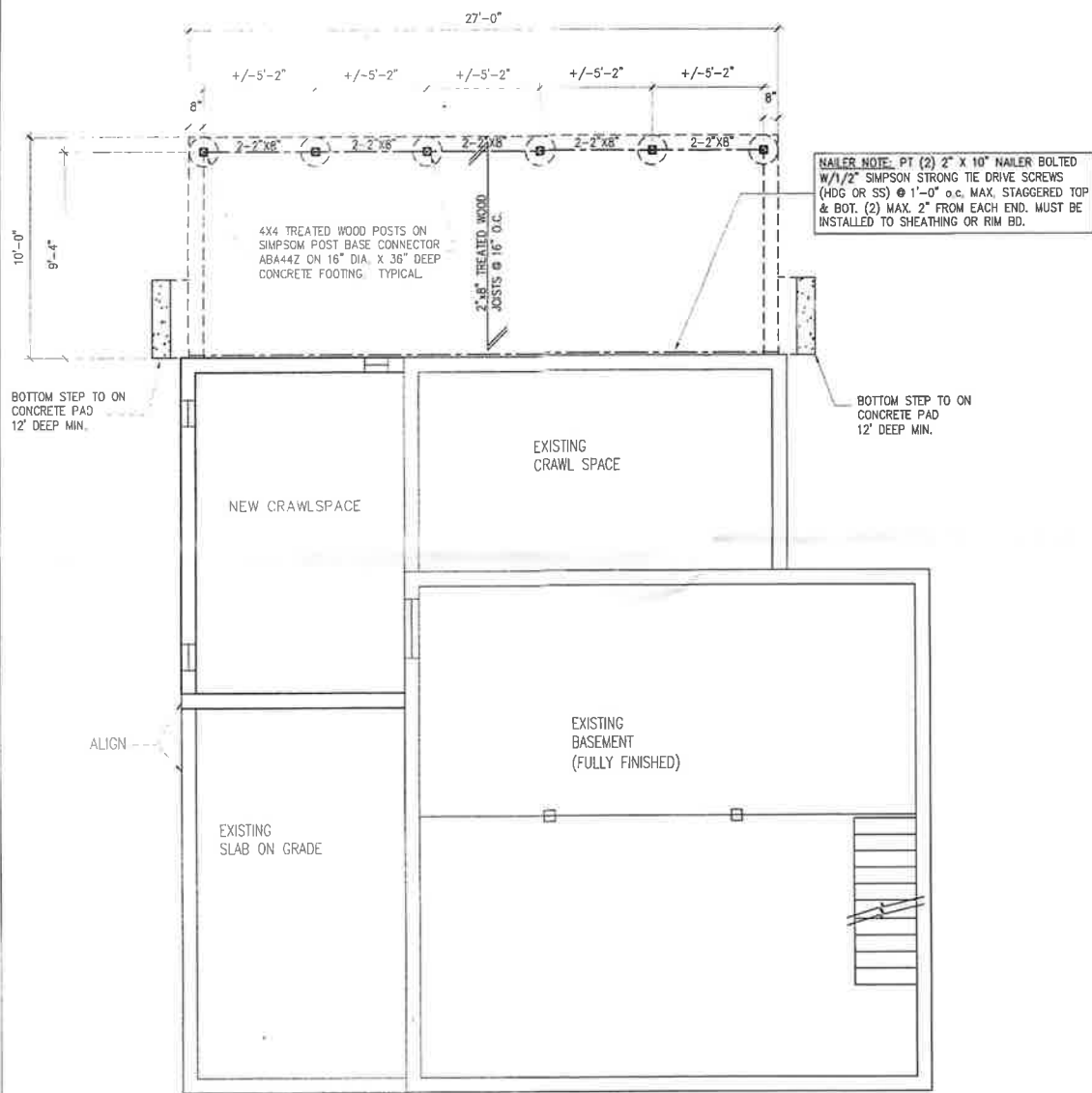
SCOPE OF WORK:
 NEW DECK CONSTRUCTION DRAWINGS AND NEW POOL LOCATION

CHRISTOPHER JUCHNIK RA
 ARCHITECT INTERIOR DESIGN
 DESIGN CONSULTANTS
 P.O. BOX 190 Kearny, New Jersey 07032
 (201) 988-5520 cjm42@aol.com

