

April 27, 2020

Economic & Community Development Dept.
City of Wheeling
1500 Chapline Street Room 305
Wheeling, WV 26003

Attention: Mr. Tom Connelly
Assistant Director

Subject: Northwood Health Systems
Behavioral Health Center
Site Plan Review

Mr. Connelly,

In keeping with our recent conversations and per your request at our meeting on 3/13/2020, attached you will find the requested documentation related to the site plan review for the above referenced project. These attachments include:

- Application for Certificate of Zoning Compliance
- Project Milestone Schedule Letter
- (2) Project Site Aerial Views
- Exterior Building Artistic Rendering
- Design Drawing Set (Portions Applicable to Site Plan Review Submission)

In general, the project consists of the design and construction of the exterior building renovations, building addition and related exterior site work at the Northwood Health Systems Behavioral Health Center, as required to accommodate administrative and staff offices spaces as well as outpatient and inpatient spaces. The exterior site work required includes the construction of a drive thru lane with entry canopy, generator enclosure and concrete parking area with 4 ADA spaces that will combine with 106 existing parking spaces to provide a total of 110 parking spaces for the building. The attached drawings illustrate the various aspects of this drive thru lane / parking area and related exterior site upgrades. We appreciate your consideration of our application and look forward to presenting this information to you and the Planning Commission on 5/11/2020. Please advise our office if any additional information is required.

Respectfully submitted,

MATYSKIELA & GRANT, INC.



Dan Grant, AIA
Vice President

cc: Eric Matyskiela
Carla Bronder
Mark Games



APPLICATION FOR CERTIFICATE OF ZONING COMPLIANCE FOR THE USE, ERECTION, ALTERATION, OR REPAIR OF A BUILDING OR LAND

The undersigned applies for a Certificate of Zoning Compliance for the following, said certificate is to be issued on the basis of the information contained within the application. *The applicant hereby certifies that all information and attachments are true and correct.*

- 1. Address of Property: 111 19th St., Wheeling, WV 26003
- 2. Name of Property Owner: Northwood Health Systems
- 3. Name of Applicant: M&G Architects and Engineers
- 4. Address of Applicant: 1027 Mt. DeChantal Rd., Wheeling, WV 26003
- 5. Applicant Phone: (304) 242-8248 Owner Phone: (304) 843-7868
- 6. Existing Use: Behavioral Health Center
- 7. Proposed Use: Same Other (describe): _____
- 8. Number of off-street parking spaces to be provided: 110 Total (25 Owned / 85 Leased)
- 9. Number of off-street loading berths to be provided: 1

COMPLETE THIS SECTION BELOW FOR THE ERECTION, ALTERATION, OR ADDITION OF A STRUCTURE

Type of Improvement:

Residential:

- New Building
- Addition
- Alteration / Repair

Number of existing dwelling units: N/A
 Number of proposed dwelling units: N/A

Existing Lot Dimensions: Width: 301.95 ft. x Depth: 124.0 ft. = lot area: 37441 sq. ft.

Existing Principal Building:

Dimensions: Width: 120 ft. x Depth: 100 ft. = Total first floor area, including covered porches: 12000 sq. ft.
 Setbacks: Front: 0 ft. Rear: 0 ft. Side: 0 ft. Other Side: 0 ft. Height/Stories: 2

Existing Accessory Building: (garage, carport, shed, pool, etc):

Dimensions: Width: N/A ft. x Depth: N/A ft. = Total first floor area, including covered porches: N/A sq. ft.
 Setbacks: Front: N/A ft. Rear: N/A ft. Side: N/A ft. Other Side: N/A ft. Height/Stories: N/A

Proposed Construction:

Dimensions: Width: 120 ft. x Depth: 120 ft. = Total first floor area, including covered porches: 15693 sq. ft.
 Setbacks: Front: 0 ft. Rear: 0 ft. Side: 0 ft. Other Side: 0 ft. Height/Stories: 2

Applicant Signature:  Dan Grant, AIA, Vice President Date: 4/27/2020

Owner Signature:  Mark Games, President & CEO Date: 4/27/2020

Reset Form

Print Form

Rev: 01/27/2015

FOR OFFICIAL USE ONLY

1. Zoning District: _____

2. % Lot Coverage: _____ F. A. R.: _____

3. Off street parking spaces provided: _____

4. Off street parking spaces required: _____

Continuation of non-conforming off street parking

5. Property is located in 100 Year Flood Plain: Yes No

100 year flood elevation: _____ feet

Requires special construction: _____

6. Proposed use is permitted

Proposed use is not permitted

Proposed use is a continuation / renewal of a non-conforming use

7. Requires action by the Board of Zoning Appeals:

Proposed construction requires a variance from the Board of Zoning Appeals

Proposed use requires a Conditional Use Permit from the Board of Zoning Appeals

8. Proposed use requires from the Planning Commission:

Special Use Permit

Site Plan Approval

This Application for Certificate of Zoning Compliance is:

Approved

Denied, Reason for Denial: _____

Certificate No: _____

Zoning Official Signature: _____

Date: _____

March 11, 2020

Northwood Health Systems
111 19th Street
P.O. Box 6400
Wheeling, WV 26003

Attention: Mr. Mark Games
President & CEO

Subject: Northwood Health Systems
Building Addition & Renovation at 111 19th Street
Project Milestone Schedule (Revised)

Gentlemen:

As discussed, the following represents the revised project milestone schedule as a frame of reference.

- Commencement of Schematic Design Phase (Completed) November 22, 2019
- Schematic Design Phase Submission (Completed) January 24, 2020
- Design Development Phase Submission..... April 10, 2020
- Construction Document Owner Final Review/Initial Pricing/Agency Review Submission July 3, 2020
- Agency Review Complete July 31, 2020
- Final Pricing Received..... August 7, 2020
- Notice to Proceed/Letter of Intent to Award Construction Contract August 14, 2020
- Substantial Completion of Construction..... August 13, 2021

The above represents the anticipated dates for these key project milestones for the purpose of guiding the overall timing of the project. Additional meetings, reviews and approvals will be coordinated with these dates as required for the project. These dates were developed according to the information available at this time and could be impacted by unforeseen circumstances. Please review these dates and contact us if you have any questions.

Respectfully submitted,

M&G ARCHITECTS & ENGINEERS



Dan Grant, AIA
Vice President

cc: Eric Matyskiela
Carla Bronder
Nestor Melnyk
Chris Schoonover



PROJECT SITE

18-05-2059A
10/17/2016
Zone AE

Zone AE
FLOODWAY
Wheeling Creek

650 FEET

650 FEET

650 FEET



PROJECT SITE



Northwood
Health Systems

Northwood
Health Systems

Northwood Health Systems

m&g
Matyskiela & Grant, Inc.
ARCHITECTS & ENGINEERS

MSA DESIGN

NORTHWOOD HEALTH SYSTEMS

111 19TH STREET WHEELING, WV 26003

BUILDING ADDITION AND RENOVATIONS

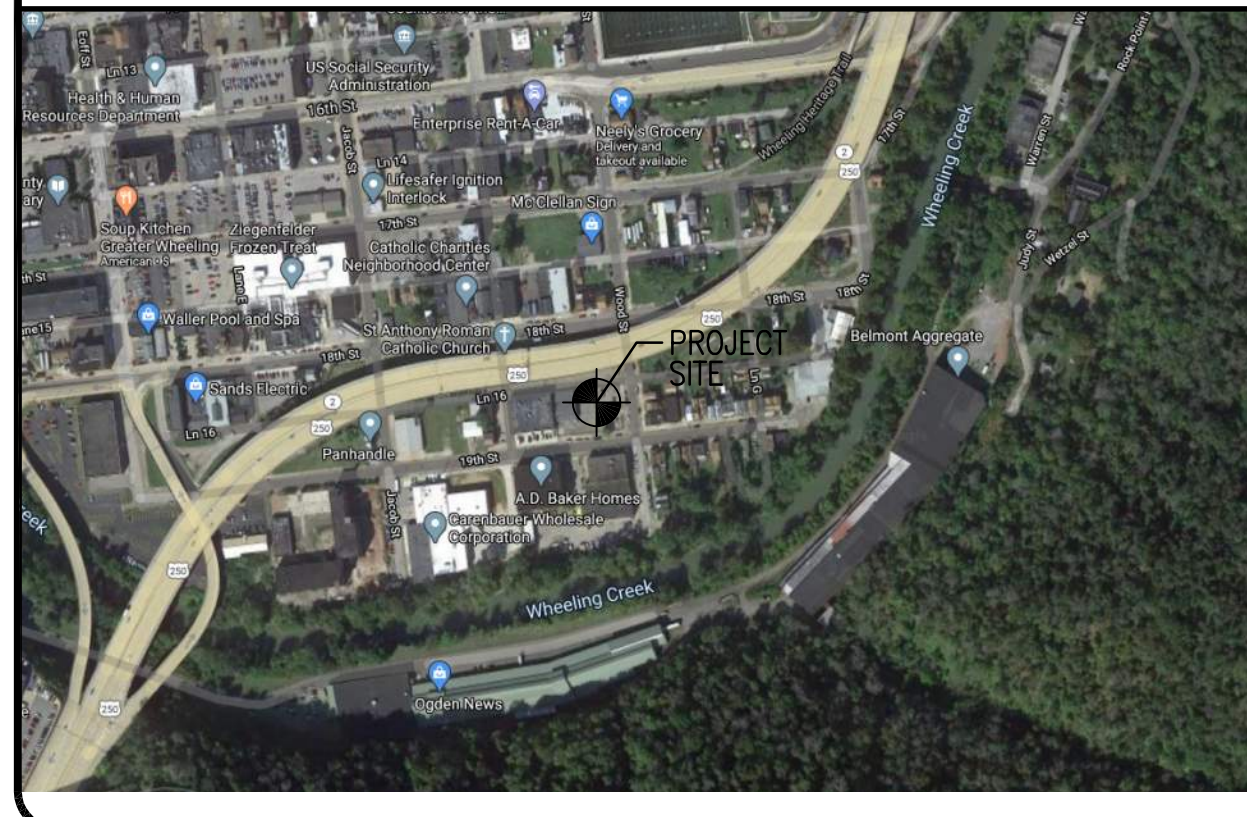
ABBREVIATIONS

&	AND	FD	FLOOR DRAIN	QT	QUARRY TILE
@	AT	FEC	FIRE EXTINGUISHER CABINET	R	RADIUS OR RISER
⊕	CENTERLINE	FHC	FIRE HOSE CABINET	RAD	RADIUS
∅	DIAMETER OR ROUND	FIN	FINISH(ED)	RD	ROOF DRAIN
#	NUMBER OR POUND	F/W	FACE OF WALL	REF	REFERENCE
/	OF	FPRF	FIREPROOF(ING)	REFR	REFRIGERATOR
AB	ANCHOR BOLT	FS	FULL SIZE	REINF	REINFORCE
ACOUS	ACOUSTICAL	FT	FOOT	REQ	REQUIRE(D)
AFF	ABOVE FINISHED FLOOR	FTG	FOOTING	RESIL	RESILIENT
ADD	ADDITIONAL	FUT	FUTURE	RM	ROOM
ADJ	ADJUSTABLE	GA	GAUGE	RO	ROUGH OPENING
AL	ALUMINUM	GALV	GALVANIZE(D)	ROW	RIGHT-OF-WAY
APP	APPROXIMATE(LY)	GC	GENERAL CONTRACTOR	RWL	RAIN WATER LEADER
ARCH	ARCHITECT(URAL)	GL	GLASS	SCW	SOLID CORE WOOD
ASPH	ASPHALT	GND	GROUND	SCHED	SCHEDULE
B/O	BY OTHERS	GR	GRADE	SECT	SECTION
BD	BOARD	GYP	GYPSPUM	SHR	SHOWER
BIT	BITUMINOUS	HR	HOSE BIBB	SHT	SHEET
BLDG	BUILDING	HC	HOLLOW CORE	SIM	SIMILAR
BLK	BLOCK	HDWE	HARDWARE	SND	SANITARY NAPKIN
BLKG	BLOCKING	HM	HOLLOW METAL	SNR	SANITARY NAPKIN
BM	BEAM OR BENCH MARK	HOR	HORIZONTAL		RECEPTACLE
BOT	BOTTOM	HT	HEIGHT	SPEC	SPECIFICATION(S)
BRK	BRICK	ID	INSIDE DIAMETER	SQ	SQUARE
C	COURSE(S)	IN	INCH	SS	STAINLESS STEEL
C/C	CENTER TO CENTER	INSUL	INSULATION	STA	STATION
CAB	CABINET	INT	INTERIOR	STD	STANDARD
CB	CATCH BASIN	INV	INVERT	STL	STEEL
CEM	CEMENT	JT	JOINT	STOR	STORAGE
CJ	CONTROL JOINT	JST	JOIST	STRUCT	STRUCTURAL
CLG	CEILING	KIT	KITCHEN	SUSP	SUSPEND OR SUSPENSION
CLL	CONTRACT LIMIT LINE	LAM	LAMINATE	SYM	SYMMETRICAL
CLR	CLEAR	LAV	LAVATORY	T	TREAD
CLOS	CLOSET	LT	LIGHT	T/C	TOP OF CURB
CMU	CONCRETE MASONRY UNIT	MASY	MASONRY	TELE	TELEPHONE
COL	COLUMN	MAX	MAXIMUM	TER	TERRAZZA
CONC	CONCRETE	MECH	MECHANICAL	T & G	TONGUE AND GROOVE
CONN	CONNECTION	MFR	MANUFACTURER	THK	THICK(NESS)
CONSTR	CONSTRUCTION	MH	MANHOLE	T/S	TOP OF SLAB
CONT	CONTINUOUS	MIN	MINIMUM	TPD	TOILET PAPER DISPENSER
CORR	CORRIDOR	MIS	MISCELLANEOUS	T/W	TOP OF WALL
CPT	CARPET	MO	MASONRY OPENING	TYP	TYPICAL
CTR	CENTER	MTD	MOUNT(ED)	UL	UNDERWRITER'S LABORATORY
CTRSK	COUNTERSINK	MTL	METAL	UNF	UNFINISHED
DBL	DOUBLE	MULL	MULLION	UON	UNLESS NOTED OTHERWISE
DEPT	DEPARTMENT	NIC	NOT IN CONTRACT	UR	URINAL
DF	DRINKING FOUNTAIN	NO	NUMBER	V	VINYL
DIA	DIAMETER	NOM	NOMINAL	VB	VAPOR BARRIER
DIM	DIMENSION	NTS	NOT TO SCALE	VCT	VINYL COMPOSITION TITLE
DISP	DISPENSER	P	PAINT	VERT	VERTICAL
DN	DOWN	PL	PLATE	VEST	VESTIBULE
DS	DOWN SPOUT	PLAM	PLASTIC LAMINATE	VIF	VERIFY IN FIELD
DTL	DETAIL	PLAS	PLASTIC	W/	WITH
DWG	DRAWING	PLWD	PLYWOOD	WC	WATER CLOSET
EA	EACH	PR	PAIR	WD	WOOD
EJ	EXPANSION JOINT	PRCST	PRE-CAST	W/O	WITHOUT
EL	ELEVATION	PSF	POUNDS PER SQUARE FOOT	WP	WATER PROOF
ELEC	ELECTRIC(AL)	PT	PAINT	WR	WATER RESISTANT
ELEV	ELEVATOR	PTD	PAPER TOWEL DISPENSER	WSCT	WAINSCOT
EMER	EMERGENCY	PTN	PARTITION	WT	WEIGHT
ENCL	ENCLOSURE	PTR	PAPER TOWEL RECEPTACLE	WWF	WELDED WIRE FABRIC
EP	EPOXY				
EQ	EQUAL				
EXIST	EXISTING				
EXP	EXPOSED				
EXT	EXTERIOR				

RENDERING



SITE LOCATION



DESIGN CERTIFICATIONS

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Malyshkela & Grant, Inc.
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DRAWING STATUS	
DESIGN STAGE:	
<input type="radio"/>	SCHEMATIC DESIGN
<input type="radio"/>	DESIGN DEVELOPMENT
<input type="radio"/>	CONSTRUCTION DRAWINGS
RELEASED FOR:	
<input type="radio"/>	REVIEW
<input type="radio"/>	BIDDING
<input type="radio"/>	CONSTRUCTION

REVISION	

PROJECT NO. 19-093
SHEET CS1.0

DRAWING INDEX

CS1.0	COVER SHEET
G1.0	CODE ANALYSIS
C001	SITE SURVEY
C010	SITE DEMOLITION PLAN
C100	SITE UTILITY PLAN
C200	SITE GRADING AND STORM SEWER PLAN
C300	SITE PAVING PLAN
C400	EROSION CONTROL NOTES
C401	EROSION CONTROL NOTES
C500	SITE DETAILS
C501	SITE DETAILS
A1.1	ADDITION - FIRST FLOOR PLAN
A1.2	ADDITION - SECOND FLOOR PLAN
A1.3	ADDITION - ROOF PLAN
A2.1	EXTERIOR ELEVATIONS
A2.2	EXTERIOR ELEVATIONS
A3.1	FIRST FLOOR REFLECTED CEILING PLAN
A3.2	2ND FLOOR & CLERESTORY REFLECTED CEILING PLAN
A4.1	BUILDING SECTIONS
S1.1	SECOND FLOOR FRAMING PLAN
S1.2	ROOF FRAMING PLAN
S1.3	CLERESTORY ROOF FRAMING PLAN
F0.1	FIRE SUPPRESSION GENERAL NOTES, SCHEDULES, SYMBOLS, ETC.
F1.1	DEMOLITION - FIRST FLOOR PLAN - FIRE SUPPRESSION
F2.1	NEW WORK - FIRST FLOOR PLAN - FIRE SUPPRESSION
F2.2	NEW WORK - SECOND FLOOR PLAN - FIRE SUPPRESSION
P0.1	PLUMBING GENERAL NOTES, SCHEDULES, SYMBOLS, ETC.
P1.1	DEMOLITION - FIRST FLOOR PLAN - PLUMBING
P2.1	NEW WORK - FIRST FLOOR PLAN - PLUMBING PIPING
P2.2	NEW WORK - SECOND FLOOR PLAN - PLUMBING PIPING
P3.1	NEW WORK - FIRST FLOOR PLAN - PLUMBING WASTE
P3.2	NEW WORK - SECOND FLOOR PLAN - PLUMBING WASTE
P3.3	NEW WORK - ROOF PLAN - PLUMBING
P4.1	PLUMBING DETAILS
P4.2	PLUMBING DETAILS
H0.1	HVAC GENERAL NOTES AND SYMBOL LEGEND
H1.1	DEMOLITION - FIRST FLOOR PLAN - HVAC
H2.1	NEW WORK - FIRST FLOOR PLAN - HVAC DUCTWORK
H2.2	NEW WORK - SECOND FLOOR PLAN - HVAC DUCTWORK
H2.3	NEW WORK - ROOF PLAN - HVAC
H3.1	NEW WORK - FIRST FLOOR PLAN - HVAC PIPING
H3.2	NEW WORK - FIRST FLOOR PLAN - HVAC PIPING
H3.3	NEW WORK - SECOND FLOOR PLAN - HVAC PIPING
H4.1	HVAC SCHEDULES
H5.1	HVAC DETAILS
H5.2	HVAC DETAILS
H6.1	HVAC FLOW DIAGRAM
H7.1	HVAC TEMPERATURE CONTROLS
E0.1	NOTES & LEGENDS - ELECTRICAL
E1.1	DEMOLITION - FIRST FLOOR PLAN - ELECTRICAL
E1.2	DEMOLITION - SECOND FLOOR PLAN - ELECTRICAL
E2.1	LIGHTING - FIRST FLOOR PLAN - ELECTRICAL
E2.2	LIGHTING - SECOND FLOOR PLAN - ELECTRICAL
E3.1	POWER - FIRST FLOOR PLAN - ELECTRICAL
E3.2	POWER - SECOND FLOOR PLAN - ELECTRICAL
E3.3	POWER - ROOF PLAN - ELECTRICAL
E4.1	SYSTEMS - FIRST FLOOR PLAN - ELECTRICAL
E4.2	SYSTEMS - FIRST FLOOR PLAN - ELECTRICAL
E4.3	SYSTEMS - SECOND FLOOR PLAN - ELECTRICAL
E4.4	SYSTEMS - SECOND FLOOR PLAN - ELECTRICAL
E5.1	POWER RISER DIAGRAM & SCHEDULES - ELECTRICAL
E6.1	SCHEDULES - ELECTRICAL
E6.2	SCHEDULES - ELECTRICAL
E7.1	DETAILS - ELECTRICAL
E7.2	DETAILS - ELECTRICAL
E7.3	DETAILS - ELECTRICAL
E7.4	DETAILS - ELECTRICAL
ES.1	SITE PLAN - ELECTRICAL

SYMBOLS LIBRARY

	-CAST-IN PLACE CONCRETE		-COLUMN LINE DESIGNATION
	-STEEL		-BREAK IN OBJECT
	-GROUT/SAND/GYPSUM		-SECTION DESIGNATION
	-RIGID INSULATION		-SHEET NUMBER
	-EARTH/COMPACT FILL		-PARTITION TYPE
	-FACE BRICK		-CONTINUOUS FRAMING MEMBER
	-PLYWOOD SHEATHING		-DISCONTINUOUS FRAMING MEMBER (BLOCKING)
	-CONCRETE MASONRY		-WINDOW TYPE
	-BATT INSULATION		-DOOR BUBBLE
	-POROUS FILL/GRAVEL		-ELEVATION DESIGNATION
			-ELEVATION TARGET
			-PLAN/DETAIL DESIGNATION
			-SHEET NUMBER
			-REVISION CLOUD

CODE INFORMATION

WV STATE FIRE CODE: (EFFECTIVE: 07/1/2016) (SUPERSEDES WV STATE BUILDING CODE) (SPRINKLERED)	
CONSTRUCTION TYPE (TABLE 2.2.A PAGE 5 & NFPA 220 TABLE 4.1.1)	N/A
BUILDING AREA / ALLOWABLE AREA LIMITATION (TABLE 2.2.A PAGE 5)	N/A
BUILDING HEIGHT / ALLOWABLE HEIGHT (TABLE 2.2.A PAGE 5)	N/A
BUILDING STORIES / ALLOWABLE STORIES (TABLE 2.2.A PAGE 5)	N/A
NFPA 101 LIFE SAFETY CODE 2015: (SUPERSEDES WV STATE BUILDING CODE / IBC 2012) (SPRINKLERED)	
OCCUPANCY CLASSIFICATION (CHAPTER 6)	N/A
OCCUPANT LOAD (TABLE 7.3.1.2)	N/A
MAX. EXIT ACCESS TRAVEL DIST. / MAX. ALLOWABLE DIST. (TABLE A.7.6)	N/A
MAX. COMMON PATH OF TRAVEL / MAX. ALLOWABLE PATH (TABLE A.7.6)	N/A
MAX. DEAD END CORRIDOR / MAX. ALLOWABLE DEAD END (TABLE A.7.6)	N/A
BUILDING EXITS / EXITS REQUIRED (SECTION 7.4)	N/A
FIRE EXTINGUISHERS / EXTINGUISHERS REQUIRED (PER WFD)	N/A
WV STATE BUILDING CODE / IBC 2015: (EFFECTIVE: 8/1/2016) (SPRINKLERED)	
OCCUPANCY CLASSIFICATION (CHAPTER 3)	N/A
CONSTRUCTION TYPE (TABLE 601 & SECTION 602)	N/A
BUILDING AREA / ALLOWABLE AREA (TABLE 506.2)	N/A
BUILDING HEIGHT / ALLOWABLE HEIGHT (TABLE 504.3)	N/A
BUILDING STORIES / ALLOWABLE STORIES (TABLE 504.4)	N/A
OCCUPANT LOAD (TABLE 1004.1.2)	N/A
BUILDING EXITS / EXITS REQUIRED (TABLE 1006.2.1, 1006.3.1, 1006.3.2 (2), SECTION 1006)	N/A
MAX. EXIT ACCESS TRAVEL DIST. / MAX. ALLOWABLE DIST. (TABLE 1017.2)	N/A
MAX. COMMON PATH OF TRAVEL / MAX. ALLOWABLE PATH (TABLE 1006.2.1 / 1006.3.2 (2))	N/A
MAX. DEAD END CORRIDOR / MAX. ALLOWABLE DEAD END (SECTION 1020.4)	N/A
GROUND SNOW LOAD (FIGURE 1608.2)	N/A
RISK CATEGORRY (TABLE 1604.5)	N/A
ULTIMATE DESIGN WIND SPEED (3 SEC. GUST) (FIGURE 1609.3)	N/A
SEISMIC SITE CLASS	N/A
BEDROCK BEARING CAPACITY	N/A
WATER CLOSETS / WATER CLOSETS REQUIRED (TABLE 2902.1)	N/A
LAVATORIES / LAVATORIES REQUIRED (TABLE 2902.1)	N/A
SERVICE SINKS / SERVICE SINKS REQUIRED (TABLE 2902.1)	N/A
DRINKING FOUNTAINS / DRINKING FOUNTAINS REQUIRED (TABLE 2902.1)	N/A

CODE NOTES

PROJECT DESCRIPTION:
 Project Scope: [Insert project description].
 Contractor shall comply with all codes, laws, ordinances, rules and industry regulations bearing on the installation of the work shown herein. All work is to be installed to meet current code requirements. Contractor is responsible for verifying requirements prior to installing work.

GOVERNING AGENCIES & APPLICABLE CODES:

AHJ: CITY OF WHEELING, WV STATE FIRE MARSHAL'S OFFICE & OHFLAC

- WEST VIRGINIA STATE BUILDING CODE
- CITY OF WHEELING ZONING ORDINANCE
- 2015 INTERNATIONAL BUILDING CODE
- 2015 INTERNATIONAL EXISTING BUILDING CODE
- 2015 INTERNATIONAL MECHANICAL CODE
- 2015 INTERNATIONAL PLUMBING CODE
- WEST VIRGINIA FIRE CODE (2015 NFPA 101)
- 2018 FGI GUIDELINES FOR OUTPATIENT FACILITIES (APPLICABLE PORTIONS)
- 2018 FGI GUIDELINES FOR RESIDENTIAL HEALTH, CARE AND SUPPORT FACILITIES (APPLICABLE PORTIONS)
- 2019 BEHAVIORAL HEALTH DESIGN GUIDE EDITION 8.1

CHAPTER 3 - USE AND OCCUPANCY CLASSIFICATIONS:

- NON-SEPARATED MIXED USE B AND R-4
- 304.1 BUSINESS GROUP B FOR OFFICE AND PROFESSIONAL TRANSACTIONS, AMBULATORY CARE FACILITIES, OUTPATIENT CLINICS, OFFICE AREAS CLASSIFIED AS B USE GROUP
- 308.3 INSTITUTIONAL GROUP I-1: RESIDENTIAL BOARD AND CARE (FOR MORE THAN 16 OCCUPANTS,) USE GROUP I WITH 16 OCCUPANTS OR LESS (OTHER THAN STAFF) CLASSIFIED AS R-4 CSU CLASSIFIED AS R-4
- 310.1 RESIDENTIAL GROUP R: USE WITH SLEEPING ROOMS NOT CLASSIFIED AS I
 310.6 RESIDENTIAL GROUP R-4: FOR MORE THAN 5 BUT LESS THAN 16 OCCUPANTS, EXCLUDING STAFF, INCLUDING RESIDENTIAL BOARD AND CARE. CSU CLASSIFIED AS R-4
- 303.1.3 SMALL ASSEMBLY SPACES SHALL BE CLASSIFIED AS B OR AS THE PRIMARY USE.
 LESS THAN 50 OCCUPANTS OR LESS THAN 750 SF
 GROUP THERAPY ROOMS, TRAINING ROOM, CONFERENCE ROOMS ALL CLASSIFY AS THE PRIMARY USE GROUP IN WHICH THEY OCCUR, B AND/OR R-4.

CHAPTER 4 - SPECIAL DETAILED REQUIREMENTS BASED ON USE AND OCCUPANCY:

- 420 GROUPS I1, R1, R2, R3, AND R4
- 420.2 SEPARATION WALLS: WALLS SEPARATING SLEEPING UNITS IN THE SAME BUILDING AND FROM OTHER OCCUPANCIES CONTIGUOUS TO THEM SHALL BE CONSTRUCTED AS FIRE PARTITIONS ACCORDANCE WITH 708. SLEEPING UNITS REQUIRE FIRE RATED PARTITIONS AT THEIR PERIMETER
- 420.3 HORIZONTAL SEPARATION: FLOOR ASSEMBLIES SEPARATING SLEEPING UNITS IN THE SAME BUILDING AND FROM OTHER OCCUPANCIES CONTIGUOUS TO THEM SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES IN ACCORDANCE WITH 711. SLEEPING UNITS REQUIRE FIRE RATED FLOOR SEPARATION FROM OCCUPANCY BELOW.
- 420.5 FIRE SUPPRESSION REQUIRED FOR R OCCUPANCY.
- 420.6 FIRE ALARMS AND SMOKE ALARMS REQUIRED IN R OCCUPANCY.

CHAPTER 5 - GENERAL BUILDING HEIGHTS AND AREAS:

- ALLOWABLE HEIGHT (PER TABLE 504.3):
 B USE IN TYPE IIB CONSTRUCTION = 75 FEET
 R-4 USE IN TYPE IIB CONSTRUCTION = 75 FEET
- ALLOWABLE HEIGHT:
 ACTUAL HEIGHT: 75 FEET
 +/- 35 FEET (EXISTING BUILDING)
 +/- 48 FEET (NEW BUILDING)
- ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE (PER TABLE 504.4):
 B USE IN TYPE IIB CONSTRUCTION = 4 STORIES
 R-4 USE IN TYPE IIB CONSTRUCTION = 5 STORIES
- ALLOWABLE NUMBER OF STORIES = 4 STORIES
 ACTUAL NUMBER OF STORIES: 2 STORIES (EXISTING BUILDING)
 2 STORIES (NEW BUILDING)
- ALLOWABLE AREA (PER TABLE 506.2):
 B USE, TYPE IIB CONSTRUCTION, 2 STORY, SPRINKLER (S1) = 69,000 S.F.
 R-4, TYPE IIB CONSTRUCTION, 2 STORY, SPRINKLER (S1) = 48,000 S.F.
- ALLOWABLE AREA PER STORY (BASED ON MOST RESTRICTIVE, R-4):
 ACTUAL AREA PER STORY: 48,000 S.F.
 11,935 S.F. (EXISTING BUILDING)
 14,400 S.F. (NEW BUILDING)

508 MIXED USE: NON-SEPARATED MIXED USE. MOST RESTRICTIVE HEIGHT AND AREA LIMITATIONS APPLY.
 BUILDING ADDITION COMPLIES WITH HEIGHT AND AREA LIMITATIONS FOR FULLY FIRE SUPPRESSED, MULTI-STORY, TYPE 2B CONSTRUCTION. EXISTING NON-SPRINKLERED BUILDING PLUS ADDITION COMPLIES WITH HEIGHT LIMITATIONS BUT NOT AREA LIMITATIONS.

CHAPTER 6 - CONSTRUCTION TYPE:

- PROPOSED TYPE IIB, NON-COMBUSTIBLE, FULLY SUPPRESSED PER NFPA 13
- TABLE 601: NO FIRE RATINGS REQUIRED FOR PRIMARY STRUCTURAL FRAME, BEARING WALLS, NON-BEARING WALLS, FLOOR CONSTRUCTION, OR ROOF CONSTRUCTION. TABLE 602 APPLIES FOR EXTERIOR WALLS.
- TABLE 602 FIRE RESISTANCE RATINGS REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE: FIRE SEPARATION DISTANCE IS MEASURED TO THE CENTERLINE OF A STREET, ALLEY OR PUBLIC WAY.
 - 19" STREET GREATER THAN 30', NO RATINGS REQUIRED
 - WOOD STREET GREATER THAN 30', NO RATINGS REQUIRED
 - LANE 16 GREATER THAN 30', NO RATINGS REQUIRED
 - ALLEY IS APPROXIMATELY 16' WIDE, SEPARATION DISTANCE GREATER THAN OR EQUAL TO 5' BUT LESS THAN 10', 1 HOUR RATED EXTERIOR WALL REQUIRED FOR B AND R USES (EXISTING CONSTRUCTION TO REMAIN)

CHAPTER 7 - FIRE & SMOKE PROTECTION FEATURES

- 706 FIRE WALLS
- 706.2 STRUCTURAL STABILITY: FIRE WALLS SHALL ALLOW THE COLLAPSE OF THE STRUCTURE ON EITHER SIDE WITHOUT COLLAPSE OF THE WALL UNDER FIRE CONDITIONS. FIRE WALLS DESIGNED PER NFPA 221 SHALL BE DEEMED TO COMPLY.
- TABLE 706.4 2 HR FOR B AND R4 USES (FOOTNOTE A ALLOWS 2 HR FOR B-USE IN TYPE 2 CONSTRUCTION.)
- 708 FIRE PARTITIONS:
- 708.3 FIRE PARTITIONS SHALL BE 1 HR EXCEPT AS BELOW:
 - CORRIDORS IN R-4 USE CAN BE 1/2 HR WHERE BUILDING IS FULLY FIRE SUPPRESSED.
 - SLEEP ROOM SEPARATION IN TYPE 2B BUILDINGS CAN BE 1/2 HR WHERE BUILDING IS FULLY FIRE SUPPRESSED.
- 711 HORIZONTAL ASSEMBLIES
- 711.2.3 SUPPORTING CONSTRUCTION SHALL BE OF SAME RATING AS HORIZONTAL ASSEMBLY EXCEPT IN 2B BUILDINGS AS FOLLOWS:
 - SEPARATION OF SLEEPING UNITS DOES NOT REQUIRE RATING OF SUPPORTING STRUCTURE.
- 711.2.4.3 SLEEPING UNIT SEPARATION SHALL NOT BE LESS THAN 1 HR EXCEPT AS FOLLOWS:
 - EXCEPTION: FULLY FIRE-SUPPRESSED 2B BUILDINGS REQUIRE ONLY 1/2 HR RATING.

CHAPTER 8 - INTERIOR FINISHES (PER TABLE 803.11):

- GROUP B: INTERIOR EXIT STAIRWAYS & RAMPS & EXIT PASSAGEWAYS TYPE B
 CORRIDORS & ENCLOSURE FOR EXIT ACCESS STAIRWAYS & RAMPS TYPE C
 ROOMS AND ENCLOSED SPACES TYPE C
- GROUP R-4: INTERIOR EXIT STAIRWAYS & RAMPS & EXIT PASSAGEWAYS TYPE B
 CORRIDORS & ENCLOSURE FOR EXIT ACCESS STAIRWAYS & RAMPS TYPE C
 ROOMS AND ENCLOSED SPACES TYPE C

CHAPTER 9 - FIRE PROTECTION SYSTEMS

- 903.4 THE AUTOMATIC SPRINKLER SYSTEM AND FIRE ALARM WILL BE MONITORED PER CODE.
- 905.3.1 STANDPIPES ARE NOT REQUIRED FOR BUILDINGS WHOSE HIGHEST STORY IS LESS THAN 30 TO THE LOWEST LEVEL OF FIRE DEPARTMENT ACCESS.

CHAPTER 10 - MEANS OF EGRESS

- 1006.2.1 SPACES WITH ONE EXIT OR EXIT ACCESS
 FOR FULLY FIRE SUPPRESSED BUILDING:

MAXIMUM OCCUPANT LOAD	COMMON PATH OF EGRESS TRAVEL DISTANCE
B 49	B 100'
R4 10	R4 125'
- 1006.3.1 EGRESS BASED ON OCCUPANT LOAD
 TABLE 1006.3.1 MINIMUM NUMBER OF EXITS REQUIRED PER STORY: 2
- 1010.1.1 SIZE OF DOORS: 32" CLEAR MINIMUM AND SIZED FOR OCCUPANT LOAD
 EXCEPTION (7): IN OTHER THAN R1, DOES NOT APPLY TO INTERIOR EGRESS DOORS WITHIN A SLEEPING UNIT UNLESS THE UNIT IS REQUIRED TO BE ACCESSIBLE.
- 1010.1.2 DOOR SWING:
 MANUAL HORIZONTAL SLIDING DOORS ARE PERMITTED IN OTHER THAN USE GROUP H WITH AN OCCUPANT LOAD OF 10 OR LESS.
- 1017.2 EXIT ACCESS TRAVEL DISTANCE
 B: 300'
 R4: 250'
- 1020 CORRIDORS
 TABLE 1020.1 CORRIDORS SERVING MORE THAN 10 OCCUPANTS IN R4 USE AREAS. IF FULLY FIRE SUPPRESSED: 1/2 HR FIRE RATING CORRIDORS IN CSU SHALL BE 1/2 HR FIRE PARTITIONS.
- 1020.4 DEAD END CORRIDORS:
 EXCEPTION (2) FULLY FIRE SUPPRESSED B AND R4 USES MAXIMUM DEAD-END CORRIDORS SHALL BE 50'
 EXCEPTION (3) NOT A DEAD-END IF LENGTH IS LESS THAN 2.5 TIMES THE LEAST WIDTH
- 1023.2 INTERIOR EXIT STAIRS SHALL BE (1) HOUR RATED SHAFT ENCLOSURE BASED ON CONNECTING LESS THAN FOUR STORIES.
 NOTES:
 1028.1 EXCEPTION 2: STAIR S-101 MAY EGRESS THROUGH A VESTIBULE
 1. AFTER HOURS VESTIBULE 105 MUST:
 A. 2.1 BE SEPARATED FROM AREAS BELOW BY (1) HOUR
 B. 2.2 LESS THAN 10' TO THE EXTERIOR OF THE BUILDING AND NO LONGER THAN 30'
 C. 2.3 SEPARATED FROM THE REMAINDER OF THE LEVEL OF EXIT DISCHARGE BY FIRE PARTITIONS
 D. 2.4 THE AREA IS USED ONLY AS A MEANS OF EGRESS AND EXITS DIRECTLY TO THE EXTERIOR

CHAPTER 29 - PLUMBING SYSTEMS

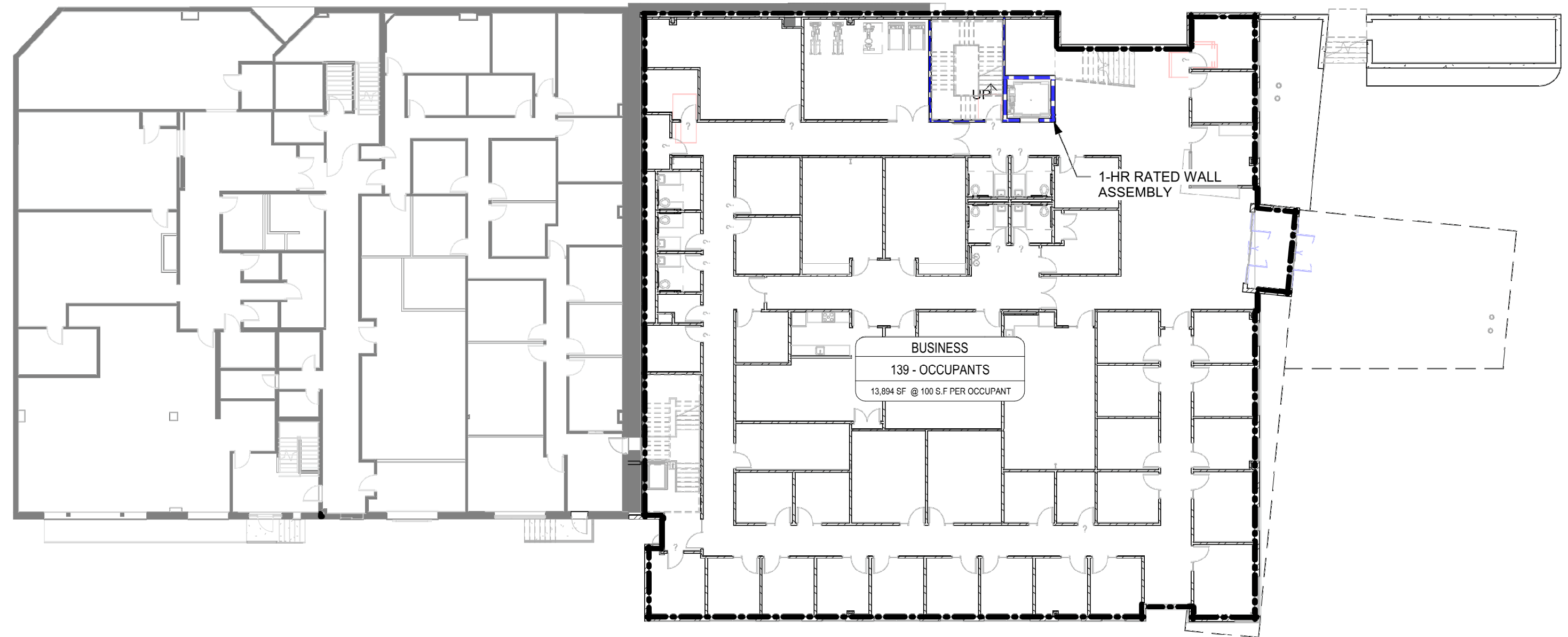
- B-USE OCCUPANTS = 206 TOTAL: 103 MALE, 103 FEMALE
- WATER CLOSETS 1 PER 50: 3 MALE, 3 FEMALE REQUIRED (TOTAL 6), 10 UNISEX PROVIDED
- LAVATORIES 1 PER 80: 2 MALE, 2 FEMALE REQUIRED (TOTAL 4), 10 UNISEX PROVIDED
- DRINKING FOUNTAINS 1 PER 100: 3 PROVIDED, 3 PROVIDED (2 PER FLOOR, PLUS ADDITIONAL DRINKING WATER AVAILABLE AT KITCHENS & BREAK ROOMS)
- SERVICE SINKS 1: 1 REQUIRED, 1 PROVIDED (PER FLOOR)
- R4-USE OCCUPANTS = 16 TOTAL
- WATER CLOSETS 1 PER 10: 2 REQUIRED, 16 PROVIDED
- LAVATORIES 1 PER 10: 2 REQUIRED, 16 PROVIDED
- SHOWERS 1 PER 8: 2 REQUIRED, 16 PROVIDED
- DRINKING FOUNTAINS 1 PER 100: 1 REQUIRED, 1 PROVIDED (2 PER FLOOR, PLUS ADDITIONAL DRINKING WATER AVAILABLE AT KITCHENS & BREAK ROOMS)
- SERVICE SINKS 1: 1 REQUIRED, 1 PROVIDED (PER FLOOR)

	WATER CLOSETS			LAVATORIES			DRINKING FOUNTAINS	SHOWERS	SERVICE SINKS
	MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX			
"B" USE REQ'D:	1	0	0	1	0	0	0	0	0
"R-4" USE REQ'D:	1	0	0	0	0	0	1	0	0

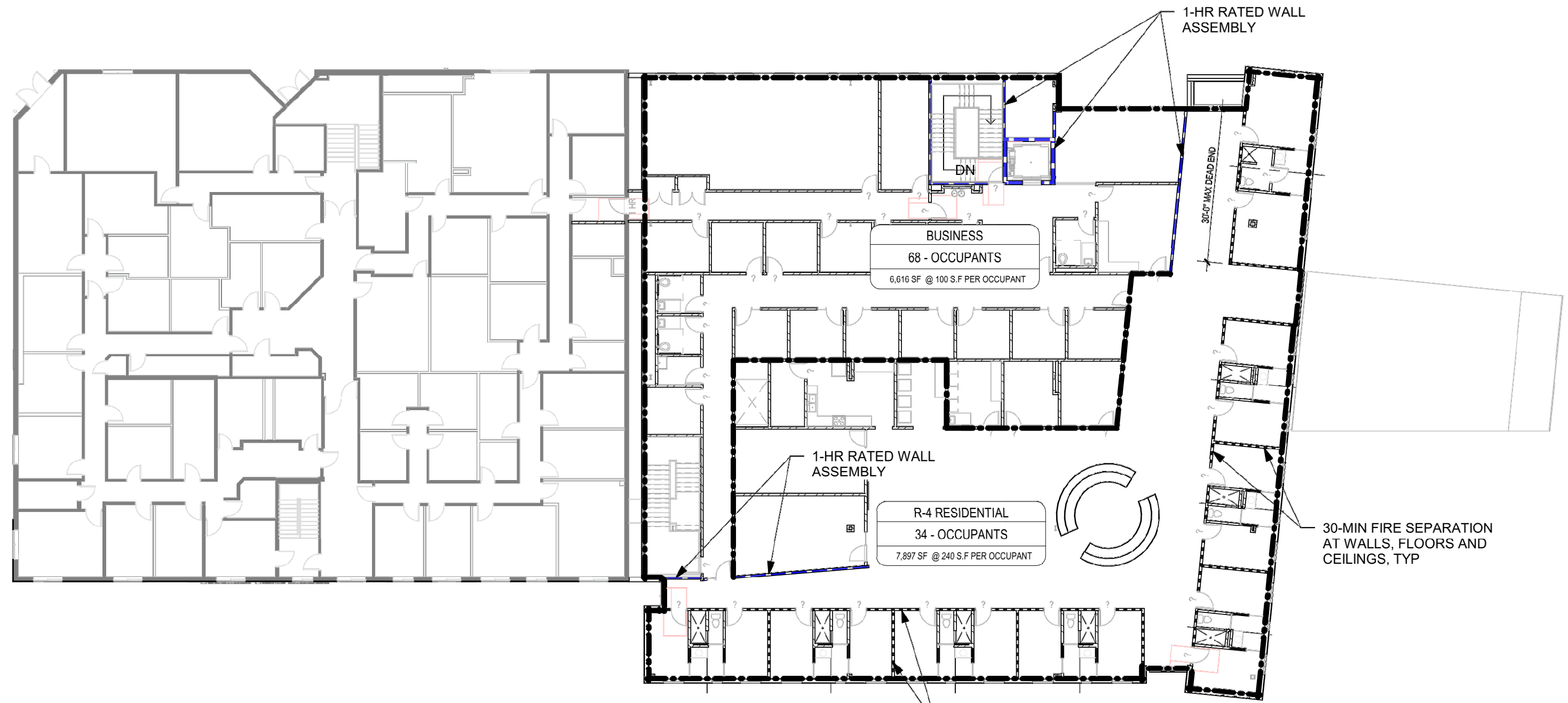
TOTAL	WATER CLOSETS			LAVATORIES			DRINKING FOUNTAINS	SHOWERS	SERVICE SINKS
	MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX			
REQUIRED:	2	2	2	2	0	1	1	1	1
PROVIDED:	2	2	2	2	2	2	5	1	1

CODE ANALYSIS - OCCUPANCY				
AREA NAME	AREA	AREA PER OCCUPANT	AREA TYPE (GROSS vs NET)	OCCUPANT LOAD
FIRST FLOOR				
BUSINESS	13,894 SF	100 SF	GROSS	139
SECOND FLOOR				
BUSINESS	6,612 SF	100 SF	GROSS	67
R-4 RESIDENTIAL	7,897 SF	200 SF	GROSS	40
BUILDING TOTAL				246

OCCUPANCY	AREA	OCCUPANCY LOAD	TOTAL REQUIRED - WATER CLOSET COUNT		TOTAL PROVIDED WC	TOTAL REQUIRED - LAVATORY COUNT		TOTAL PROVIDED LAVATORIES (UNISEX)	TOTAL - DRINKING FOUNTAIN COUNT	TOTAL PROVIDED DRINKING FOUNTAINS	TOTAL - OTHER COUNT
			TOTAL - MALE WATER CLOSET COUNT	TOTAL - FEMALE WATER CLOSET COUNT		TOTAL - MALE LAVATORY COUNT	TOTAL - FEMALE LAVATORY COUNT				
B	20,510 SF	207	3	3	10	2	2	10	3	4	2
R-4	7,897 SF	34	2	2	8	2	2	8	1	0	1



1 FIRST FLOOR CODE PLAN
 1" = 20'-0"



2 SECOND FLOOR CODE PLAN
 1" = 20'-0"



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 - DESIGN DEVELOPMENT
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- REVIEW
 - BIDDING
 - CONSTRUCTION

NORTHWOOD HEALTH SYSTEMS
BUILDING ADDITION & RENOVATION
 111 19TH STREET, WHEELING, WV 26003
CODE ANALYSIS

REVISION	

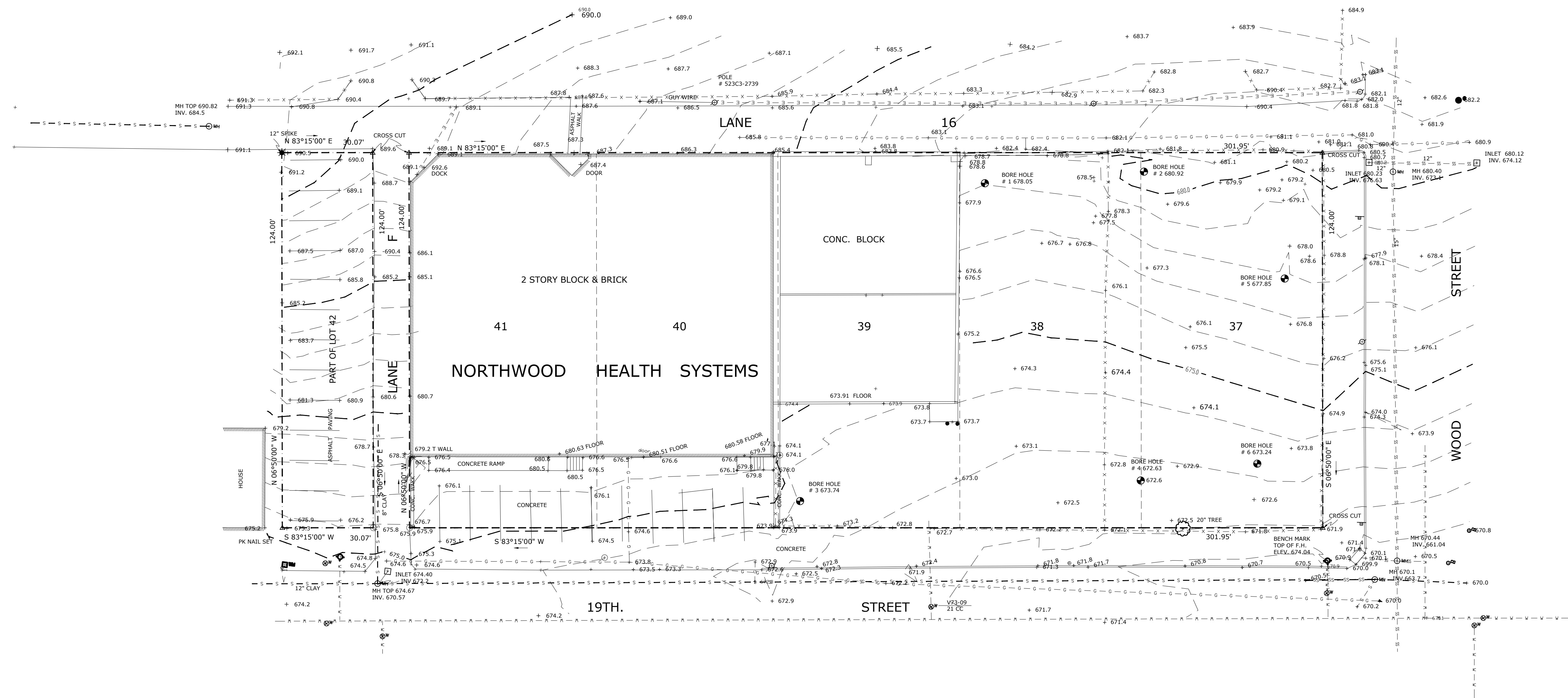
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PROJECT NO. 19-093	
SCALE: AS NOTED	DATE: 4/10/2020

SHEET
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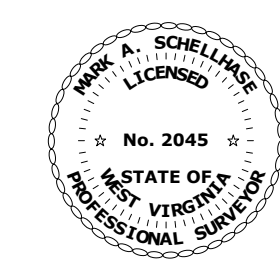
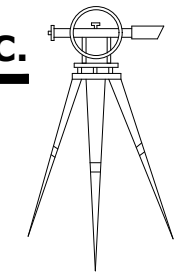
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NORTHWOOD HEALTH SYSTEMS
BUILDING ADDITION & RENOVATION
 111 19TH STREET, WHEELING, WV 26003
SITE SURVEY



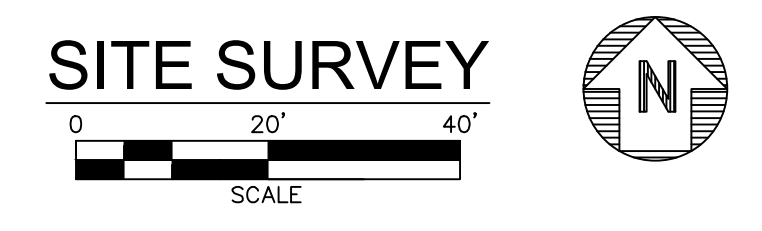
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	DECIDUOUS TREES		IRON PIN
	EVERGREEN TREES		MAILBOX
	BUSH OR SHRUB		MANHOLE
	CATCH BASIN OR DROP INLET		MONUMENT
	FIRE HYDRANT		PHONE BOOTH
	FLAG POLE		RAILROAD MARKER (SIGN)
	GAS METER		TELEPHONE PEDESTAL
	GAS VALVE		TELEPHONE MARKER
	LIGHT POLE		TEST BORING
	POWER/LIGHT POLE		TEST PIT
	POWER POLE		WELL
	TELEPHONE POLE		WATER METER
	POWER & TELE. POLE		WATER MARKER
	POWER, LIGHT, & TV POLE		WATER VALVE
	POWER & TV POLE		YARD DRAIN
	ANCHOR POLE		YARD HYDRANT
	DENOTES ELEC.		YARD LIGHT
	DENOTES GAS		
	DENOTES FENCE		
	DENOTES SAN. SEWER		
	DENOTES STORM SEWER		
	DENOTES WATER		

STEGMAN & SCHELLHASE, INC.
 CIVIL ENGINEERS AND SURVEYORS
 51 - 15th Street - P.O. Box 187
 Wheeling, WV 26003
 (304) 232-8080 - Phone
 (304) 232-8087 - Fax



MARK A. SCHELLHASE
 WV PLS No. 2045

ELEVATION AND LOCATION MAP OF
 NORTHWOOD HEALTH SYSTEMS, INC., PROPERTY
 CITY OF WHEELING, OHIO COUNTY, WEST VIRGINIA



CALL BEFORE YOU DIG,
 DRILL OR BLAST!
 WEST VIRGINIA LAW REQUIRES 48
 HOURS NOTICE FOR CONSTRUCTION
 PHASE AND 10 DAYS IN DESIGN STAGE
 MISS UTILITY OF WEST VIRGINIA, INC.
 1-800-245-4848

REVISION

DRAWN BY: PEK	CHECKED BY: KMN
PROJECT NO. 19-093	
SCALE: AS NOTED	DATE: 04/10/2020

SHEET
C001

PLAN NOTES

- CONTRACTORS SHALL SCHEDULE THEIR OPERATIONS AND CARRY OUT THE WORK IN A MANNER TO CAUSE THE LEAST DISTURBANCE AND/OR INTERFERENCE WITH NORMAL TRAFFIC FLOW.
- THE EXISTING UNDERGROUND INFORMATION AND TOPOGRAPHIC INFORMATION IS BASED ON AVAILABLE INFORMATION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION AND FOR ANY DAMAGES WHICH OCCUR BY HIS FAILURE TO LOCATE OR PRESERVE THESE UTILITIES. IF DURING CONSTRUCTION OPERATIONS, A CONTRACTOR ENCOUNTERS UTILITIES IN LOCATION OTHER THAN THOSE SHOWN ON THE PLANS, HE SHALL IMMEDIATELY NOTIFY THE OWNER AND TAKE THE NECESSARY STEPS TO PROTECT THE FACILITY AND ASSURE THE CONTINUANCE OF SERVICE.
- ALL CONTRACTORS SHALL MAINTAIN POSITIVE DRAINAGE AT ALL TIMES AND SHALL BACKFILL AND GRADE EXCAVATED AREAS SO AS TO ELIMINATE PONDING ON THE SITE, OR ADJACENT PROPERTY.
- CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF EXISTING ELEVATIONS AT CRITICAL POINTS SUCH AS APPROACHES OF DRAINAGE STRUCTURES, CURBING, ETC. VERIFICATION SHALL BE PERFORMED DURING LAYOUT STAGES AND SIGNIFICANT DISCREPANCIES REPORTED TO THE ENGINEER IMMEDIATELY.
- CONTRACTOR SHALL CONDUCT HIS OPERATIONS SUCH THAT THE FLOW OF ALL EXISTING SEWERS AND LATERALS WILL BE MAINTAINED AT ALL TIMES.
- ALL PAVEMENT IS TO BE REMOVED SHALL BE SAW CUT FULL TO FULL DEPTH AT EXISTING CONSTRUCTION JOINTS. ALL SAW CUTTING MUST BE DONE WET TO CONFORM TO THE EPA'S FUGITIVE DUST ACT.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING AND MARKING EXISTING PROPERTY CORNERS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL PLACE CORNER PINS IF NEEDED.