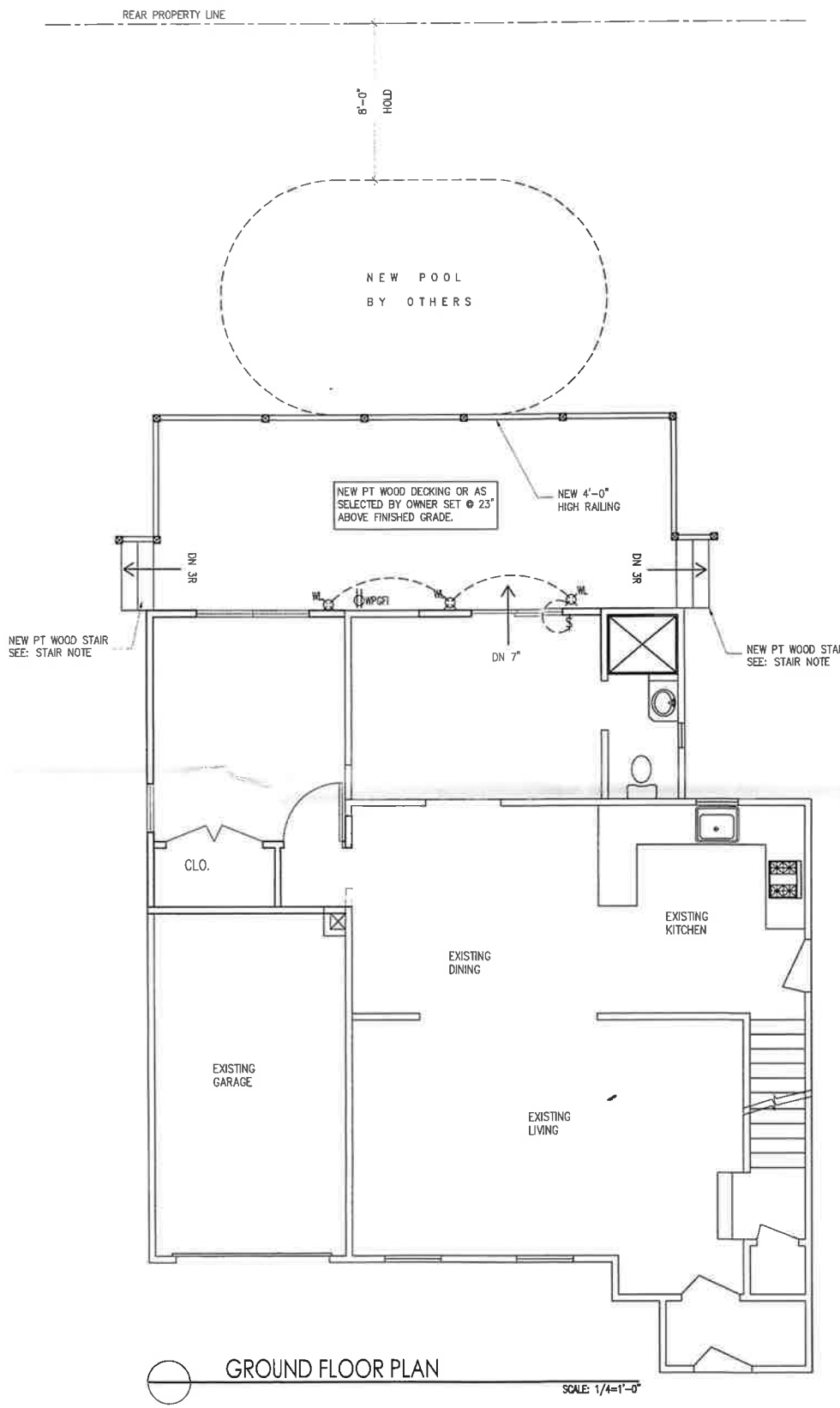
INTERIOR ALTERATIONS & ADDITION TO EXISTING SINGLE FAMILY DWELLING 55 HIGHFIELD LANE, NUTLEY NJ

NJ ARCH A2-12953	COMM NO. 01-0534
NY ARCH 026948	DATE 07/25
REVISION:	DATE 09
SHEET:	
DP-1	
SHEET: 1 OF 3	

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FOUNDATION PLAN
SCALE: 1/4"=1'-0"



GROUND FLOOR PLAN
SCALE: 1/4"=1'-0"