CODED NOTES

- EXISTING TWO STORY BUILDING TO REMAIN. PROTECT DURING CONSTRUCTION.
- EXISTING FENCING SYSTEM TO BE COMPLETELY REMOVED INCLUDING GATES.
- LIMITS OF CONSTRUCTION. REMOVE ALL ASPHALT PAVEMENT AND INTEGRAL CONCRETE CURBING AND SIDEWALK WITHIN LIMITS. SAW CUT FULL DEPTH 6" OF THE ADJACENT PUBLIC ROAD PRIOR TO REMOVAL OF CURBING. LIMITS OF CONSTRUCTION = 0.55 ACRES.
- EXISTING STORM BASIN TO REMAIN. PROTECT DURING CONSTRUCTION. CLEAN OUT BASIN AT THE END OF CONSTRUCTION.
- EXISTING POWER POLE TO REMAIN. PROTECT DURING CONSTRUCTION.
- REMOVE EXISTING WATER AND FIRE LINES BACK TO CURB LINE AND CAP FOR EXTENSION UNDER NEW WORK.
- EXISTING ONE STORY CONCRETE BUILDING TO BE COMPLETELY REMOVED INCLUDING FOUNDATION AND FOOTERS. ADJACENT TWO STORY BUILDING TO REMAIN. ADJACENT RETAINING WALL STRUCTURE ALONG ALLEY TO REMAIN.
- EXISTING SIGN REMOVED AND REINSTALLED.
- EXISTING TREE TO BE REMOVED.
- CONTRACTOR SHALL PROTECT ALLEY DURING CONSTRUCTION.
- PROPOSED BUILDING FOOTPRINT.
- LIMITS OF PAVEMENT REMOVAL.
- EXISTING SIGN TO BE REMOVED AND RELOCATED. SEE LAYOUT PLAN FOR NEW LOCATION.
- REMOVE STRIPING SHOWN IN DARK, DASHED LINE AND WHEEL STOP.
- LIMITS OF CLEARING AND GRADING = 0.6 ACRES.
- INSTALL CONSTRUCTION ENTRANCE PER DETAIL ON SHEET C400.
- EXISTING FIRE HYDRANT.



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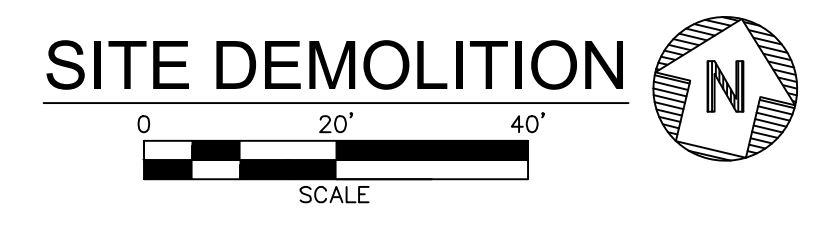
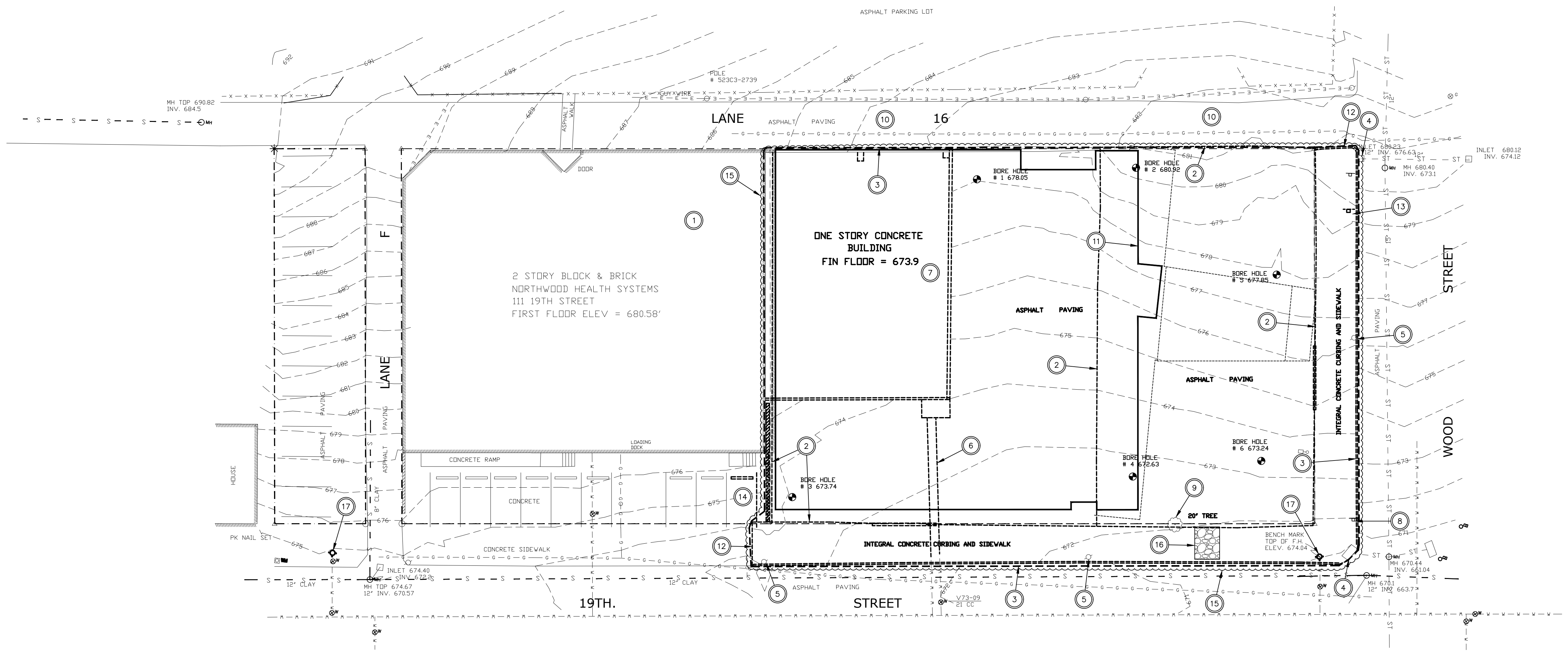
- REVIEW
- BIDDING
- CONSTRUCTION

NORTHWOOD HEALTH SYSTEMS
BUILDING ADDITION & RENOVATION
 111 19TH STREET, WHEELING, WV 26003
SITE DEMOLITION PLAN

REVISION	

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PROJECT NO. 19-093	
SCALE:	DATE:
AS NOTED	04/10/2020

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 WEST VIRGINIA LAW REQUIRES 48
 HOURS NOTICE FOR CONSTRUCTION
 PHASE AND 10 DAYS IN DESIGN STAGE
 MISS UTILITY OF WEST VIRGINIA, INC.
 1-800-245-4848

Drawing = M:\2019\19192\Design\Civil\19192_C200 - SITE GRADING AND STORM SEWER PLAN - Copy.dwg Tab = C200 Username = PKasmar Date = Apr 24, 2020 - 9:14am

STORMWATER MANAGEMENT NOTES

SITE ACREAGE 0.85 ACRES
PROJECT'S DISTURBED AREA 0.55 ACRES

PRE DEVELOPED CONDITIONS

DESCRIPTION	AREA (AC)	CN#
IMPERVIOUS AREAS	0.85	98
TOTAL	0.85	98

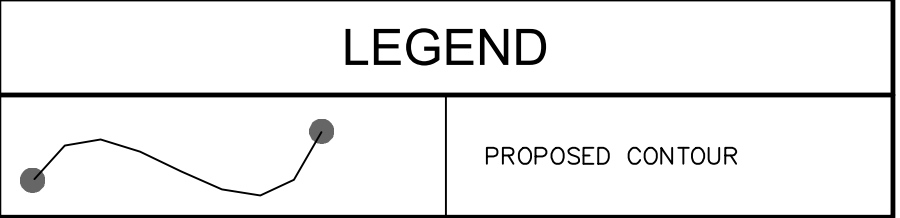
DEVELOPED CONDITIONS

DESCRIPTION	AREA (AC)	CN#
IMPERVIOUS AREAS	0.80	98
LANDSCAPE AREA	0.05	76
TOTAL	0.85	96

THIS PROJECT RESULTS IN A NET DECREASE IN IMPERVIOUS AREA AND A LOWER CURVE NUMBER.

- CODED NOTES**
- PROPOSED CATCH BASIN "A" PROPOSED CASTING = 680.5, PROPOSED 12" INV (S) = 677.5.
 - PROPOSED 12" STORM.
 - INSTALL INLET PROTECTION AND MAINTAIN DURING CONSTRUCTION.
 - PROPOSED CATCH BASIN "B". PROPOSED CASTING = 677.0, PROPOSED 12" INV (S+N) = 674.0.
 - PROPOSED CATCH BASIN "C". PROPOSED CASTING = 672.3, PROPOSED 12" INV (N+SE) = 669.3, PROPOSED 6" INV (W) = 669.3.
 - INSTALL 6" STORM LATERAL AND END WITH CLEANOUT AT BUILDING AT INVERT = 670.5.
 - MAKE SILT TIGHT CONNECTION INTO EXISTING BASIN AT INVERT = 667.0.

- CONSTRUCTION NOTES**
- CONTRACTORS SHALL SCHEDULE THEIR OPERATIONS AND CARRY OUT THE WORK IN A MANNER TO CAUSE THE LEAST DISTURBANCE AND/OR INTERFERENCE WITH NORMAL TRAFFIC FLOW.
 - THE EXISTING UNDERGROUND INFORMATION AND TOPOGRAPHIC INFORMATION IS BASED ON THE PROJECT'S SURVEY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION AND FOR ANY DAMAGES WHICH OCCUR BY HIS FAILURE TO LOCATE OR PRESERVE THESE UTILITIES. IF DURING CONSTRUCTION OPERATIONS, A CONTRACTOR ENCOUNTERS UTILITIES IN LOCATION OTHER THAN THOSE SHOWN ON THE PLANS, HE SHALL IMMEDIATELY NOTIFY THE OWNER AND TAKE THE NECESSARY STEPS TO PROTECT THE FACILITY AND ASSURE THE CONTINUANCE OF SERVICE.
 - ALL CONTRACTORS SHALL MAINTAIN POSITIVE DRAINAGE AT ALL TIMES AND SHALL BACKFILL AND GRADE EXCAVATED AREAS SO AS TO ELIMINATE PONDING ON THE SITE, OR ADJACENT PROPERTY.
 - CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF EXISTING ELEVATIONS AT CRITICAL POINTS SUCH AS APPROACHES OF DRAINAGE STRUCTURES, CURBING, ETC. VERIFICATION SHALL BE PERFORMED DURING LAYOUT STAGES AND SIGNIFICANT DISCREPANCIES REPORTED TO THE ENGINEER IMMEDIATELY.
 - CONTRACTOR SHALL CONDUCT HIS OPERATIONS SUCH THAT THE FLOW OF ALL EXISTING SEWERS AND LATERALS WILL BE MAINTAINED AT ALL TIMES.
 - VERIFY THE PROJECT'S BENCHMARK WITH STEGMAN & SCHELLHASE, INC.
 - FOR INSTALLATION OF UTILITIES WITHIN THE FOOTPRINT OF THE EXISTING PARKING LOT, SAW CUT PAVEMENT TO FULL DEPTH AND REPLACE IN KIND. COAT VERTICAL SURFACES OF EXISTING PAVEMENT WITH BITUMINOUS MATERIAL PRIOR TO INSTALLING NEW PAVEMENT.



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CONSTRUCTION

NORTHWOOD HEALTH SYSTEMS

BUILDING ADDITION & RENOVATION

111 19TH STREET, WHEELING, WV 26003

SITE GRADING AND STORM SEWER PLAN

REVISION

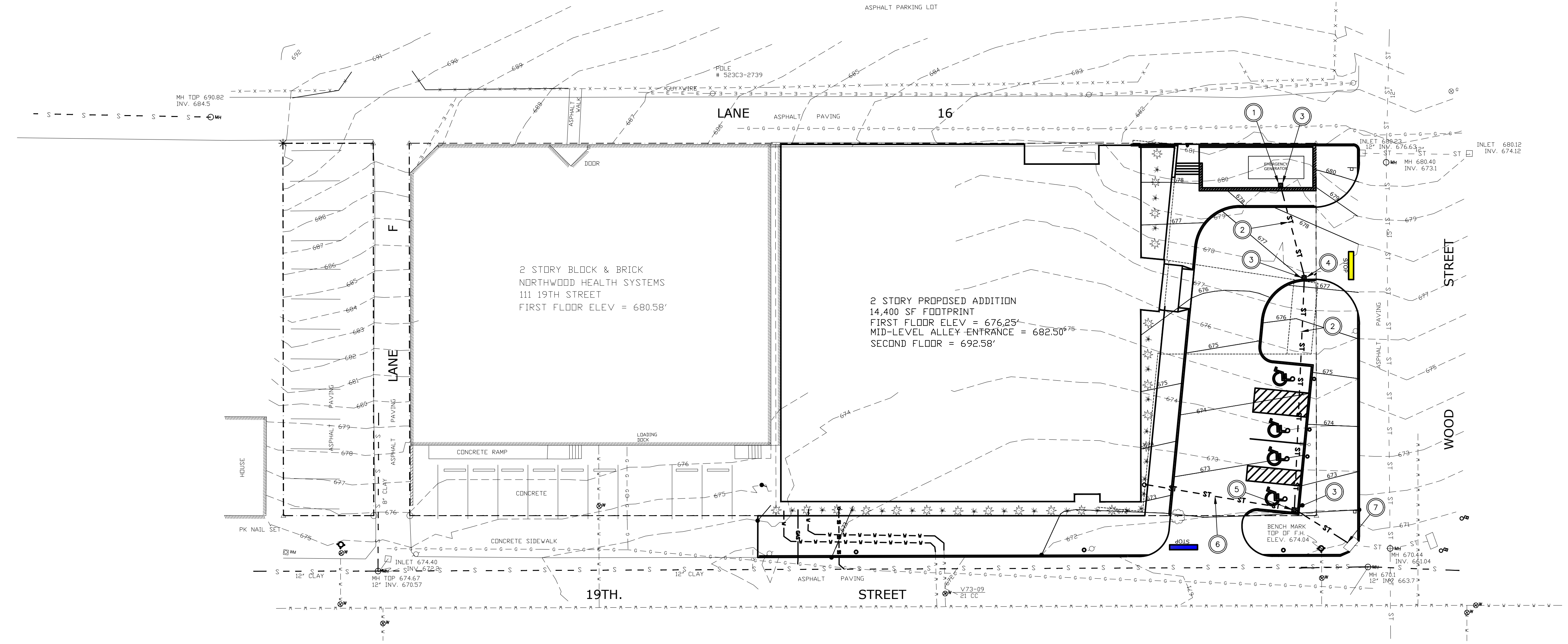
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PROJECT NO. 19-093

SCALE: AS NOTED DATE: 04/10/2020

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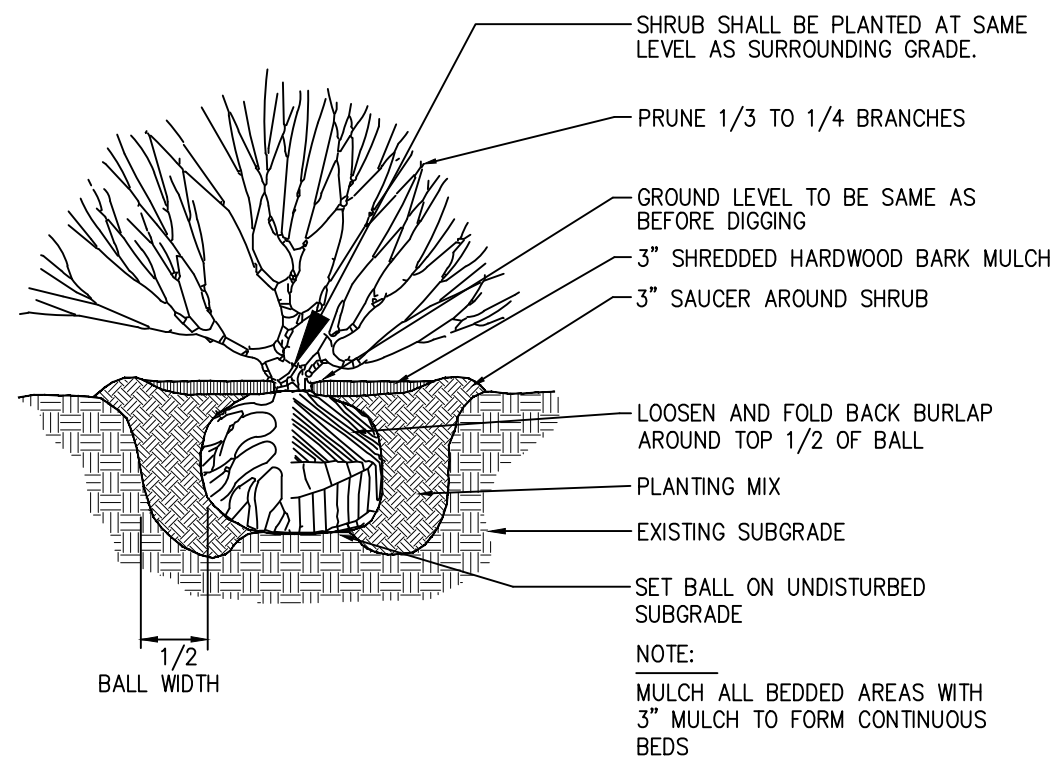
SITE GRADING AND STORM SEWER PLAN

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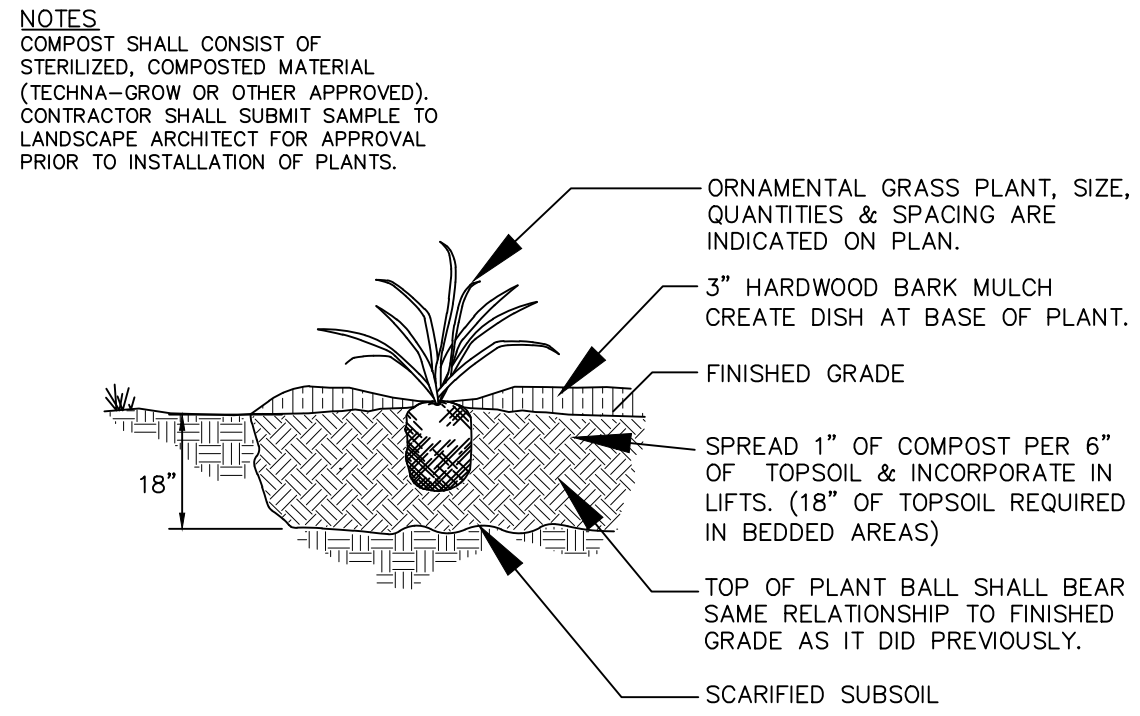
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SHRUB PLANTING DETAIL
N.T.S.



ORNAMENTAL GRASS PLANTING DETAIL
N.T.S.

- CODED NOTES**
1. INSTALL CONCRETE SIDEWALK WITH INTEGRAL CURBING PER CITY OF WHEELING STANDARDS. SIDEWALK IS TO EXTEND FROM THE CURB TO THE RIGHT OF WAY. INSTALL BITUMINOUS MATERIAL ON THE VERTICAL FACE OF THE EXISTING ASPHALT PAVEMENT AND INSTALL ASPHALT PAVEMENT BETWEEN EXISTING ROADWAY AND THE NEW CURB FACE. MATCH EXISTING ROADWAY PAVEMENT SECTION.
 2. PROPOSED ENTRANCE. INSTALL CONCRETE PAVEMENT WITHIN RIGHT OF WAY PER DETAIL ON SHEET C500. TAPER NEW CURBING INTO ENTRANCE.
 3. INSTALL 6" VERTICAL CURBING PER DETAIL ON SHEET C500.
 4. INSTALL 8' HANDICAP SPACE WITH STRIPING AND HANDICAP SIGN. SEE DETAILS ON SHEET C501. TYPICAL OF 4.
 5. INSTALL 8' WIDE CONCRETE SIDEWALK WITH INTEGRAL CURBING PER DETAIL ON SHEET C500.
 6. LIMITS OF NEW SIDEWALK AND CURBING. MATCH EXISTING TOP OF SIDEWALK AND CURBING.
 7. PROPOSED BOLLARD PER DETAIL ON SHEET C500. INSTALL 8" OFFSET FROM RIGHT OF WAY.
 8. TOP OF SIDEWALK TO MATCH TOP OF CONCRETE ENTRANCE. (TYPICAL).
 9. PROPOSED LANDSCAPE AREA.
 10. INSTALL FROST PROOF SLAB AT DOORWAY.
 11. INSTALL CONCRETE PAVEMENT PER DETAIL ON SHEET C500.
 12. PROPOSED BUILDING FOOTPRINT.
 13. PROPOSED 8' WIDE WALKWAY WITH STAIRS/RAILING FROM ALLEY TO BUILDING.
 14. PROPOSED RETAINING WALL. SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
 15. INSTALL 9' WIDE UNLOADING SPACE AND STRIP WITH 4" WIDE LINES AS SHOWN.
 16. INSTALL 5' WIDE UNLOADING SPACE AND STRIP WITH 4" WIDE LINES AS SHOWN.
 17. TOP OF NEW SIDEWALK TO BE FLUSH WITH EXISTING ALLEY PAVEMENT.
 18. REINSTALL EXISTING CITY SIGN.
 19. PAINT STOP BAR ON PAVEMENT AS SHOWN.
 20. INSTALL CONCRETE PAD PER CONCRETE DETAIL ON SHEET C500.
 21. INSTALL 5' WIDE CONCRETE SIDEWALK WITH INTEGRAL CURBING PER DETAIL ON SHEET C500.
 22. INSTALL 4' HIGH RETAINING WALL. SEE STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
 23. PAINT NEW CURBING ALONG 19TH STREET YELLOW.
 24. INSTALL "NO PARKING - FIRE LANE" SIGN.
 25. PROPOSED LIGHT POLE TYPE "A".

- CONSTRUCTION NOTES**
1. CONTRACTORS SHALL SCHEDULE THEIR OPERATIONS AND CARRY OUT THE WORK IN A MANNER TO CAUSE THE LEAST DISTURBANCE AND/OR INTERFERENCE WITH NORMAL TRAFFIC FLOW.
 2. THE EXISTING UNDERGROUND INFORMATION AND TOPOGRAPHIC INFORMATION IS BASED ON THE PROJECT'S SURVEY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION AND FOR ANY DAMAGES WHICH OCCUR BY HIS FAILURE TO LOCATE OR PRESERVE THESE UTILITIES. IF DURING CONSTRUCTION OPERATIONS, A CONTRACTOR ENCOUNTERS UTILITIES IN LOCATION OTHER THAN THOSE SHOWN ON THE PLANS, HE SHALL IMMEDIATELY NOTIFY THE OWNER AND TAKE THE NECESSARY STEPS TO PROTECT THE FACILITY AND ASSURE THE CONTINUANCE OF SERVICE.
 3. ALL CONTRACTORS SHALL MAINTAIN POSITIVE DRAINAGE AT ALL TIMES AND SHALL BACKFILL AND GRADE EXCAVATED AREAS SO AS TO ELIMINATE PONDING ON THE SITE, OR ADJACENT PROPERTY.
 4. CONTRACTOR IS RESPONSIBLE FOR THE VERIFICATION OF EXISTING ELEVATIONS AT CRITICAL POINTS SUCH AS APPROACHES OF DRAINAGE STRUCTURES, CURBING, ETC. VERIFICATION SHALL BE PERFORMED DURING LAYOUT STAGES AND SIGNIFICANT DISCREPANCIES REPORTED TO THE ENGINEER IMMEDIATELY.
 5. CONTRACTOR SHALL CONDUCT HIS OPERATIONS SUCH THAT THE FLOW OF ALL EXISTING SEWERS AND LATERALS WILL BE MAINTAINED AT ALL TIMES.

LEGEND

	RETAINING WALL
	CONCRETE PAVEMENT



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DRAWING STATUS

DESIGN STAGE

- SCHEMATIC DESIGN
- DESIGN DEVELOPMENT
- CONSTRUCTION DRAWINGS

RELEASED FOR

- REVIEW
- BIDDING
- CONSTRUCTION

NORTHWOOD HEALTH SYSTEMS
BUILDING ADDITION & RENOVATION
111 19TH STREET, WHEELING, WV 26003
SITE PAVING PLAN

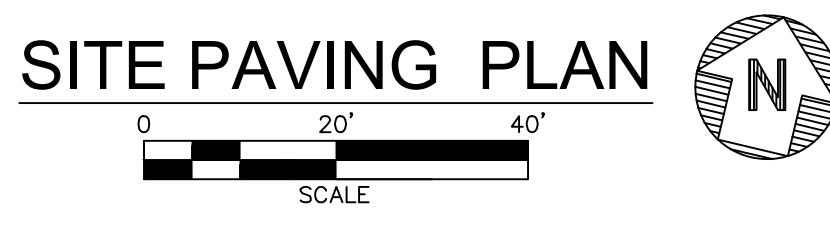
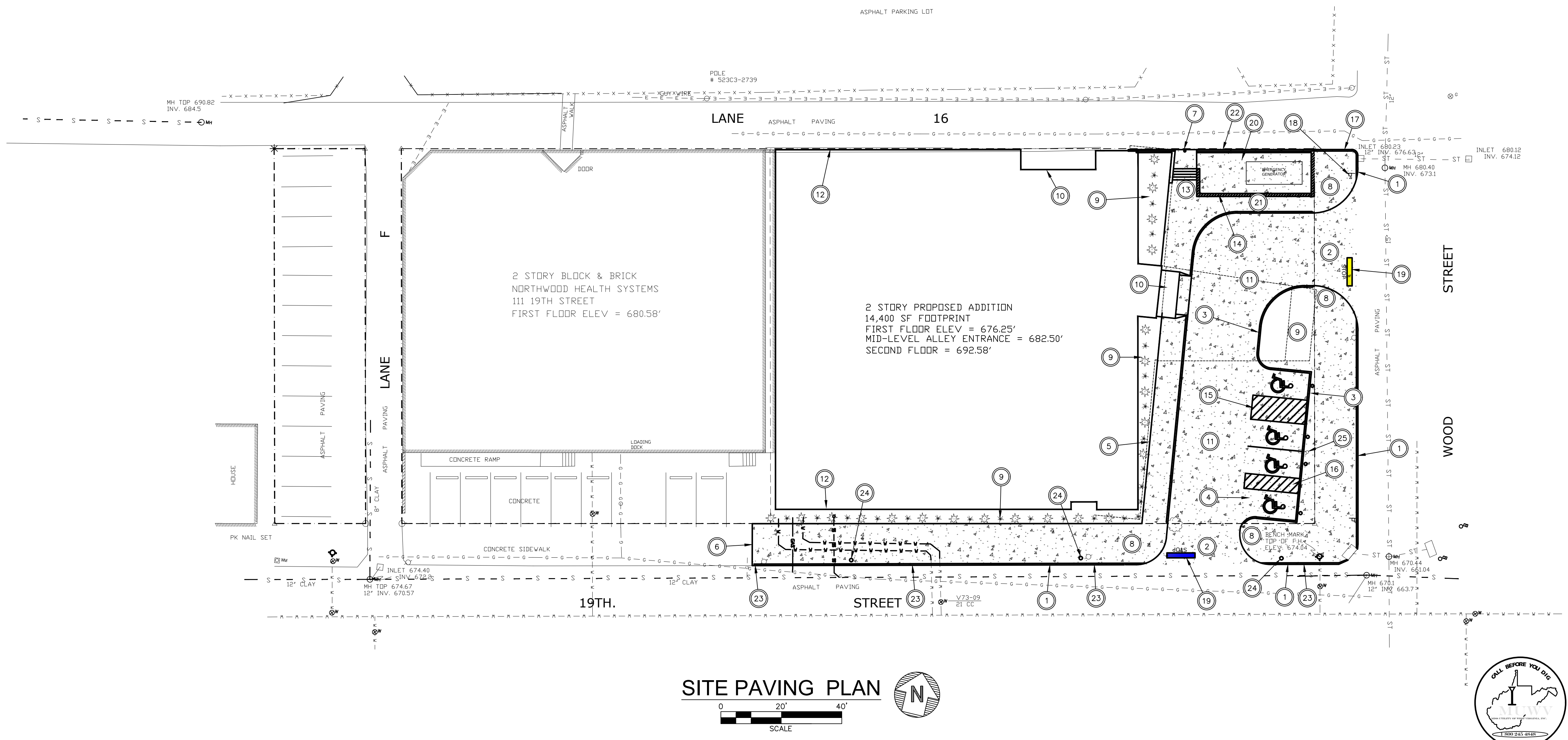
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DRAWN BY: _____ CHECKED BY: _____

PROJECT NO. 19-093

SCALE: AS NOTED DATE: 04/10/2020

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CALL BEFORE YOU DIG,
DRILL OR BLAST!
WEST VIRGINIA LAW REQUIRES 48 HOURS NOTICE FOR CONSTRUCTION PHASE AND 10 DAYS IN DESIGN STAGE MISS UTILITY OF WEST VIRGINIA, INC. 1-800-245-4848

STORM WATER POLLUTION PLAN - DURING CONSTRUCTION

EROSION, SEDIMENT CONTROL AND CONSERVATION NARRATIVE

DESCRIPTION: THE CONSTRUCTION ACTIVITIES ON THIS SITE WILL RESULT IN A BUILDING ADDITION AND CONSTRUCTION ENTRANCES. EROSION AND SEDIMENT CONTROLS TO BE INSTALLED SHALL CONFORM TO THE WATER MANAGEMENT AND SEDIMENT CONTROL FOR URBANIZING AREA'S HANDBOOK BY THE SOIL CONSERVATION SERVICE IN WEST VIRGINIA AND ARE TO BE HANDLED AS FOLLOWS:

1.0 STAGING AND SCHEDULE OF EARTHMOVING ACTIVITIES

THE FOLLOWING IS A DESCRIPTION OF APPROPRIATE CONTROLS AND MEASURES THAT WILL BE IMPLEMENTED AT THE CONSTRUCTION SITE INCLUDING: (1) INITIAL EROSION CONTROL MEASURES: SILT FENCING AND CONSTRUCTION ENTRANCES (2) INTERMEDIATE CONTROL MEASURES ONCE DEMOLITION WORK HAS BEEN COMPLETED - STORM SEWER SYSTEM INCLUDING CATCH BASINS AND INFILTRATION TRENCH. THIS IDENTIFIES THE APPROPRIATE STAGING AND ACCESS REQUIREMENTS FOR CONSTRUCTION. ADDITIONALLY, THE APPROPRIATE CONTROL MEASURES AND THE TIMING DURING THE CONSTRUCTION PROCESS ARE DESCRIBED FOR EACH MAJOR ACTIVITY. IMPLEMENTATION AND MAINTENANCE OF ALL CONTROLS DESCRIBED IN THIS SECTION ARE THE RESPONSIBILITY OF THE CONSTRUCTION CONTRACTOR.

CONTRACTORS MUST MAKE USE OF PRACTICES WHICH PRESERVE EXISTING NATURAL CONDITIONS AS MUCH AS POSSIBLE. SUCH PRACTICES MAY INCLUDE: PRESERVING EXISTING VEGETATION AND VEGETATIVE BUFFER STRIPS; PHASING OF CONSTRUCTION OPERATIONS IN ORDER TO MINIMIZE THE AMOUNT OF DISTURBED LAND AT ANY ONE TIME AND DESIGNATION OF TREE PRESERVATION AREAS OR OTHER PROTECTIVE CLEARING OR GRUBBING PRACTICES. THIS INCLUDES MEASURES TO PERFORM THE FOLLOWING:

- MINIMIZE THE AMOUNT OF DISTURBED SOIL.
- UTILIZE SILT FENCING SYSTEM TO REMOVE SEDIMENT FROM ON-SITE RUNOFF BEFORE IT LEAVES THE SITE.
- MEET OR EXCEED LOCAL OR STATE REQUIREMENTS FOR SEDIMENT AND EROSION CONTROL PLANS.

THE CONSTRUCTION CONTRACTOR MUST STRICTLY COMPLY WITH PLACEMENT AND MAINTENANCE OF EROSION CONTROL DEVICES DURING ALL STAGES OF CONSTRUCTION, INCLUDING THE POST-CONSTRUCTION PERIOD UNTIL VEGETATION OR OTHER MEANS OF SOIL STABILIZATION HAVE BEEN ESTABLISHED.

1.1 SEQUENCE OF MAJOR EARTHMOVING ACTIVITIES

SOIL DISTURBING ACTIVITIES WILL INCLUDE: CLEARING AND GRUBBING; INSTALLING A STABILIZED CONSTRUCTION ENTRANCE, PERIMETER, AND OTHER EROSION AND SEDIMENT CONTROLS; GRADING, EXCAVATION FOR INFILTRATION TRENCH, STORM SEWER, UTILITIES, CONSTRUCTION OF PARKING AREAS; AND PREPARATION FOR FINAL PLANTING AND SEEDING OF DISTURBED AREAS.

THESE ACTIVITIES ARE TO TAKE PLACE IN THE FOLLOWING ORDER:

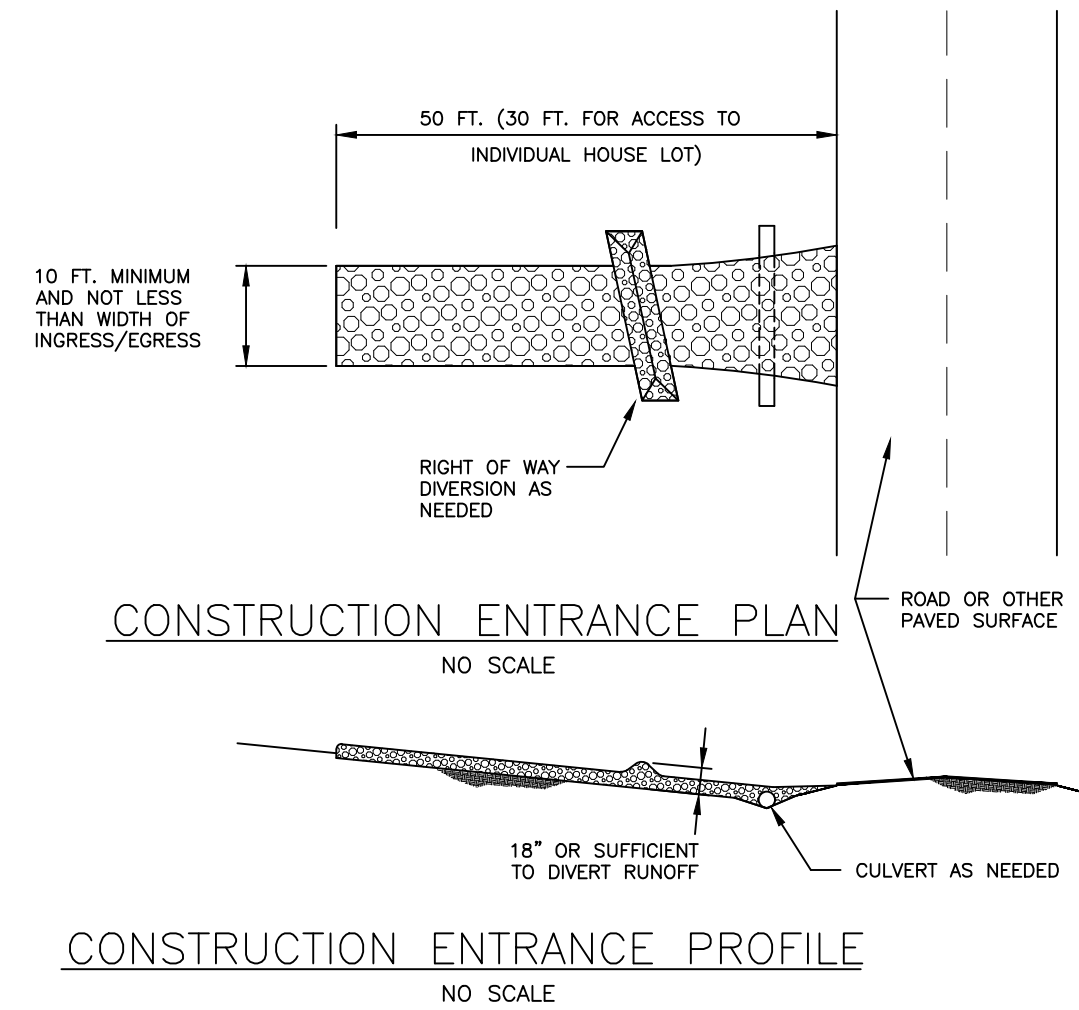
- INSTALL THE CONSTRUCTION ENTRANCE AND SILT FENCING.
- INSTALL STORM SEWER SYSTEM ASSOCIATED WITH THE INFILTRATION TRENCH. INSTALL INLET PROTECTION AROUND THE NEW BASINS.
- BEGIN AND COMPLETE CLEARING AND GRUBBING ACTIVITIES.
- BEGIN AND COMPLETE GRADING AND INFILTRATION TRENCH. DO NOT STOCKPILE ON-SITE.
- BEGIN AND COMPLETE GRADING ACTIVITIES. PROVIDE AND EMPLOY DUST SUPPRESSION EQUIPMENT AND TECHNIQUES TO CONTROL FUGITIVE DUST EMISSIONS DURING EXCAVATION ACTIVITY.
- REMOVE SURFACE DEBRIS ENCOUNTERED DURING EXCAVATION AND DISPOSE OF PROPERLY. THIS INCLUDES COMMUNICATION WASTES SUCH AS STORAGE CONTAINERS, WRING, PIPING, EXCESS CONCRETE, AND SANITARY GARBAGE.
- REMOVE CONSTRUCTION ENTRANCE AND INSTALL PAVEMENT.
- COMPLETE INSTALLATION OF THE INFILTRATION TRENCH.
- PROVIDE FINAL LANDSCAPING.
- AFTER VEGETATIVE AREAS HAVE REACHED A UNIFORM 70% PERENNIAL VEGETATIVE COVER, REMOVE SILT FENCING AND INLET PROTECTION.

1.2 DISPOSAL OF MATERIAL

- WASTE DISPOSAL CONTAINERS SHALL BE PROVIDED FOR PROPER COLLECTION OF ALL WASTE MATERIAL. CONTAINERS SHALL BE COVERED AND NOT LEAKING. CONSTRUCTION DEMOLITION AND DEBRIS WASTE MUST BE DISPOSED OF IN AN APPROVED CONSTRUCTION DEMOLITION AND DEBRIS LANDFILL.
- MIXING, PUMPING, TRANSFERRING OR OTHER HANDLING OF CONSTRUCTION CHEMICALS SUCH AS FERTILIZER, LIME, ASPHALT, CONCRETE DRYING COMPOUNDS, AND ALL OTHER POTENTIALLY HAZARDOUS MATERIALS SHALL BE PERFORMED IN AN AREA AWAY FROM ANY WATERCOURSE OR STORM DRAIN.

NOTES:

- PERIMETER CONTROLS SHALL BE IMPLEMENTED AS A FIRST STEP OF GRADING AND WITHIN 7 DAYS FROM THE START OF GRUBBING AND SHALL CONTINUE TO FUNCTION UNTIL UPLAND AREAS ARE STABILIZED.
- CAST IRON CATCH BASIN, GRATES AND INLET COVERS SHALL BE SUPPLIED WITH "DUMP NO WASTE, DRAINS TO WATERWAYS" CAST IN A VISIBLE LOCATION.
- NO SOLID OR LIQUID WASTE SHALL BE DISCHARGED INTO STORM WATER RUNOFF.
- OFFSITE VEHICLE TRACKING SEDIMENT SHALL BE MINIMIZED. CONSTRUCTION VEHICLES ARE LIMITED TO THE CONSTRUCTION ACCESS ROAD(S) NOTED ON THE PLANS.
- OTHER EROSION AND SEDIMENT CONTROL ITEMS MAY BE NECESSARY DUE TO ENVIRONMENTAL CONDITIONS.
- WINTERIZATION - ANY DISTURBED AREA THAT IS NOT GOING TO BE WORKED FOR 21 DAYS OR MORE MUST BE SEEDED AND MULCHED BY NOVEMBER 1 OR MUST HAVE A DORMANT SEEDING OR MULCH COVER APPLIED BETWEEN NOVEMBER 1 AND MARCH 1.
- THERE SHALL BE NO SEDIMENT-LADEN DISCHARGES TO SURFACE WATERS OF THE STATE RESULTING FROM DEWATERING ACTIVITIES. IT MUST PASS THROUGH A SEDIMENT SETTLING POND OR OTHER EFFECTIVE SEDIMENT CONTROL DEVICE PRIOR TO BEING DISCHARGED FROM THE CONSTRUCTION SITE.
- ANY AREAS AT FINAL GRADE OR THAT LIE DORMANT FOR ONE YEAR OR MORE REQUIRE PERMANENT SEEDING WITHIN SEVEN DAYS OF THE MOST RECENT DISTURBANCE. IN ADDITION, ANY AREAS WITHIN 50 FEET OF A STREAM AND AT FINAL GRADE REQUIRE EROSION CONTROLS WITHIN 2 DAYS OF REACHING FINAL GRADE. NOTE THAT A 70% VEGETATIVE DENSITY IS REQUIRED ON ALL DISTURBED SOIL AREAS FOR STABILIZATION.
- CONSTRUCTION PROJECTS THAT ARE TO BE DORMANT OVER THE WINTER MONTHS MUST BE STABILIZED USING SEEDING. SEEDING MUST BE COMPLETED IN TIME SO THAT ENOUGH HAS SPROUTED BEFORE THE GROWING SEASON ENDS.
- SOIL THAT IS STOCKPILED TEMPORARILY ON SITE FOR A PERIOD GREATER THAN 7 DAYS IS TO BE SEEDED AND THE PERIMETER SURROUNDED WITH SILT FENCE. THE DRIVE IS TO BE STABILIZED WITH BASE STONE AS SOON AS GRADING ALLOWS.



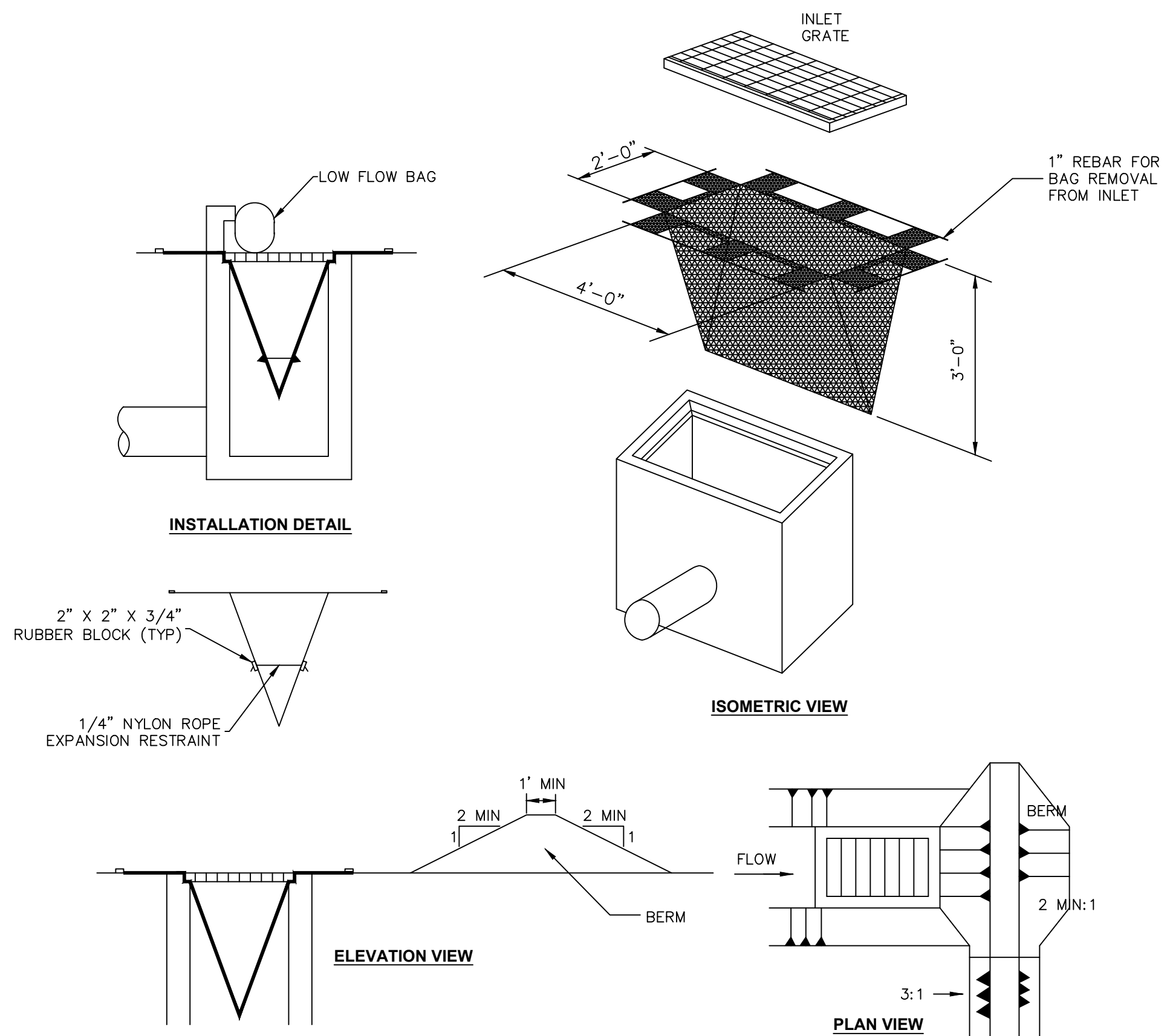
GENERAL NOTES FOR SEDIMENT POLLUTANT CONTROLS

- PERIMETER SEDIMENT CONTROLS (I.E. SEDIMENT TRAPS, SILT FENCE, COMPOST SOCKS, COMPOST BERMS, ETC.)
- NO EROSION AND SEDIMENT CONTROL BMPs SHALL BE REMOVED FROM THE SITE PRIOR TO ADEQUATE PERMANENT STABILIZATION OF THE ASSOCIATED UPLAND DRAINAGE AREAS AND WITHOUT FIRST OBTAINING AUTHORIZATION FROM THE CITY ENGINEER, OR HIS DESIGNATED REPRESENTATIVE, UNLESS THEIR REMOVAL IS SPECIFICALLY PROVIDED FOR WITHIN THE SITE'S APPROVED PLAN.
- THERE SHALL BE NO SEDIMENT-LADEN OR TURBID DISCHARGES TO WATER RESOURCES OR WETLANDS RESULTING FROM DEWATERING ACTIVITIES. IF TRENCH OR GROUNDWATER CONTAINS SEDIMENT, IT MUST PASS THROUGH A SEDIMENT TRAP OR OTHER EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE PRIOR TO BEING DISCHARGED FROM THE CONSTRUCTION SITE. ALTERNATIVELY, SEDIMENT MAY BE REMOVED BY SETTLING IN PLACE OR BY DEWATERING INTO A SUMP PIT, FILTER BAG OR COMPARABLE PRACTICE. GROUND WATER DEWATERING WHICH DOES NOT CONTAIN SEDIMENT OR OTHER POLLUTANTS IS NOT REQUIRED TO BE TREATED PRIOR TO DISCHARGE. HOWEVER, CARE MUST BE TAKEN WHEN DISCHARGING GROUND WATER TO ENSURE THAT IT DOES NOT BECOME POLLUTANT-LADEN BY TRAVERSING OVER DISTURBED SOILS OR OTHER POLLUTANT SOURCES.
- STREETS DIRECTLY ADJACENT TO CONSTRUCTION ENTRANCES AND RECEIVING TRAFFIC FROM THE DEVELOPMENT AREA, SHALL BE CLEANED DAILY TO REMOVE SEDIMENT TRACKED OFF-SITE. IF APPLICABLE, THE CATCH BASINS ON THESE STREETS NEAREST TO THE CONSTRUCTION ENTRANCES SHALL ALSO BE CLEANED WEEKLY. BASED ON SITE CONDITIONS, PRACTICES TO CONTROL OFF-SITE TRACKING AND DUST.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, TO INSPECT ALL CONTROLS ON THE SITE AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN TWENTY-FOUR (24) HOURS AFTER ANY STORM EVENT GREATER THAN ONE-HALF INCH OF RAIN PER TWENTY-FOUR (24) HOUR PERIOD. WHEN INSPECTIONS REVEAL THE NEED FOR REPAIR, REPLACEMENT, OR INSTALLATION OF EROSION AND SEDIMENT CONTROL BMPs, THE FOLLOWING PROCEDURES SHALL BE FOLLOWED:
 - WHEN PRACTICES REQUIRE REPAIR OR MAINTENANCE: IF AN INTERNAL INSPECTION REVEALS THAT A CONTROL PRACTICE IS IN NEED OF REPAIR OR MAINTENANCE, WITH THE EXCEPTION OF A SEDIMENT-SETTLING POND, IT MUST BE REPAIRED OR MAINTAINED WITHIN THREE (3) DAYS OF THE INSPECTION. SEDIMENT-SETTLING PONDS MUST BE REPAIRED OR MAINTAINED WITHIN TEN (10) DAYS OF THE INSPECTION.
 - WHEN PRACTICES FAIL TO PROVIDE THEIR INTENDED FUNCTION: IF AN INTERNAL INSPECTION REVEALS THAT A CONTROL PRACTICE FAILS TO PERFORM ITS INTENDED FUNCTION, THE SWP3 AND THAT ANOTHER, MORE APPROPRIATE CONTROL PRACTICE IS REQUIRED, THE SWP3 MUST BE AMENDED AND THE NEW CONTROL PRACTICE MUST BE INSTALLED WITHIN TEN (10) DAYS OF THE INSPECTION.
 - WHEN PRACTICES DEPICTED ON THE SWP3 ARE NOT INSTALLED: IF AN INTERNAL INSPECTION REVEALS THAT A CONTROL PRACTICE HAS NOT BEEN IMPLEMENTED IN ACCORDANCE WITH THE SCHEDULE, THE CONTROL PRACTICE MUST BE IMPLEMENTED WITHIN TEN (10) DAYS FROM THE DATE OF INSPECTION. IF THE INTERNAL INSPECTION REVEALS THAT THE PLANNED CONTROL PRACTICE IS NOT NEEDED, THE RECORD MUST CONTAIN A STATEMENT OF EXPLANATION AS TO WHY THE CONTROL PRACTICE IS NOT NEEDED.
- THE OWNER SHALL MAINTAIN FOR THREE (3) YEARS FOLLOWING FINAL STABILIZATION THE RESULTS OF THESE INSPECTIONS, THE NAMES AND QUALIFICATIONS OF PERSONNEL MAKING THE INSPECTIONS, THE DATES OF INSPECTIONS, MAJOR OBSERVATIONS RELATING TO THE IMPLEMENTATION OF THE SWP3, A CERTIFICATION AS TO WHETHER THE FACILITY IS IN COMPLIANCE WITH THE SWP3, AND INFORMATION ON ANY INCIDENTS OF NON-COMPLIANCE DETERMINED BY THESE INSPECTIONS.
- EROSION AND SEDIMENT CONTROL PRACTICES NOT ALREADY SPECIFIED ON THIS PLAN MAY BE NECESSARY DUE TO UNFORESEEN ENVIRONMENTAL CONDITIONS AND/OR CHANGES IN DRAINAGE PATTERNS CAUSED BY EARTH - MOVING ACTIVITY. ADDITIONAL PRACTICES SHALL BE IMPLEMENTED AT THE CONTRACTOR'S EXPENSE.
- NO STRUCTURAL SEDIMENT CONTROLS (E.G. SILT FENCE, SEDIMENT TRAPS, ETC.) SHALL BE USED IN A WATER RESOURCE OR WETLAND, UNLESS THEIR USE IS SPECIFICALLY PROVIDED FOR WITHIN THE SITE'S APPROVED PLAN.
- SOIL STOCKPILES, TOPSOIL OR OTHERWISE, SHALL BE SITUATED AWAY FROM STREETS, SWALES, OR OTHER WATERWAYS AND SHALL BE SEEDED AND/OR MULCHED IMMEDIATELY.
- ON-SITE PERSONNEL SHALL TAKE ALL NECESSARY MEASURES TO COMPLY WITH APPLICABLE REGULATIONS REGARDING FUGITIVE DUST EMISSIONS, INCLUDING OBTAINING NECESSARY PERMITS FOR SUCH EMISSIONS. THE CONSTRUCTION ACTIVITIES MAY REQUIRE DUST CONTROLS INCLUDING, BUT NOT LIMITED TO, THE USE OF WATER TRUCKS TO WET DISTURBED AREAS, TAPPING STOCKPILES, TEMPORARY STABILIZATION OF DISTURBED AREAS, AND REGULATION OF THE SPEED OF VEHICLES ON THE SITE.
- ANY DISTURBED AREA NOT PAVED, SOODED, OR BUILT UPON SHALL HAVE A MINIMUM OF 80% UNIFORM VEGETATIVE COVER PRIOR TO FINAL INSPECTION, AND IN THE OPINION OF THE CITY ENGINEER, OR HIS DESIGNATED REPRESENTATIVE, WILL BE MATURE ENOUGH TO CONTROL EROSION SATISFACTORY AND SURVIVE SEVERE WEATHER.