- WATER PROOF GROUND FAULT RECEPTACLE
- SINGLE POLE SWITCH
- WET/DAMP LOCATION TYPE LIGHT FIXTURE

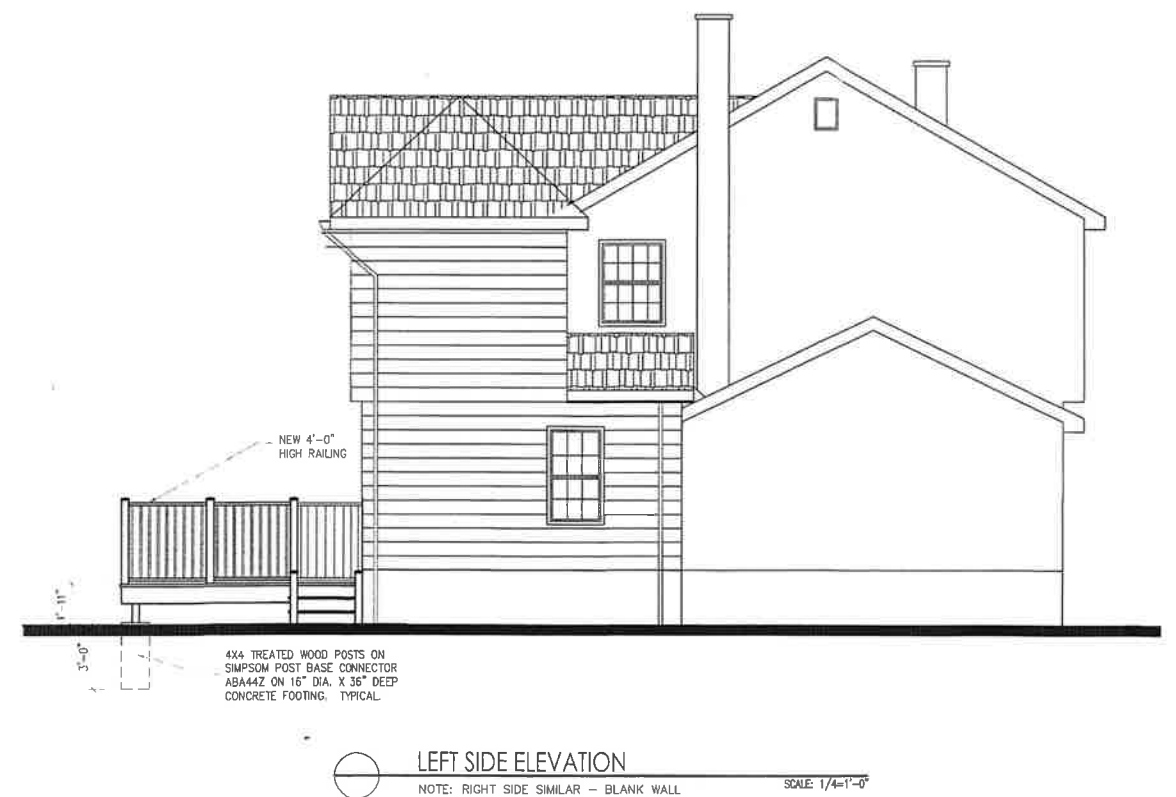
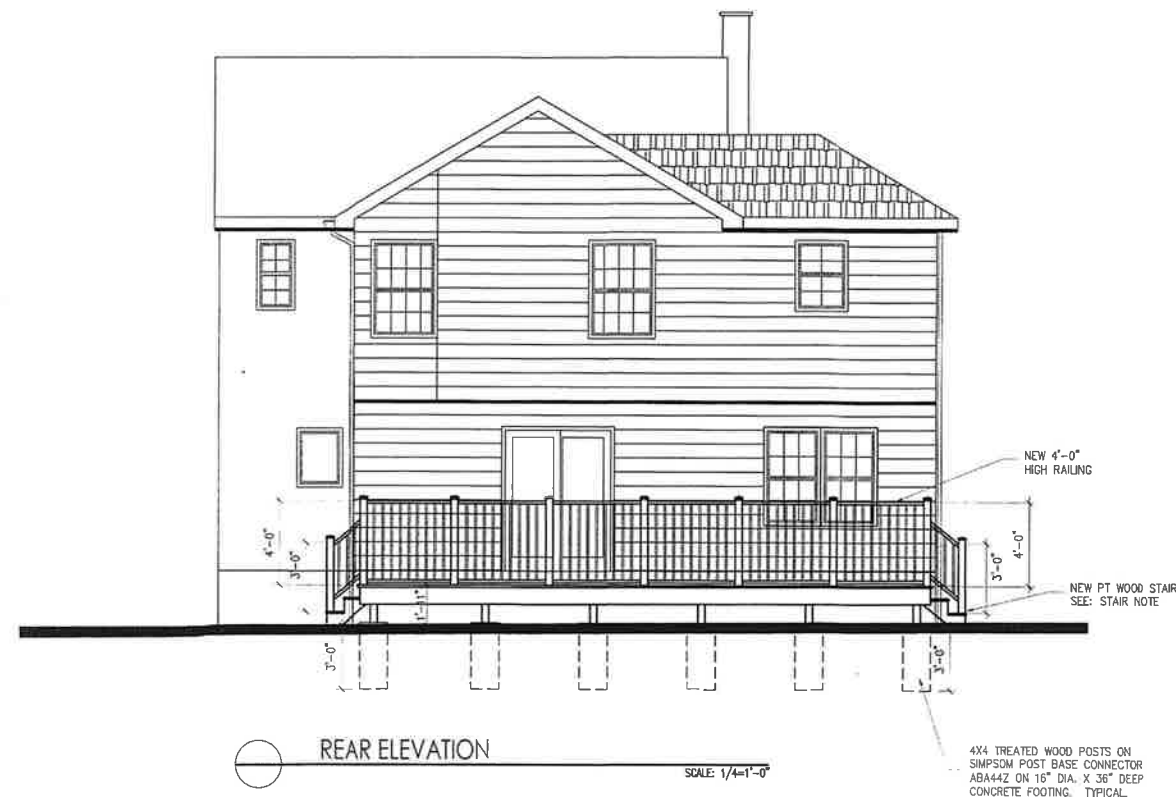
STAIR NOTE:
 MAX. RISE = 0'-8 1/4"
 MIN. TREAD = 0'-9"
 INSTALL 3'-0" HIGH GRASPABLE HANDRAIL TO OPEN SIDE. BALUSTER SPACING TO BE 0'-4" o/c. MAX.
 CONTRACTOR TO VERIFY RISER COUNT BEFORE FABRICATION OF STAIR.