GENERAL NOTES FOR NON - SEDIMENT POLLUTANT CONTROLS

- ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE FOR ENSURING ALL FORMS OF WASTE ARE PROPERLY DISPOSED OF.
- CONTAMINATED SOILS FROM REDEVELOPMENT SITES SHALL BE DISPOSED OF PROPERLY. RUNOFF FROM CONTAMINATED SOILS SHALL NOT BE DISCHARGED FROM THE SITE. PROPER PERMITS SHALL BE OBTAINED FOR DEVELOPMENT PROJECTS ON SOLID WASTE LANDFILL SITES OR REDEVELOPMENT SITES.
- CONCRETE WASH WATER SHALL NOT BE ALLOWED TO FLOW TO STREAMS, DITCHES, STORM DRAINS, OR ANY OTHER WATER CONVEYANCE. A SUMP OR PIT WITH NO POTENTIAL FOR DISCHARGE SHALL BE CONSTRUCTED IF NEEDED TO CONTAIN CONCRETE WASH WATER. FIELD TILE OR OTHER SUBSURFACE DRAINAGE STRUCTURES WITHIN 10 FT. OF THE SUMP SHALL BE CUT AND PLUGGED. FOR SMALL PROJECTS, TRUCK CHUTES MAY BE RINSED AWAY FROM ANY WATER CONVEYANCES.
- NO SOLID OR LIQUID WASTE SHALL BE DISCHARGED INTO STORM WATER RUNOFF. ANY AND ALL WASTE MATERIALS (SOLID, HAZARDOUS, CONSTRUCTION & DEMOLITION, SANITARY, TOXIC, CONTAMINATED SOILS, ETC.) GENERATED AT THE SITE SHALL BE PROPERLY DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL RULES/REGULATIONS. ON-SITE STORAGE CONTAINERS SHALL BE COVERED AND NOT LEAKING. IT IS PROHIBITED TO BURN, BURY OR POUR OUT INTO THE GROUND OR INTO THE STORM SEWERS ANY SOLVENTS, PAINTS, GASOLINE, DIESEL FUEL, USED MOTOR OIL, HYDRAULIC FLUID, ANTIFREEZE, CEMENT CURING COMPOUNDS AND ANY OTHER SUCH TOXIC OR HAZARDOUS MATERIALS OR WASTES.
- HANDLING CONSTRUCTION CHEMICALS. MIXING, PUMPING, TRANSFERRING OR OTHER HANDLING OF CONSTRUCTION CHEMICALS SUCH AS FERTILIZER, LIME, ASPHALT, CONCRETE DRYING COMPOUNDS, AND ALL OTHER POTENTIALLY HAZARDOUS MATERIALS SHALL BE PERFORMED IN AN AREA AWAY FROM ANY WATERCOURSE, DITCH OR STORM DRAIN.
- EQUIPMENT FUELING AND MAINTENANCE, OIL CHANGING, ETC., SHALL BE PERFORMED AWAY FROM WATERCOURSES, DITCHES OR STORM DRAINS, IN AN AREA DESIGNATED FOR THAT PURPOSE. THE DESIGNATED AREA SHALL BE EQUIPPED FOR RECYCLING OIL AND CATCHING SPILLS. SECONDARY CONTAINMENT WITH A MINIMUM CAPACITY EQUAL TO 110% OF THE VOLUME OF ALL CONTAINERS IN A STORAGE AREA SHALL BE PROVIDED FOR ALL FUEL/LIQUID STORAGE TANKS AND DRUMS.
- ALL SANITARY WASTE SHALL BE COLLECTED FROM PORTABLE UNITS A MINIMUM OF THREE TIMES PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR, AS REQUIRED BY LOCAL REGULATION.
- THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON SITE DURING THE CONSTRUCTION PROJECT:
 - AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
 - ALL MATERIALS STORED ON SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER ENCLOSURE.
 - PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE MANUFACTURER'S LABEL. SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
 - WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
 - THE MANUFACTURER'S RECOMMENDATIONS FOR PROPER USE AND DISPOSAL WILL BE FOLLOWED.
 - THE SITE SUPERINTENDENT WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ON SITE.
- IN ADDITION TO PREVIOUS NOTES, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEAN-UP:
 - MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEAN-UP WILL BE POSTED AND SITE PERSONNEL MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
 - MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA. SITE EQUIPMENT AND MATERIALS WILL INCLUDE, BUT NOT BE LIMITED TO BROOMS, DUSTPANS, MOPS, RAGS, GLOVES, GOGGLES, CAT LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY DESIGNATED FOR THIS PURPOSE.
 - ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
 - THE SPILL AREA WILL BE KEPT WELL-VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
 - SPILLS OF TOXIC OR HAZARDOUS MATERIALS WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE.
 - THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.
 - THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR. HE/SHE WILL DESIGNATE SITE PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ON SITE.

**STANDARD CONSTRUCTION DETAIL
Filter Bag Inlet Protection**



Maximum Drainage Area = 1/2 acre.

Inlet protection is not required for inlet tributary to sediment basin or trap. Berms required for all installations.

Earthen berm in roadway shall be maintained until roadway is stoned. Road subbase berm on roadway shall be maintained until roadway is paved. Earthen berm in channel shall be maintained until permanent stabilization is completed or to remain permanently.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS



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 - CONSTRUCTION

**NORTHWOOD HEALTH SYSTEMS
BUILDING ADDITION & RENOVATION
111 19TH STREET, WHEELING, WV 26003
EROSION CONTROL NOTES**

REVISION

NO.	DESCRIPTION

DRAWN BY:	CHECKED BY:
PROJECT NO. 19-093	
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REVISION

DRAWN BY: PEK	CHECKED BY: KMN
PROJECT NO. 19-093	
SCALE: AS NOTED	DATE: 04/10/2020

SHEET
C401

SILT FENCE

TEMPORARY SEEDING

TEMPORARY SEEDING SPECIES SELECTION				
SEEDING DATES	SPECIES	LB/1000 FT. ²	PER ACRE	
MARCH 1 TO AUGUST 15	4 OATS	3	4 BUSHEL	
	TALL FESCUE	1	40 LB.	
	ANNUAL RYEGRASS	1	40 LB.	
AUGUST 16 TO NOVEMBER 1	PERENNIAL RYEGRASS	1	40 LB.	
	TALL FESCUE	1	40 LB.	
	ANNUAL RYEGRASS	1	40 LB.	
NOVEMBER 1 TO SPRING SEEDING	2 RYE	3	2 BUSHEL	
	TALL FESCUE	1	40 LB.	
	ANNUAL RYEGRASS	1	40 LB.	
NOVEMBER 1 TO SPRING SEEDING	2 WHEAT	3	2 BUSHEL	
	TALL FESCUE	1	40 LB.	
	ANNUAL RYEGRASS	1	40 LB.	
NOVEMBER 1 TO SPRING SEEDING	PERENNIAL RYEGRASS	1	40 LB.	
	TALL FESCUE	1	40 LB.	
	ANNUAL RYEGRASS	1	40 LB.	

NOTE: OTHER APPROVED SEED SPECIES MAY BE SUBSTITUTED.

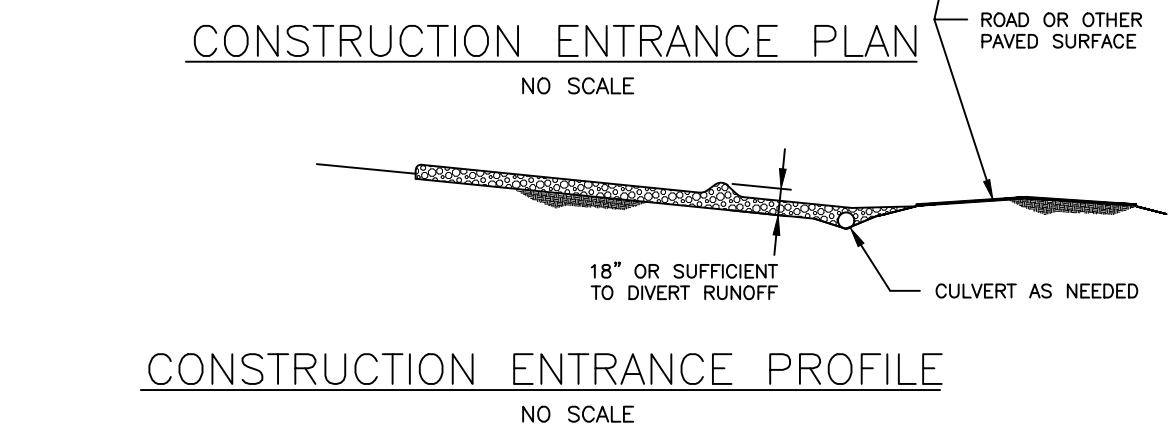
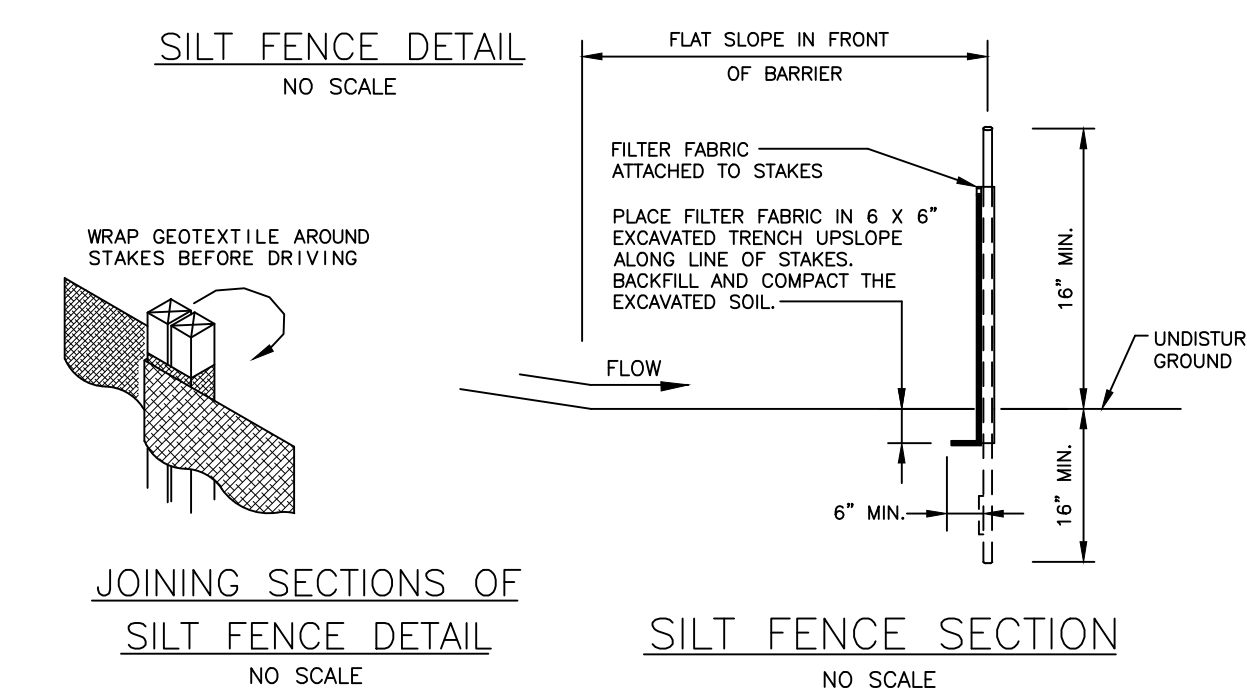
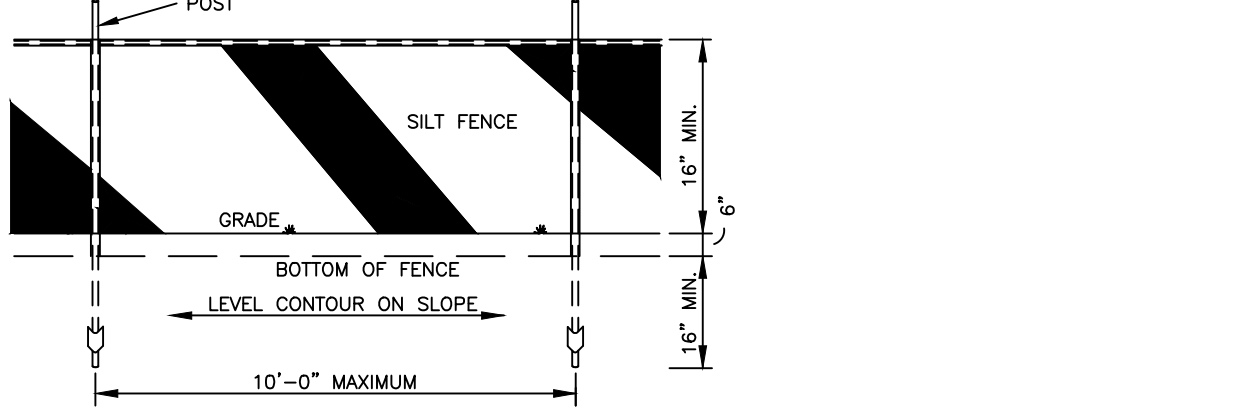
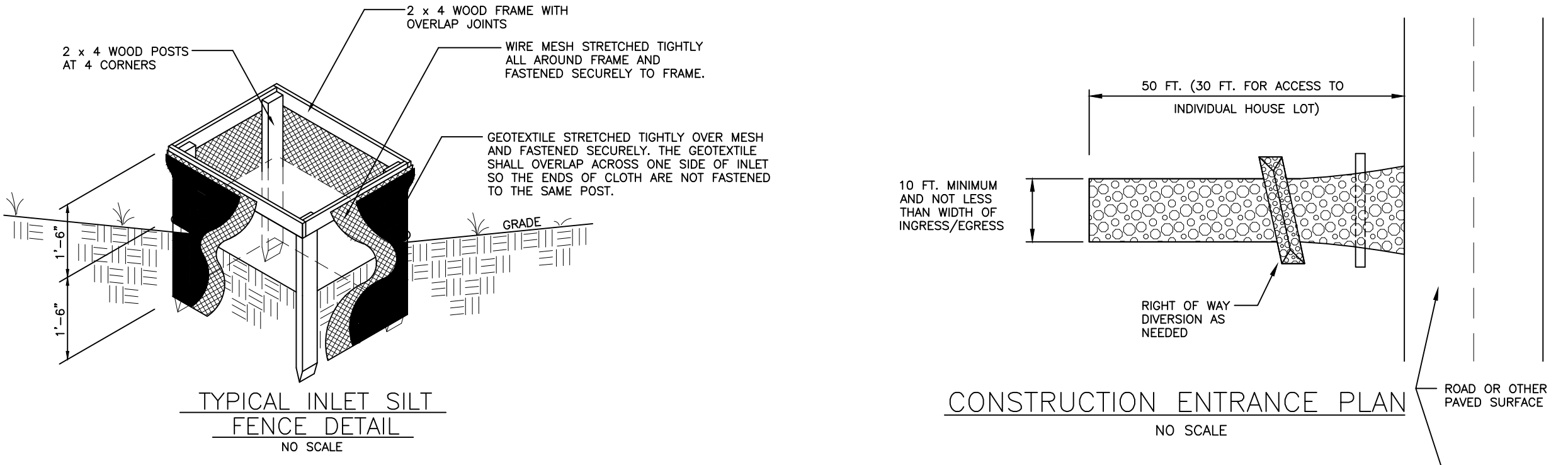
- STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS AND SEDIMENT TRAPS SHALL BE INSTALLED AND STABILIZED WITH TEMPORARY SEEDING PRIOR TO GRADING THE REST OF THE CONSTRUCTION SITE.
- TEMPORARY SEED SHALL BE APPLIED BETWEEN CONSTRUCTION OPERATIONS ON SOIL THAT WILL NOT BE GRADED OR REWORKED FOR 45 DAYS OR MORE. THESE IDLE AREAS SHOULD BE SEED AS SOON AS POSSIBLE AFTER GRADING OR SHALL BE SEED WITHIN 7 DAYS. SEVERAL APPLICATIONS OF TEMPORARY SEEDING ARE NECESSARY ON TYPICAL CONSTRUCTION PROJECTS.
- THE SEEDBED SHALL BE PULVERIZED AND LOOSE TO ENSURE THE SUCCESS OF ESTABLISHING VEGETATION. HOWEVER, TEMPORARY SEEDING SHALL NOT BE POSTPONED IF IDEAL SEEDBED PREPARATION IS NOT POSSIBLE.
- SOIL AMENDMENTS-APPLICATIONS OF TEMPORARY VEGETATION SHALL ESTABLISHED ADEQUATE STANDS OF VEGETATION WHICH MAY REQUIRE THE USE OF SOIL AMENDMENTS. SOIL TESTS SHOULD BE TAKEN ON THE SITE TO PREDICT THE NEED FOR LIME AND FERTILIZER.
- SEEDING METHOD--SEED SHALL BE APPLIED UNIFORMLY WITH A CYCLONE SEEDER, DRILL, CULTIPACKER SEEDER, OR HYDROSEEDER. WHEN FEASIBLE, SEED THAT HAS BEEN BROADCAST SHALL BE COVERED BY RAKING OR DRAGGING AND THEN LIGHTLY TAMPIED INTO PLACE USING A ROLLER OR CULTIPACKER. IF HYDROSEEDING IS USED, THE SEED AND FERTILIZER WILL BE MIXED ON-SITE AND THE SEEDING SHALL BE DONE IMMEDIATELY AND WITHOUT INTERRUPTION.

- MULCHING TEMPORARY SEEDING**
- APPLICATIONS OF TEMPORARY SEEDING SHALL INCLUDE MULCH WHICH SHALL BE APPLIED DURING OR IMMEDIATELY AFTER SEEDING. SEEDINGS MADE DURING OPTIMUM SEEDING DATES AND WITH FAVORABLE SOIL CONDITIONS AND ON VERY FLAT AREAS MAY NOT NEED MULCH TO ACHIEVE ADEQUATE STABILIZATION.
 - MATERIALS:**
 STRAW--IF STRAW IS USED, IT SHALL BE UNROTTED SMALL-GRAIN APPLIED AT 2 TONS/AC. OR 90 LB. / 1,000 SQ. FT. (TWO TO THREE BALES). THE MULCH SHALL BE SPREAD UNIFORMLY BY HAND OR MECHANICALLY SO THE SOIL SURFACE IS COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQ. FT. SECTIONS AND SPREAD TWO 45 LB. BALES OF STRAW IN EACH SECTION.
 HYDROSEEDERS--IF WOOD CELLULOSE FIBER IS USED, IT SHALL BE USED AT 2,000 LB. / AC. OR 45 LB. / 1,000 SQ. FT.
 OTHER--OTHER ACCEPTABLE MULCHES INCLUDE MULCH MATTINGS APPLIED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS OR WOOD CHIPS APPLIED AT 6 TONS / AC.
 STRAW MULCH SHALL BE ANCHORED IMMEDIATELY TO MINIMIZE LOSS BY WIND OR WATER. ANCHORING METHODS:
 MECHANICAL--A DISK, CRIMPER OR SIMILAR TYPE TOOL SHALL BE SET STRAIGHT TO PUNCH OR ANCHOR THE MULCH MATERIAL INTO THE SOIL. STRAW MECHANICAL ANCHORED SHALL NOT BE FINELY CHOPPED BUT, GENERALLY BE LEFT LONGER THAN 6 IN.
 MULCH NETTINGS--NETTINGS SHALL BE USE ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. NETTING MADE BE NECESSARY TO HOLD MULCH IN PLACE IN AREAS OF CONCENTRATED RUNOFF AND ON CRITICAL SLOPES.
 ASPHALT EMULSION--ASPHALT SHALL BE APPLIED AS RECOMMENDED BY THE MANUFACTURER OR AT THE RATE OF 160 GAL. / AC.
 SYNTHETIC BINDERS--SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRI-TAC), DCA-70, PETROSET, TERRA-TACK OR EQUAL MAY BE USED AT RATES RECOMMENDED BY THE MANUFACTURER.
 WOOD-CELLULOSE FIBRE--WOOD-CELLULOSE FIBER BINDER SHALL BE APPLIED AT A NET DRY WEIGHT OF 750 LB. / AC. THE WOOD-CELLULOSE FIBER SHALL BE MIXED WITH WATER AND THE MIXTURE SHALL CONTAIN A MAXIMUM OF 50 LB. / 100 GAL.

- INLET PROTECTION SHALL BE CONSTRUCTED EITHER BEFORE UPSLOPE LAND DISTURBANCE BEGINS OR BEFORE THE STORM DRAIN BECOMES OPERATIONAL.
- THE EARTH AROUND THE INLET SHALL BE EXCAVATED COMPLETELY TO A DEPTH AT LEAST 18 INCHES.
- THE WOODEN FRAME SHALL BE CONSTRUCTED OF 2-BY-4-IN. CONSTRUCTION-GRADE LUMBER. THE 2-BY-4-IN. POSTS SHALL BE DRIVEN 1 FT. INTO THE GROUND AT FOUR CORNERS OF THE INLET AND THE TOP PORTION OF 2-BY-4-IN. FRAME ASSEMBLED USING THE OVERLAP JOINT SHOWN. THE TOP OF THE FRAME SHALL BE AT LEAST 6 INCHES BELOW ADJACENT ROADS IF PONDED WATER WOULD POSE A SAFETY HAZARD TO TRAFFIC.
- WIRE MESH SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT FABRIC WITH WATER FULLY IMPOUNDED AGAINST IT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY TO THE FRAME.
- GEOTEXTILE SHALL HAVE AN EQUIVALENT OPENING SIZE OF 20-40-SIEVE AND BE RESISTANT TO SUNLIGHT. IT SHALL BE STRETCHED TIGHTLY AROUND THE FRAME AND FASTENED SECURELY. IT SHALL EXTEND FROM TOP OF THE FRAME TO 18 INCHES BELOW THE INLET NOTCH ELEVATION. THE GEOTEXTILE SHALL OVERLAP ACROSS ON SIDE OF THE INLET SO THE ENDS OF THE CLOTH ARE NOT FASTENED TO THE SAME POST.
- BACKFILL SHALL BE PLACED AROUND THE INLET IN COMPACTED 6-IN. LAYERS UNTIL THE EARTH IS EVEN WITH NOTCH ELEVATION ON ENDS AND TOP ELEVATION ON SIDES.
- A COMPACTED EARTH DIKE OR A CHECK DAM SHALL BE CONSTRUCTED IN THE DITCH LINE BELOW THE INLET IF THE INLET IS NOT IN A DEPRESSION AND IF RUNOFF BYPASSING THE INLET WILL NOT FLOW TO A SETTLING POND. THE TOP OF EARTH DIKES SHALL BE AT LEAST 6 INCHES HIGHER THAN THE TOP OF THE FRAME.
- THE SILT FENCE SHALL BE PLACED WITH THE STAKES ON THE DOWN SLOPE SIDE OF THE GEOTEXTILE AND SO THAT 6 IN. OF CLOTH ARE BELOW THE GROUND SURFACE. EXCESS MATERIAL SHALL LAY ON THE BOTTOM OF THE 6 IN. DEEP TRENCH. THE TRENCH SHALL BE BACKFILLED AND COMPACTED.
- SEAMS BETWEEN SECTIONS OF SILT FENCE SHALL OVERLAP WITH THE END STAKES OF EACH SECTION WRAPPED TOGETHER BEFORE DRIVING INTO THE GROUND.
- TO PREVENT WATER PONDED BY THE SILT FENCE FROM FLOWING AROUND THE ENDS, EACH END SHALL BE CONSTRUCTED UPSLOPE, SO THAT THE ENDS ARE AT A HIGHER ELEVATION.
- MAINTENANCE--SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS UNDER OR AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW, ONE OF THE FOLLOWINGS SHALL BE PERFORMED, AS APPROPRIATE: 1) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, 2) ACCUMULATED SEDIMENT SHALL BE REMOVED, OR 3) OTHER PRACTICES SHALL BE INSTALLED.

CRITERIA FOR SILT FENCE MATERIALS

FABRIC PROPERTIES	VALUES	TEST METHOD
GRAB TENSILE STRENGTH	90 LB. MINIMUM	ASTM D 1682
MULLEN BURST STRENGTH	190 PSI MINIMUM	ASTM D 3786
SLURRY FLOW RATE	0.3 GAL./MIN./FT ² MAXIMUM	ASTM D 3786
EQUIVALENT OPENING SIZE	40-80	US STD. SIEVE CW-02215
ULTRAVIOLET RADIATION STABILITY	90% MINIMUM	ASTM-G-26

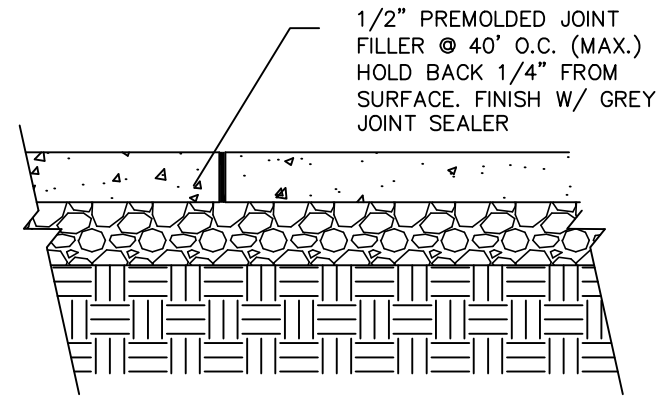


- STONE SIZE--TWO-INCH STONE SHALL BE USED, OR RECYCLED CONCRETE PAVEMENT.
- LENGTH--THE CONSTRUCTION ENTRANCE SHALL BE AS LONG AS REQUIRED TO STABILIZE HIGH TRAFFIC AREAS BUT NOT LESS THAN 50 FT. (EXCEPT ON SINGLE RESIDENCE LOT WHERE A 30 FT. MINIMUM LENGTH APPLIES).
- THICKNESS--THE STONE LAYER SHALL BE AT LEAST 6-IN. THICK.
- WIDTH--THE ENTRANCE SHALL BE AT LEAST 10-FT. WIDE, BUT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
- BEDDING--A GEOTEXTILE SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING STONE. IT SHALL HAVE A GRAB TENSILE STRENGTH OF AT LEAST 200 LB. AND A MULLED BURST STRENGTH OF AT LEAST 190 LB.
- CULVERT--A PIPE OR CULVERT SHALL BE CONSTRUCTED UNDER THE ENTRANCE IF NEEDED TO PREVENT SURFACE WATER FLOWING ACROSS THE ENTRANCE FROM BEING DIRECTED OUT ONTO PAVED SURFACES.
- WATER BAR--A WATER BAR SHALL BE CONSTRUCTED AS PART OF THE CONSTRUCTION ENTRANCE IF NEEDED TO PREVENT SURFACE RUNOFF FROM FLOWING THE LENGTH OF THE CONSTRUCTION ENTRANCE AND OUT ONTO PAVED SURFACES.
- MAINTENANCE--TOP DRESSING OF ADDITIONAL STONE SHALL BE APPLIED AS CONDITIONS DEMAND. MUD SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADS, OR ANY SURFACE WHERE RUNOFF IS NOT CHECK BY SEDIMENT CONTROLS, SHALL BE REMOVED IMMEDIATELY. REMOVAL SHALL BE ACCOMPLISHED BY SCRAPING OR SWEEPING.
- CONSTRUCTION ENTRANCES SHALL NOT BE RELIED UPON TO REMOVE MUD FROM VEHICLES AND PREVENT OFF-SITE TRACKING. VEHICLES THAT ENTER AND LEAVE THE CONSTRUCTION-SITE SHALL BE RESTRICTED FROM MUDDY AREAS.

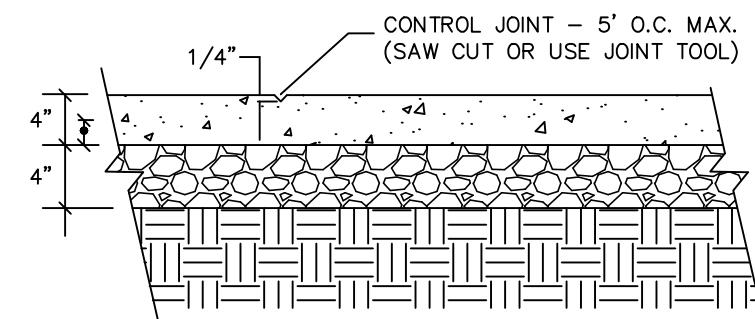
PRELIMINARY
 DO NOT USE FOR
 CONSTRUCTION
 DATE 4/10/2020
 Scheeser
 Buckley
 Mayfield

NOTES:

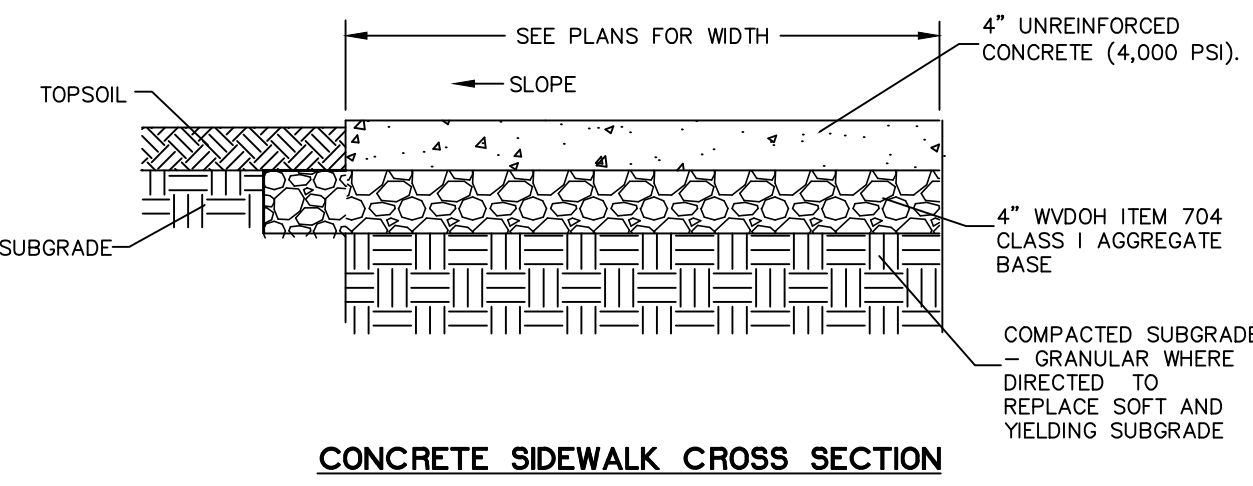
- 1/2" EXPANSION JOINT - 40' O.C. MAX. AND AT ALL CURBS, WALKS, WALLS AND OTHER FIXED OBJECTS.
- CONTROL JOINT - 5' O.C. MAX.
- CROSS SLOPE AT 1/4" PER FOOT MIN. SLOPE AWAY FROM PARKING DECK AND TOWARDS CURB LINES.
- MEDIUM BROOM FINISH.
- WHERE TOPSOIL IS INSTALLED ADJACENT TO THE SIDEWALK TOP OF COMPACTED TOPSOIL IS TO BE LEFT AT 0.5" BELOW TOP OF THE SIDEWALK.



EXPANSION JOINT

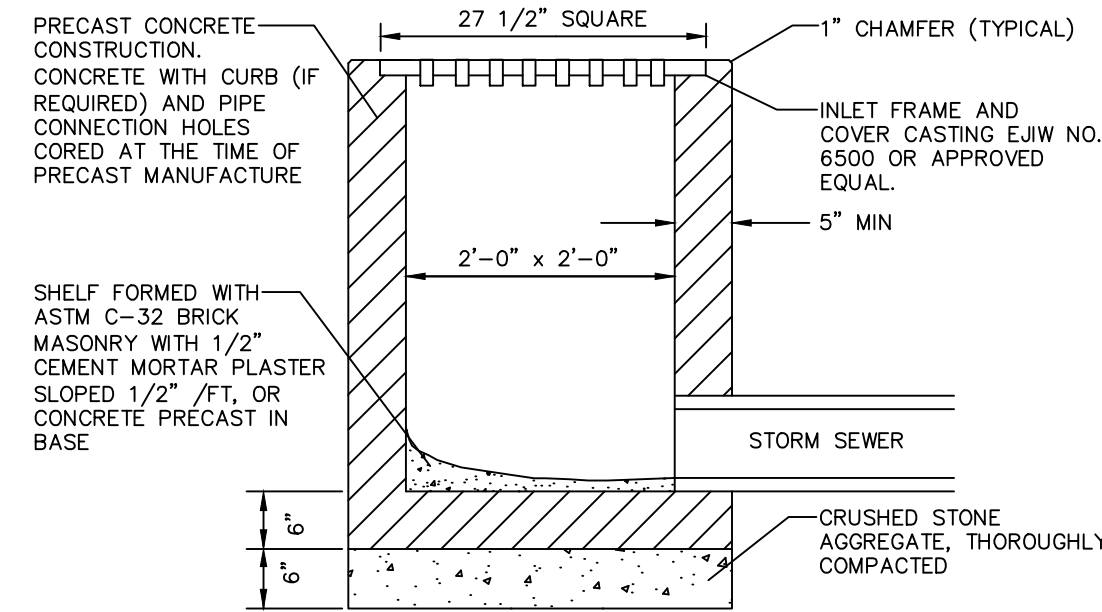


CONTROL JOINT

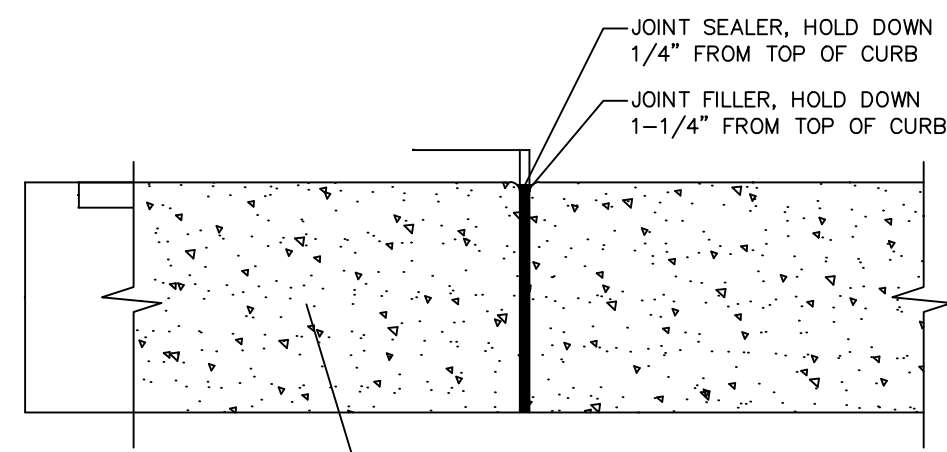
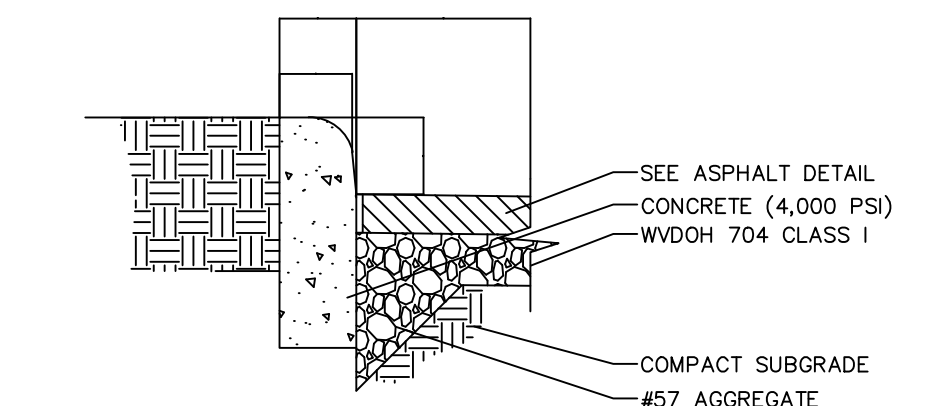


CONCRETE SIDEWALK CROSS SECTION

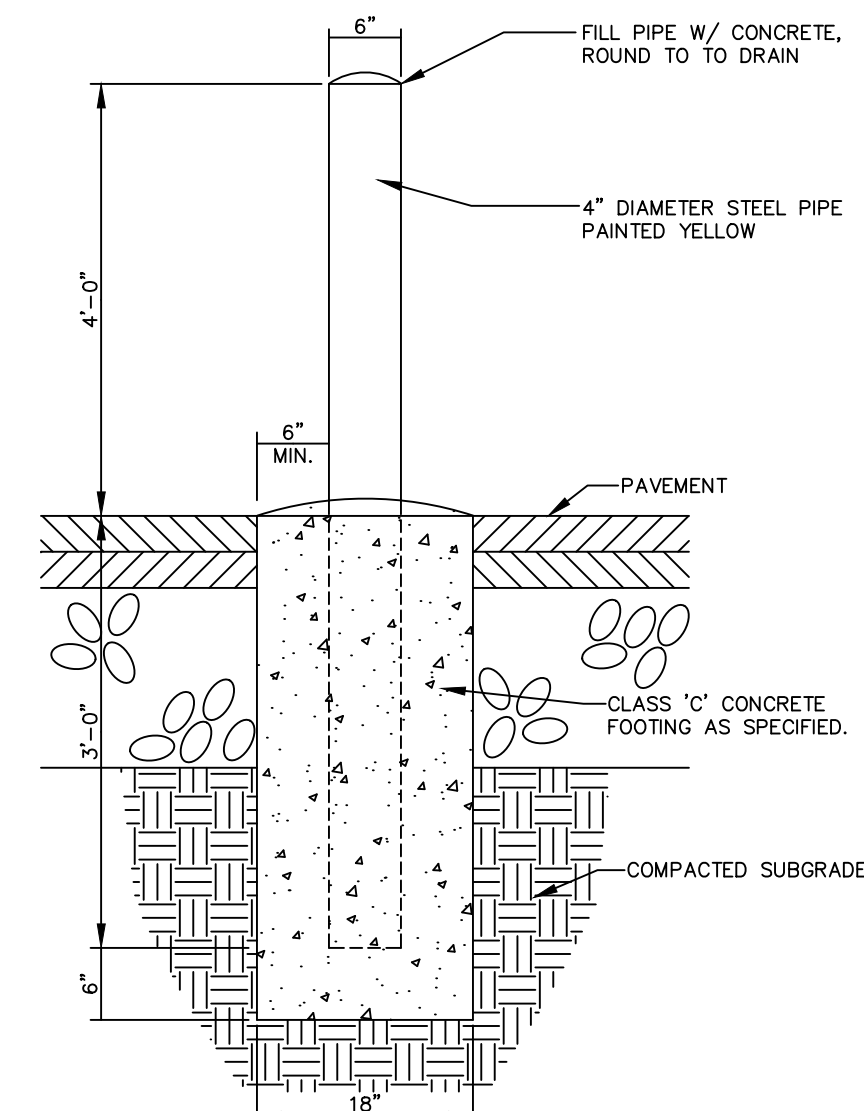
TYPICAL CONCRETE WALK DETAIL
N.T.S.



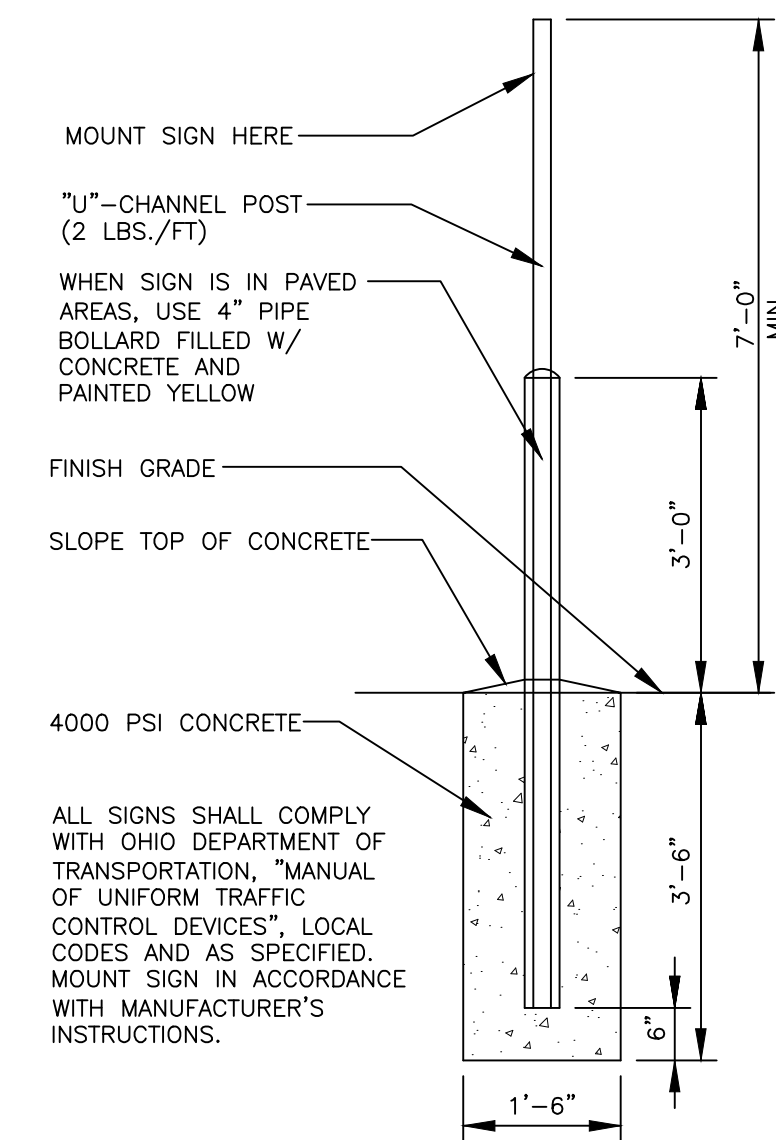
2-2-B DETAIL
CATCH/YARD BASIN
N.T.S.



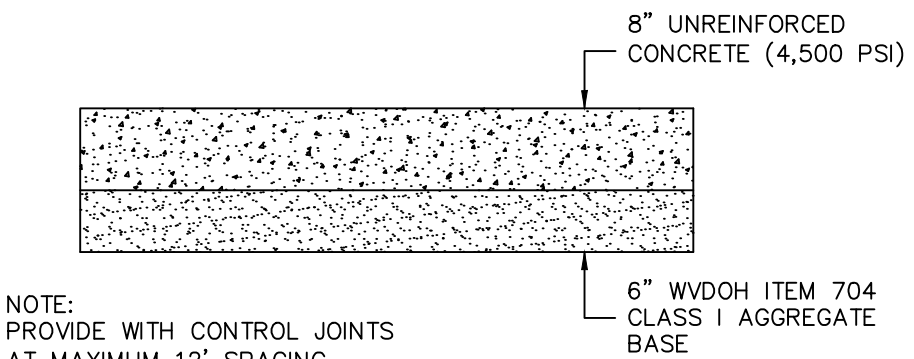
6" VERTICAL CURB DETAIL
N.T.S.



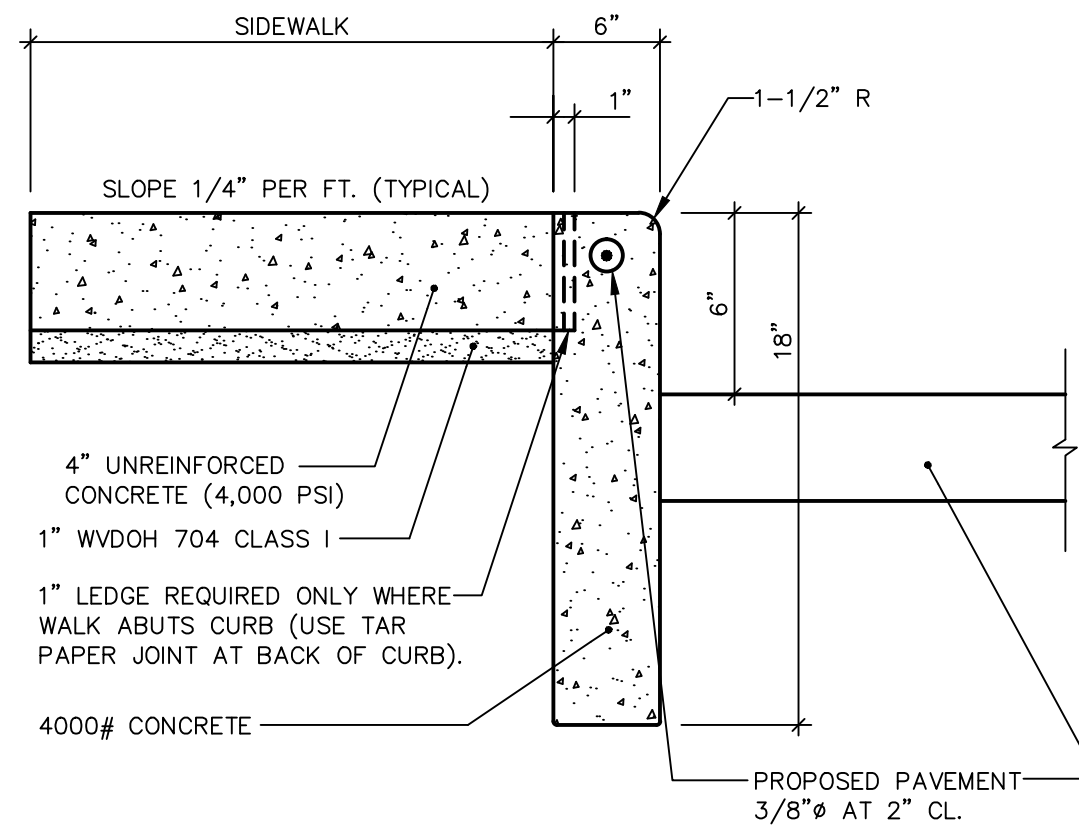
BOLLARD DETAIL
N.T.S.



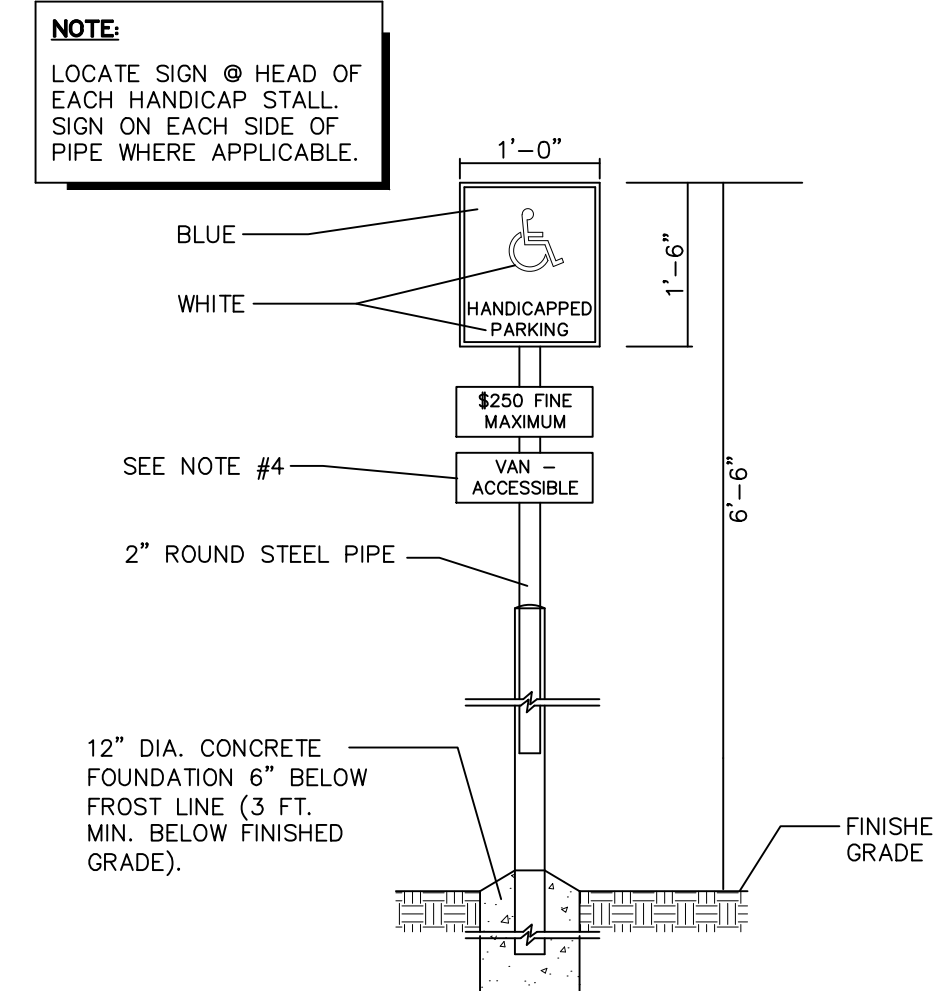
STANDARD SIGN BASE
N.T.S.



CONCRETE PAD/PAVEMENT DETAIL
N.T.S.



REINFORCED CONCRETE SIDEWALK AND CONCRETE CURB
N.T.S.



- NOTES:**
1. SIGNS ARE TO CONFORM WITH SPECIFICATIONS FROM THE UNIFORM MANUAL OF TRAFFIC CONTROL DEVICES.
 2. SIGN POST SHALL BE U CHANNEL TYPE PER ODOT SECTION 730.015 DRAWING TC-41.20.
 3. SIGNS SHALL COMPLY TO ALL ADA CODES.
 4. PROVIDE SECOND SIGN FOR SPACE DESIGNATED "VAN ACCESSIBLE". MOUNT BELOW THE SYMBOL OF ACCESSIBILITY.