CHRISTOPHER JUCHNIK RA
 ARCHITECT INTERIOR DESIGN
 DESIGN CONSULTANTS
 P.O. BOX 180 Kearny, New Jersey 07032
 (201) 986-5520 cju2@aol.com

NEW REAR DECK
 EXISTING SINGLE FAMILY DWELLING
 55 HIGHFIELD LANE, NUTLEY NJ

NJ ARCH A2-12953	COMPL NO 01-0524
NY ARCH 028948	DATE: 07/20/18
REVISION:	SHEET:
NEW DECK CONSTRUCTION DRAWINGS AND NEW POOL LOCATION	DP-2
	SHEET: 2 OF 3

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 CHRISTOPHER JUCHNIK, RA



ALL HANGERS, BASES, AND CONNECTORS TO BE SIZED AS PER MEMBERS SERVED
ALL HANGERS, BASES, AND CONNECTORS TO BE "HDG" COATED OR STAINLESS STEEL.

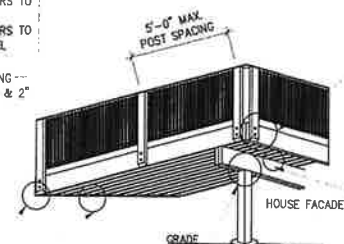
4'-0" HIGH (MINIMUM) RAILING -- W/4" O.C. BALUSTERS MAX. & 2" FROM DECK FINISH

LEDGER BOARD NOTE:

LEDGER BOARD BOLTED TOGETHER W/1/2" BOLTS @ 2'-0" o.c. STAGGERED W/ (2) EACH END SECURE TO BLDG. WITH 'HILTI' TYPE ANCHOR BOLTS. INSTALL SIMPSON DITZZ W/ (8) SDS 1/2" X 3" & 5/8" THREADED ROD AT EACH END AND ONE IN CENTER SPAN OF DECK. MUST BE INSTALLED TO SHEATHING OR RIM BD.

JOIST TO LEDGER CONNECTION:

CONTRACTOR TO VERIFY RIM BOARD IS MIN 1-1/2" THICK.
SIMPSON LUS AND LUC JOIST HANGERS OR EQUAL



DECK POST TO DECK FRAMING
DECK P.T. POSTS @ 4'-0" O.C. MAX. SECURE TO DECK FRAME WITH SIMPSON DITZZ
DECK TENSION TIES (OR EQUAL)

JOIST TO BEAM CONNECTION
SIMPSON LUS (FOR FLUSH TOP CONDITION) AND H1 FOR OVER TOP OF GIRDER CONDITION

POST TO CONCRETE CONNECTION
SIMPSON ABA OR ABU POST BASE OR EQUAL

16" X 3'-0" DEEP CONCRETE FOOTING BELOW GRADE

BEAM TO POST CONNECTION
SIMPSON BC, BCS OR LPC POST CAP

(DIAGRAM FOR CONNECTION DETAILS ONLY. SEE FLOOR PLAN FOR FRAMING DETAILS)

STAIR NOTE:
MAX. RISE = 0'-8 1/4"
MIN. TREAD = 0'-9"
INSTALL 3'-0" HIGH GRASPABLE HANDRAIL TO OPEN SIDE. BALUSTER SPACING TO BE 0'-4" o.c. MAX.
CONTRACTOR TO VERIFY RISER COUNT BEFORE FABRICATION OF STAIR.

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NEW REAR DECK
EXISTING SINGLE FAMILY DWELLING
55 HIGHFIELD LANE, NOTLEY NJ

NJ ARCH A2-12953 NY ARCH 025048	CDMALL NO. 01-0524
REVISION: NEW DECK CONSTRUCTION DRAWINGS AND NEW POOL LOCATION	SHEET: DP-2
SHEET 3 OF 3	

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