HANDICAPPED PARKING SIGN
N.T.S.

m&g
Matyskiela & Grant, Inc.
ARCHITECTS & ENGINEERS
1027 Mt. DeChantal Rd.
Wheeling, WV 26003
Ph: (304) 242-8248
Fax: (304) 242-8249

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DRAWING STATUS

DESIGN STAGE

- SCHEMATIC DESIGN
- DESIGN DEVELOPMENT
- CONSTRUCTION DRAWINGS

RELEASED FOR

- REVIEW
- BIDDING
- CONSTRUCTION

NORTHWOOD HEALTH SYSTEMS

BUILDING ADDITION & RENOVATION

111 19TH STREET, WHEELING, WV 26003

SITE DETAILS

REVISION

NO.	DESCRIPTION

DRAWN BY:	CHECKED BY:
PROJECT NO. 19-093	
SCALE: AS NOTED	DATE: 04/10/2020

SHEET
C500

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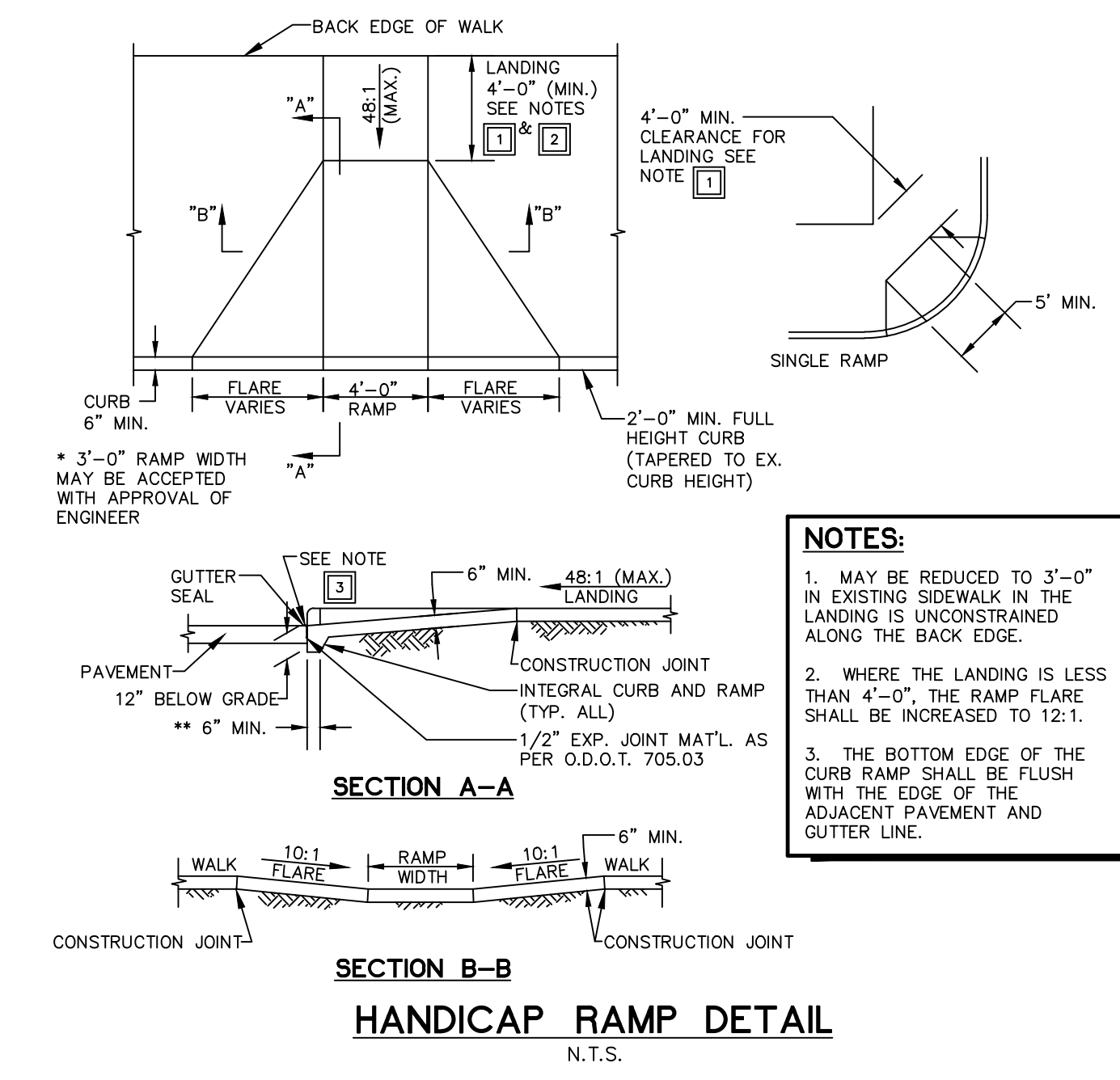
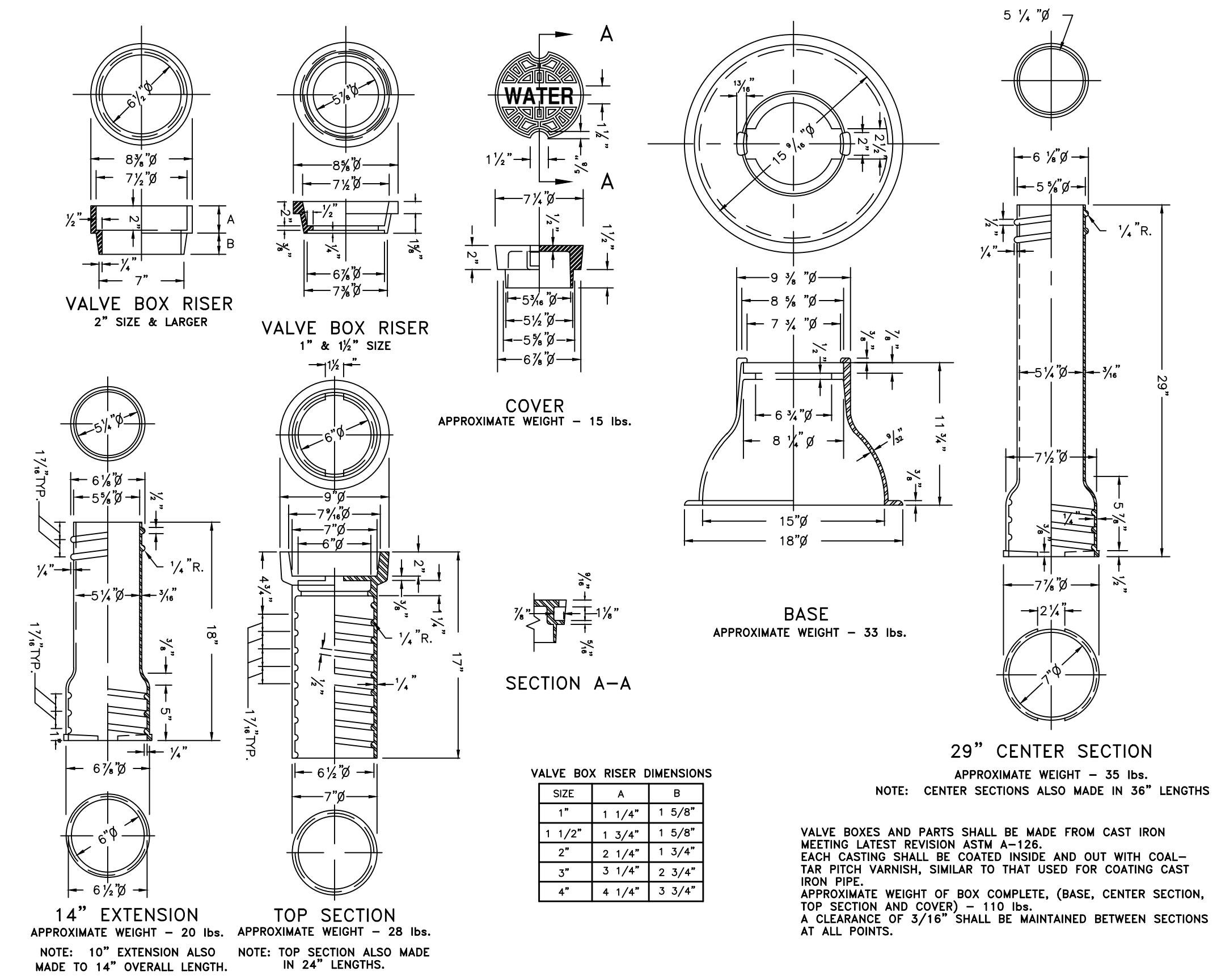
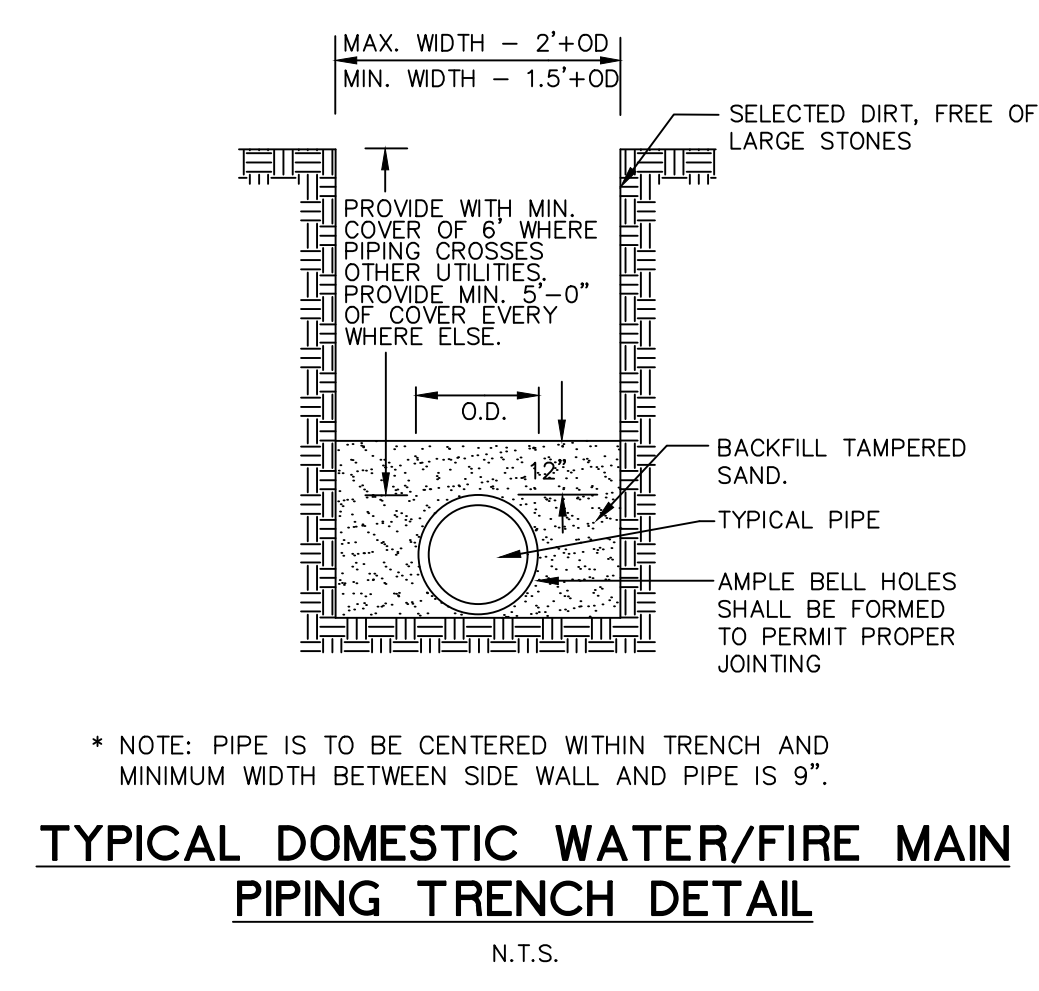
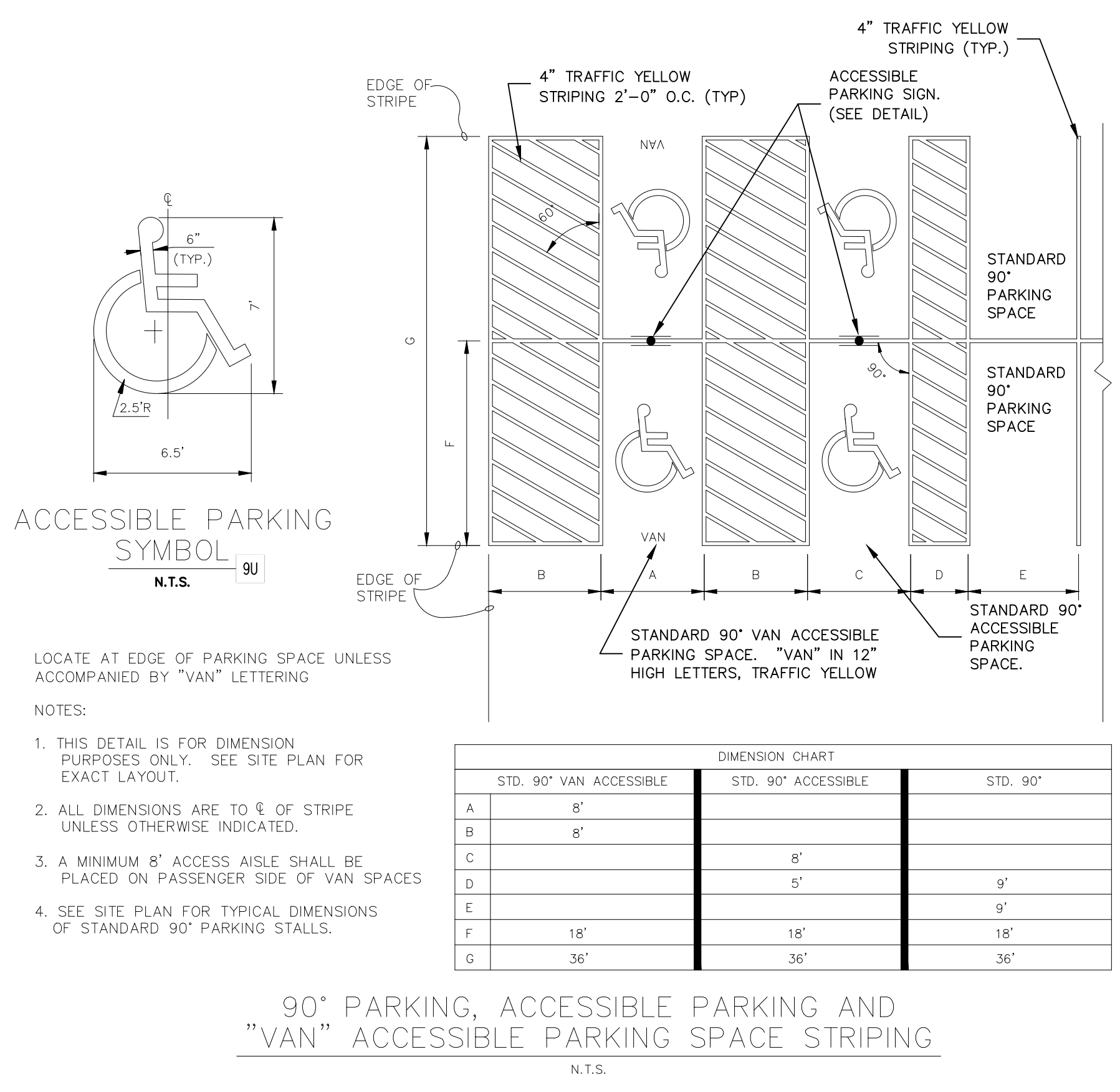
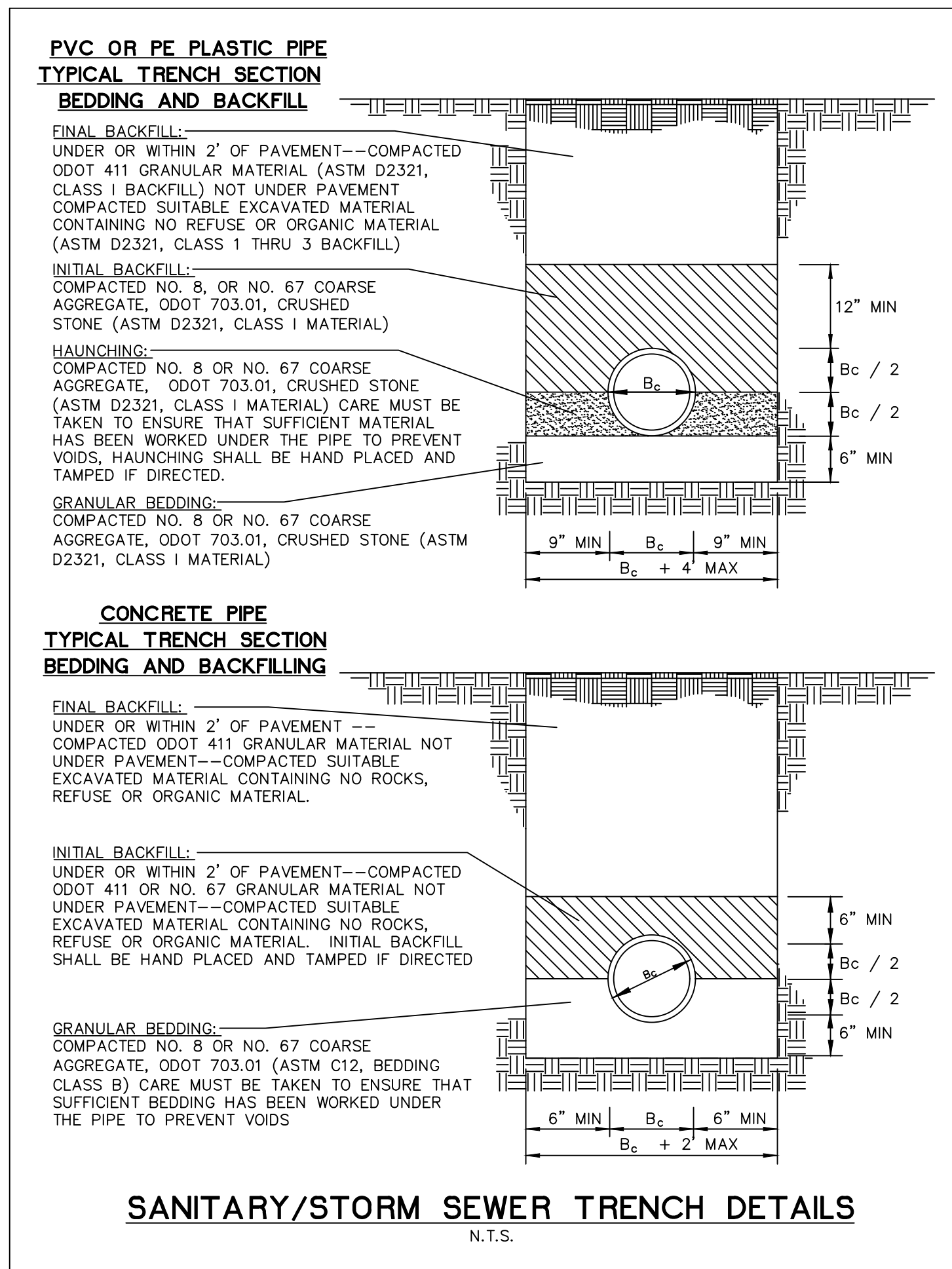
NORTHWOOD HEALTH SYSTEMS
BUILDING ADDITION & RENOVATION
 111 19TH STREET, WHEELING, WV 26003
SITE DETAILS

REVISION

DRAWN BY: _____ CHECKED BY: _____

PROJECT NO.
19-093

SCALE: AS NOTED DATE: 04/10/2020



CALL BEFORE YOU DIG,
DRILL OR BLAST!

WEST VIRGINIA LAW REQUIRES 48
HOURS NOTICE FOR CONSTRUCTION
PHASE AND 10 DAYS IN DESIGN STAGE

MISS UTILITY OF WEST VIRGINIA, INC.
1-800-245-4848

PLAN NOTES

A. ?

- CODED NOTES
1. GENERATOR BLOCK HEATER (120V).
 2. GENERATOR BATTERY CHARGER (120V).
 3. REFER TO FLOOR PLANS FOR CANOPY LIGHTING.

m&g
Matyskiela & Grant, Inc.
ARCHITECTS & ENGINEERS

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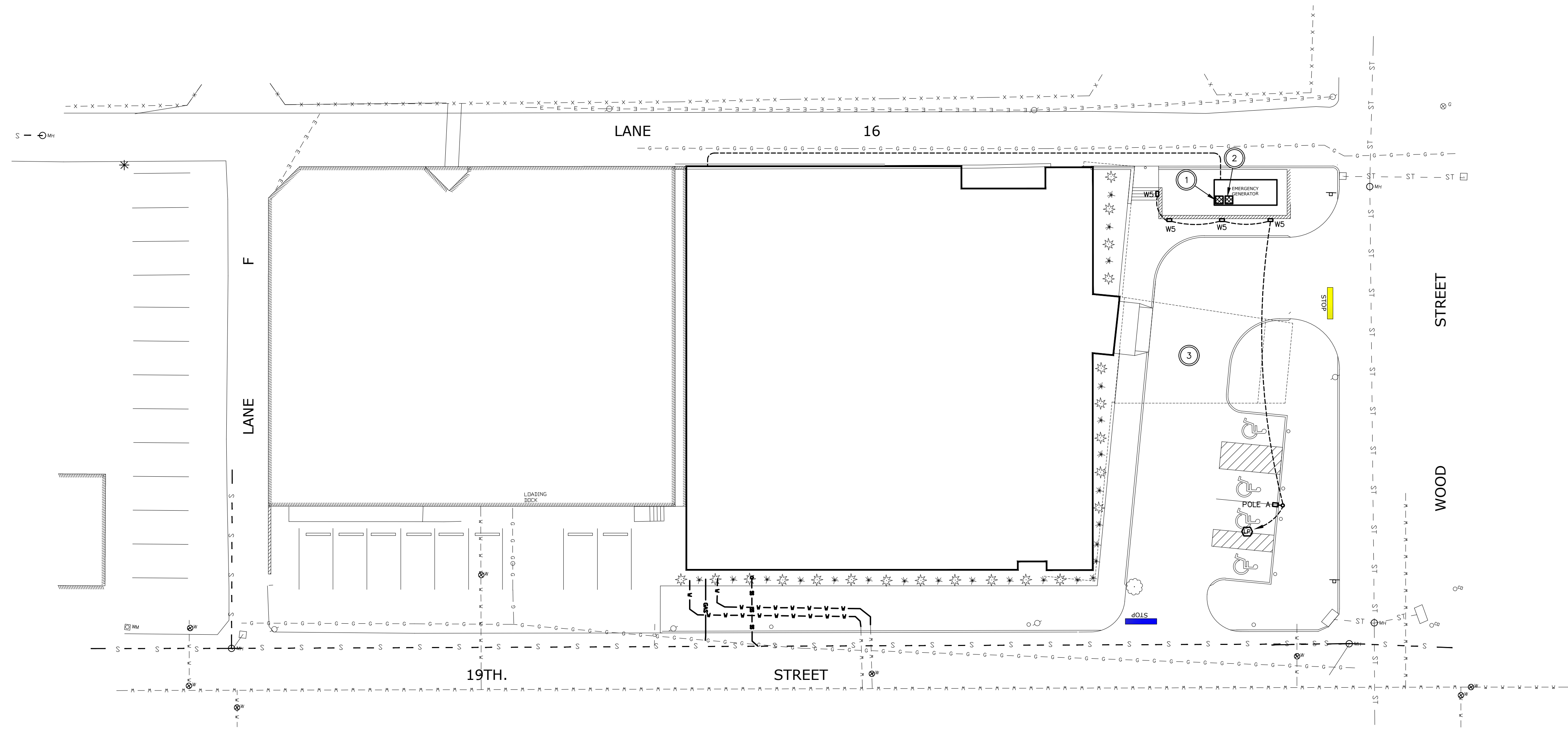
CONSTRUCTION

NORTHWOOD HEALTH SYSTEMS
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111 19TH STREET, WHEELING, WV 26003

REVISION

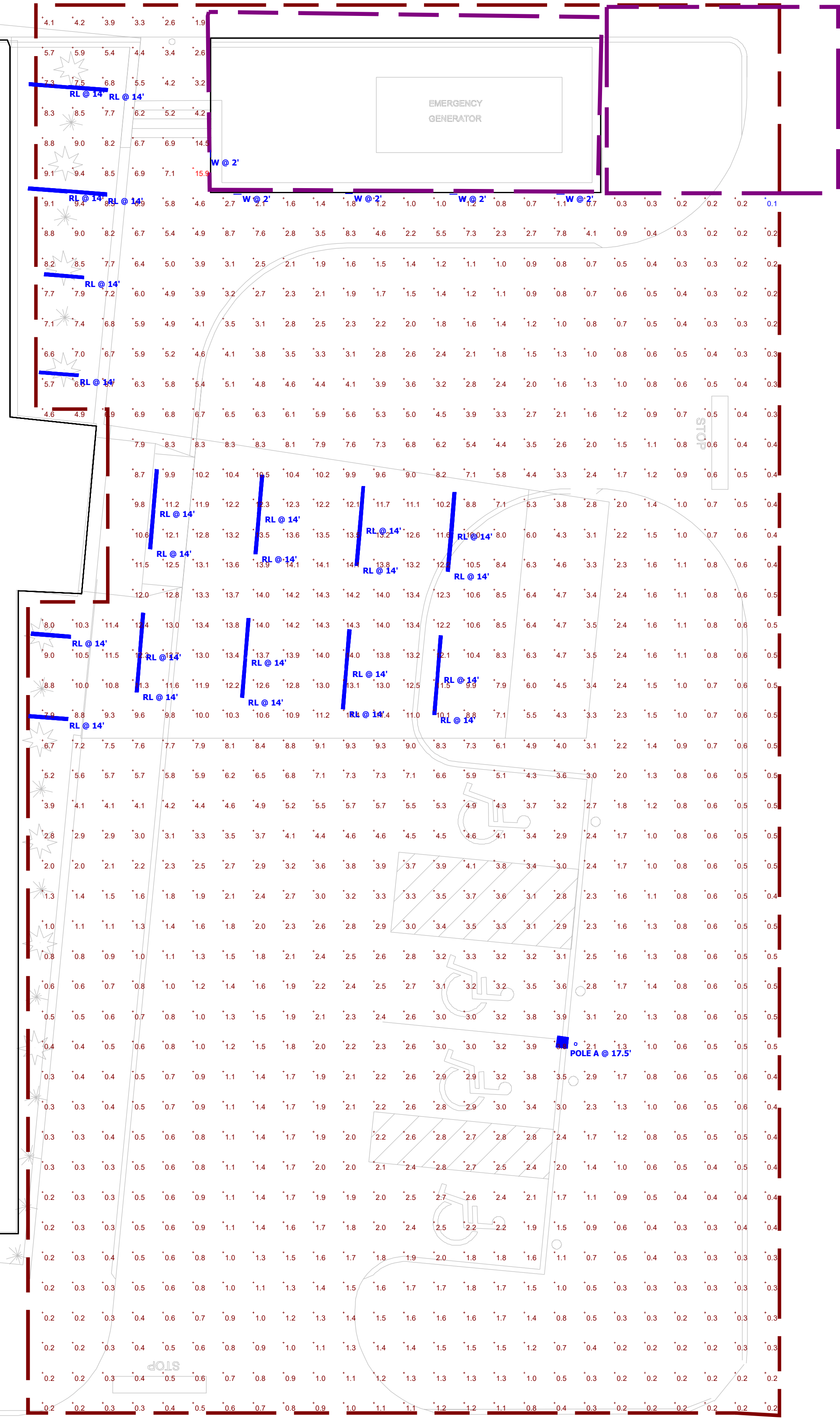
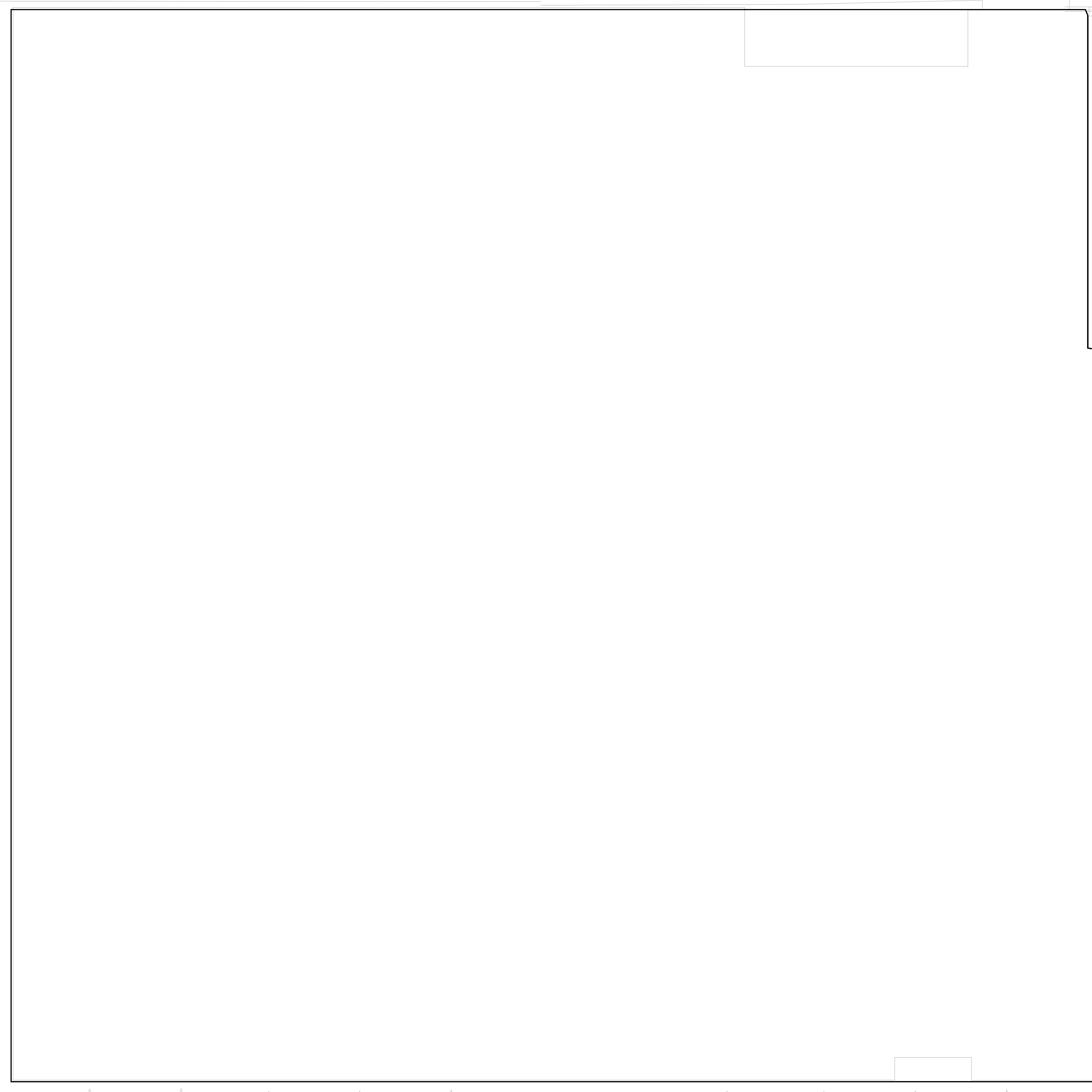
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PROJECT NO. 19-093	
SCALE: AS NOTED	DATE: 04/10/2020

SHEET
ES.1



SITE PLAN - ELECTRICAL

0 20' 40'
SCALE



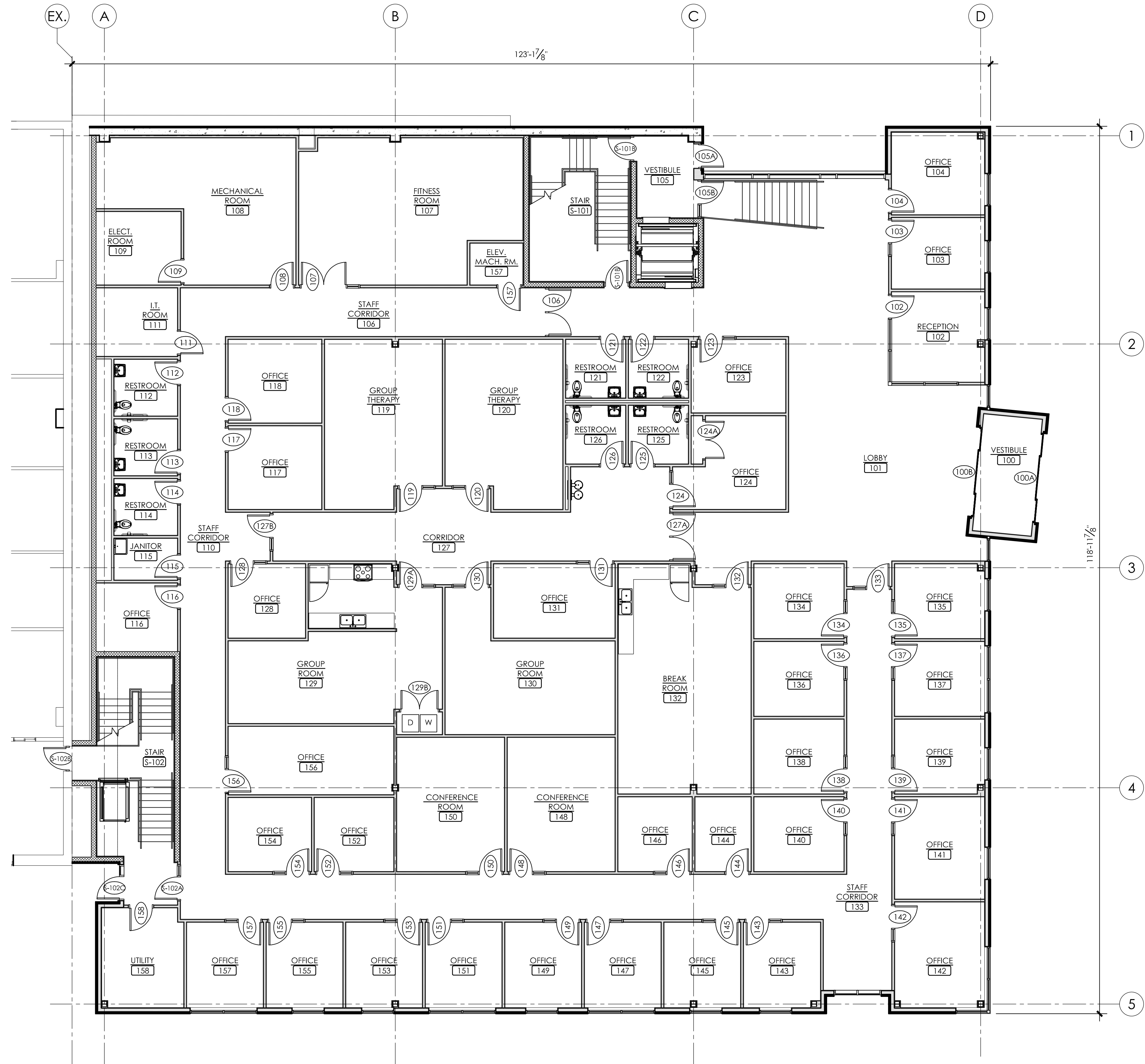
Plan View
Scale: 1" = 8ft

Symbol	Label	Image	QTY	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage	Polar Plot
	POLE A		1	DSK1 LED P2 40K T3M MVOLT	DSK1 LED P2 40K T3M MVOLT	LED	1	8641	0.9	70	
	W		5	L609-HO	3-3/4"L X 11"W X 4"H, LED STEPLIGHT 3 MODULE WITH 6 3000K LEDs WITH CLEAR TEMPERED GLASS LENS		1	225	1	14.66	
	RL		24	FSM4L-RL-375LF-35K-1C-UNV-LD1-G1-CP-WH-4ft	White formed aluminum housing, frosted plastic lens enclos ure	90 white LEDs	1	1423	1	15.46	

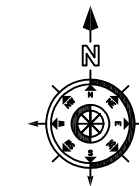
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NORTHWOOD HEALTH SYSTEMS
BUILDING ADDITION & RENOVATION
 111 19TH STREET, WHEELING, WV 26003
ADDITION - FIRST FLOOR PLAN



1 FIRST FLOOR PLAN
 A1.1 SCALE: 1/8" = 1'-0"



REVISION	

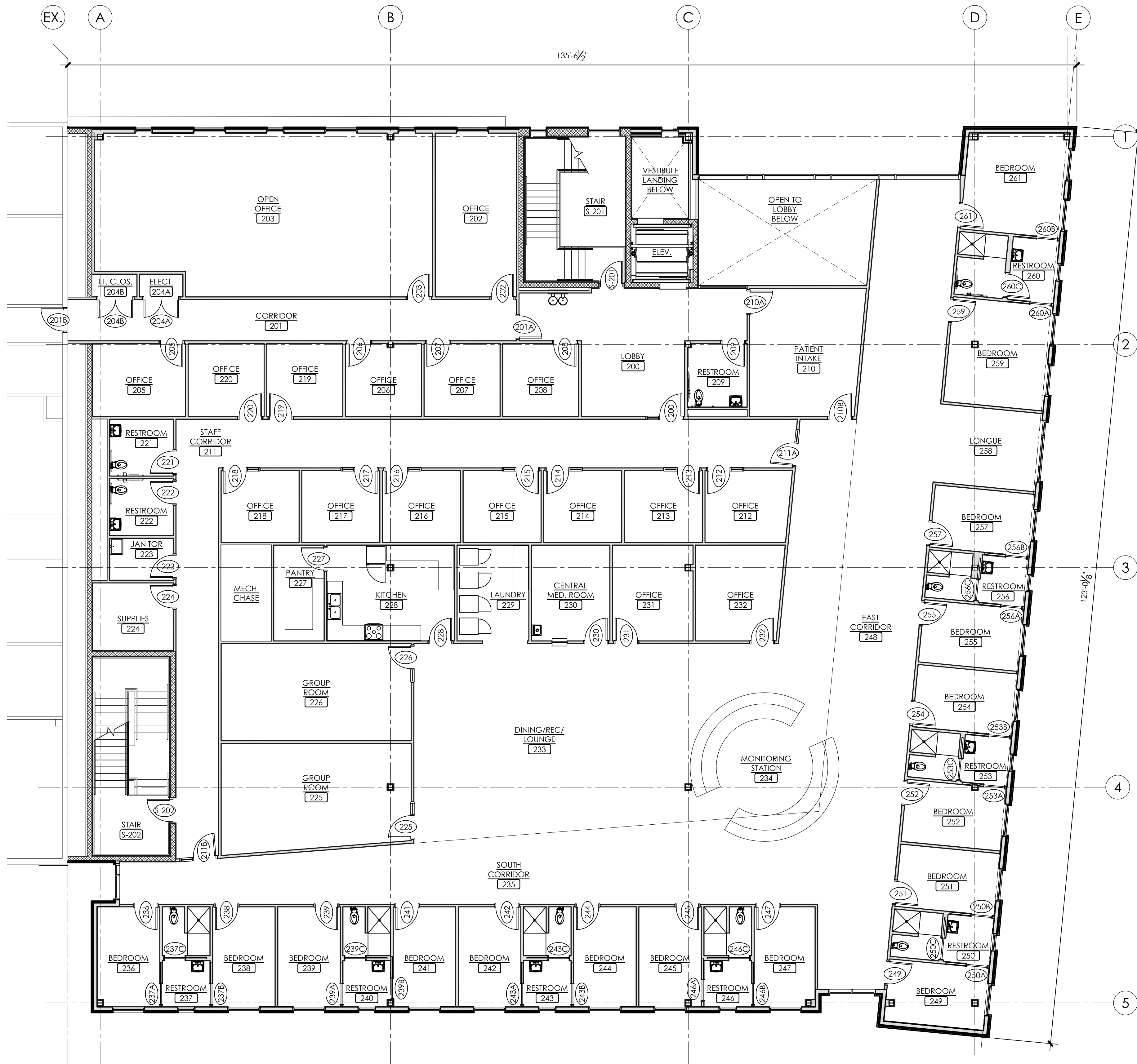
DRAWN BY: C. BRONDER	CHECKED BY: D. GRANT
PROJECT NO. 19-093	
SCALE: AS NOTED	DATE: 4/10/2020

SHEET
A1.1

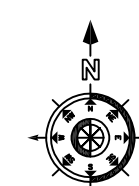
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BUILDING ADDITION & RENOVATION
 111 19TH STREET, WHEELING, WV 26003
ADDITION - SECOND FLOOR PLAN



1 SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"



REVISION	

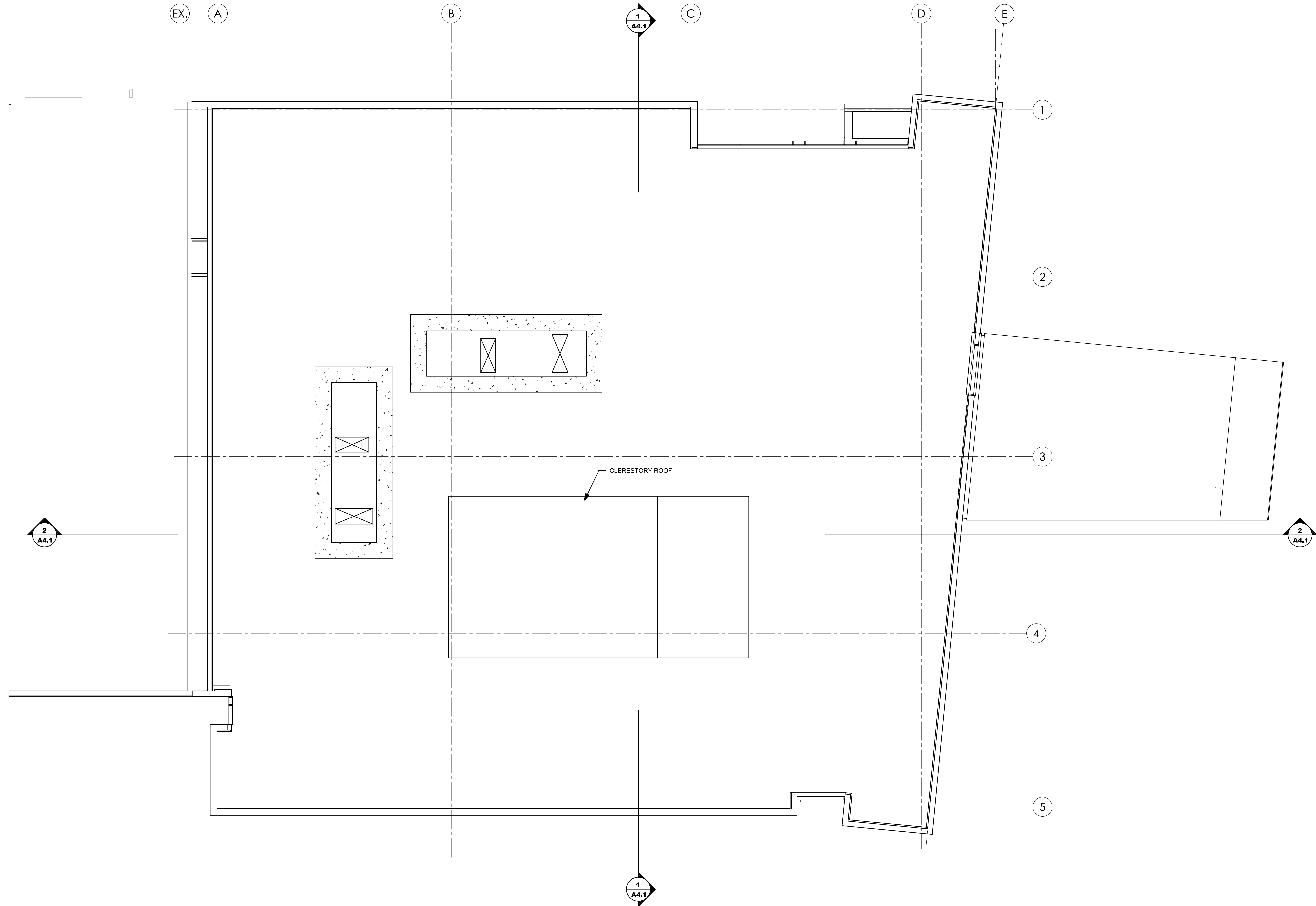
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PROJECT NO. 19-093	
SCALE: AS NOTED	DATE: 4/10/2020

SHEET
A1.2

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NORTHWOOD HEALTH SYSTEMS
BUILDING ADDITION & RENOVATION
 111 19TH STREET, WHEELING, WV 26003
ADDITION - ROOF PLANS



1 ROOF PLAN
 A1.3 SCALE: 1/8" = 1'-0"



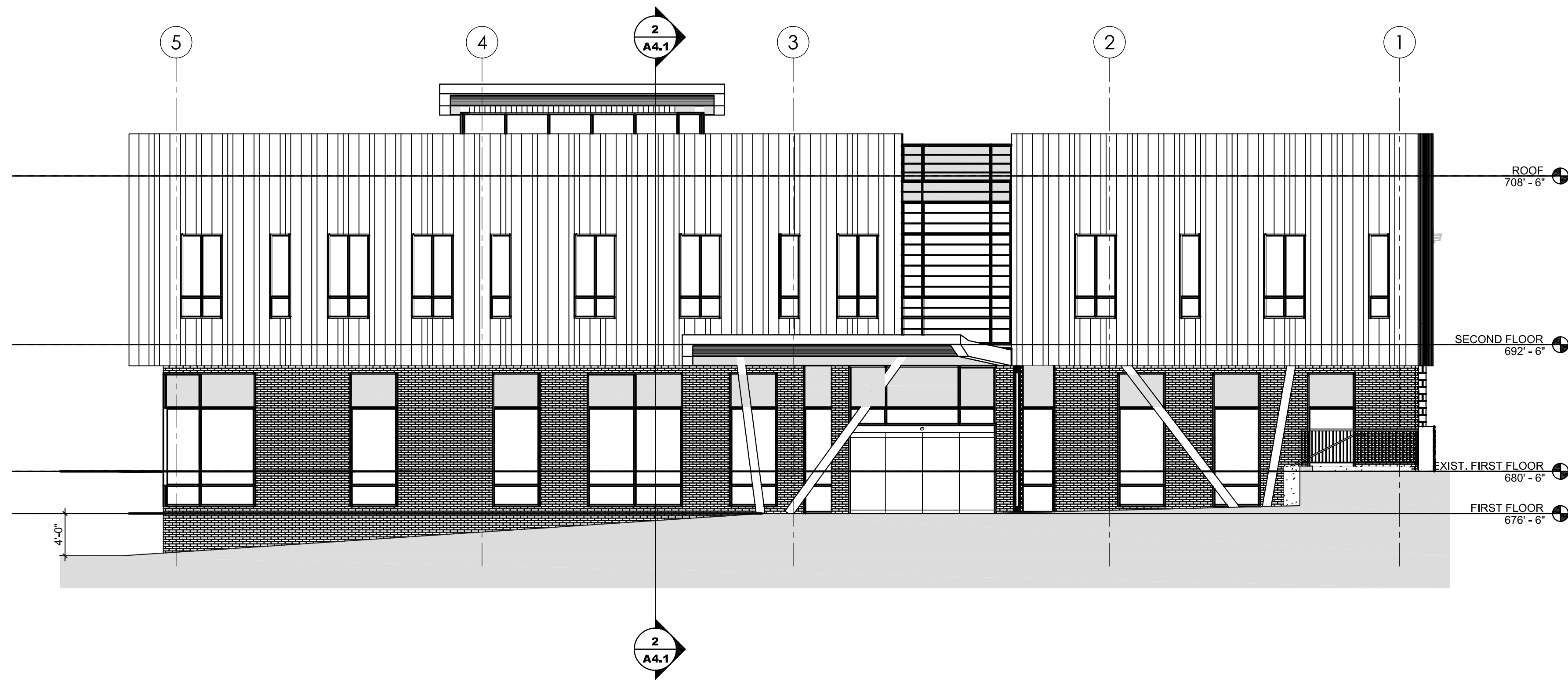
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PROJECT NO. 19-093	
SCALE: AS NOTED	DATE: 4/10/2020

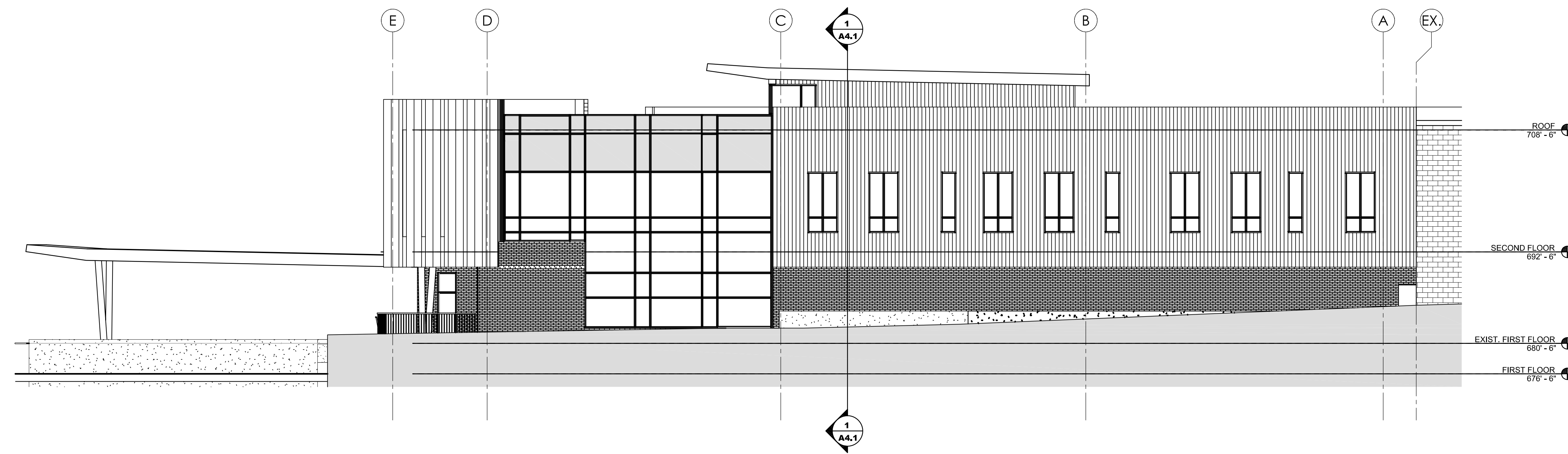
SHEET
 A1.3

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 BIDDING
 CONSTRUCTION



1 EAST ELEVATION
 A2.1 SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
 A2.1 SCALE: 1/8" = 1'-0"

NORTHWOOD HEALTH SYSTEMS
BUILDING ADDITION & RENOVATION
 111 19TH STREET, WHEELING, WV 26003
ELEVATIONS

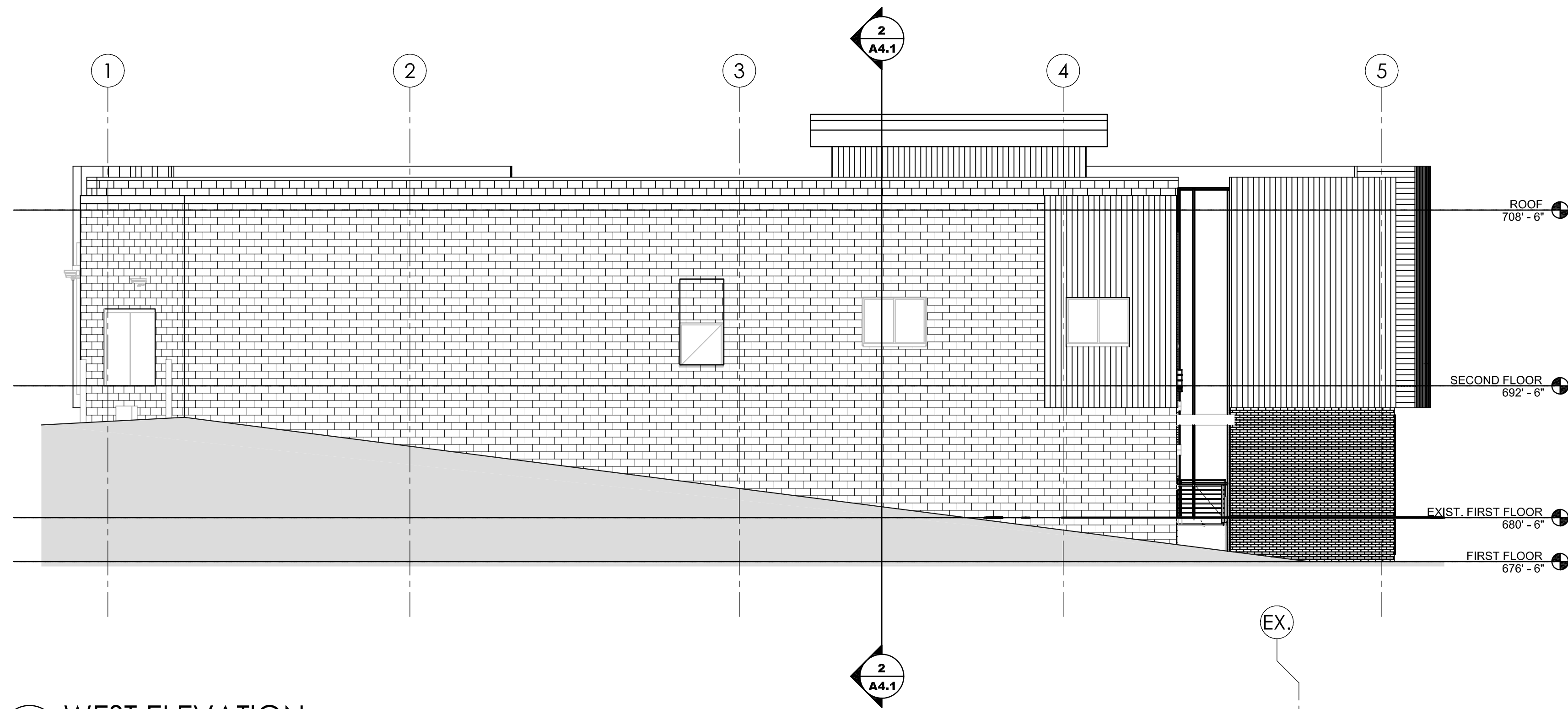
REVISION	

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PROJECT NO. 19-093	
SCALE: AS NOTED	DATE: 4/10/2020

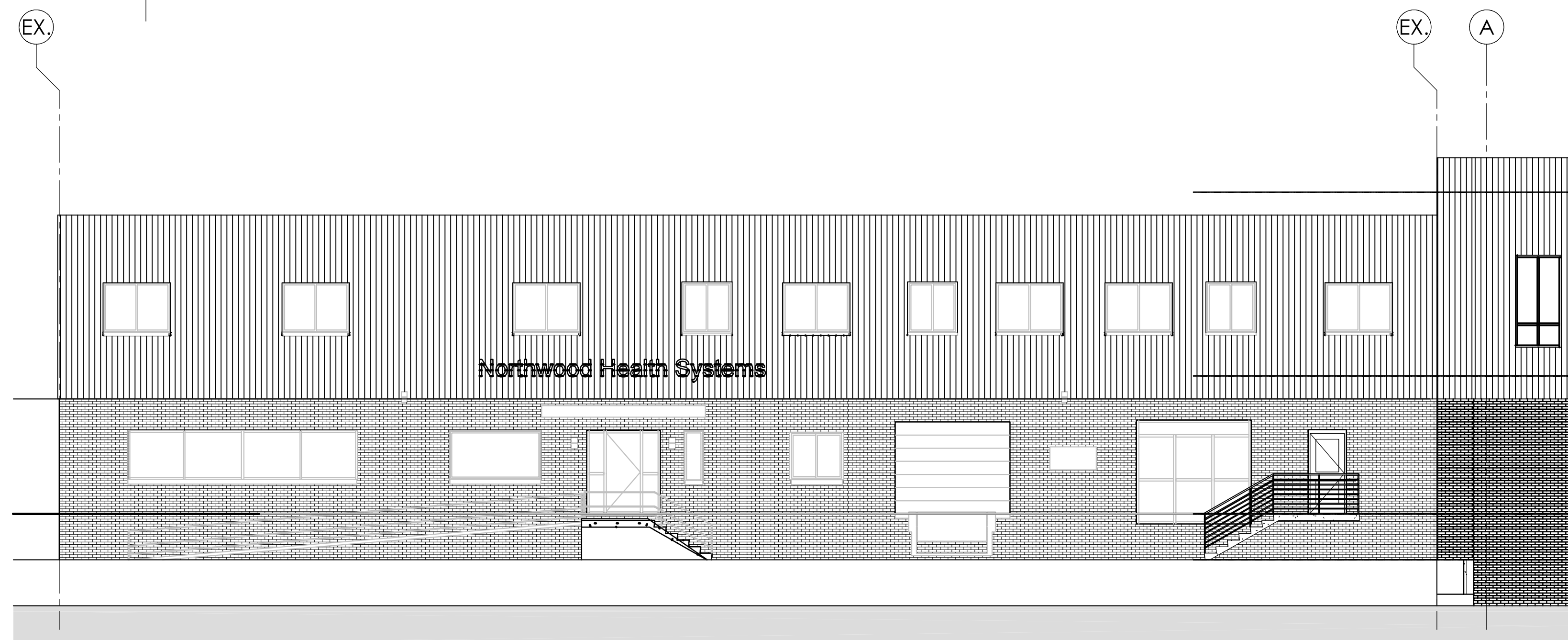
SHEET
 A2.1

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 DESIGN DEVELOPMENT
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1 WEST ELEVATION
 A2.2 SCALE: 1/8" = 1'-0"



NORTHWOOD HEALTH SYSTEMS
BUILDING ADDITION & RENOVATION
 111 19TH STREET, WHEELING, WV 26003
 ELEVATIONS



2 SOUTH ELEVATION
 A2.2 SCALE: 1/8" = 1'-0"

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SHEET
 A2.2

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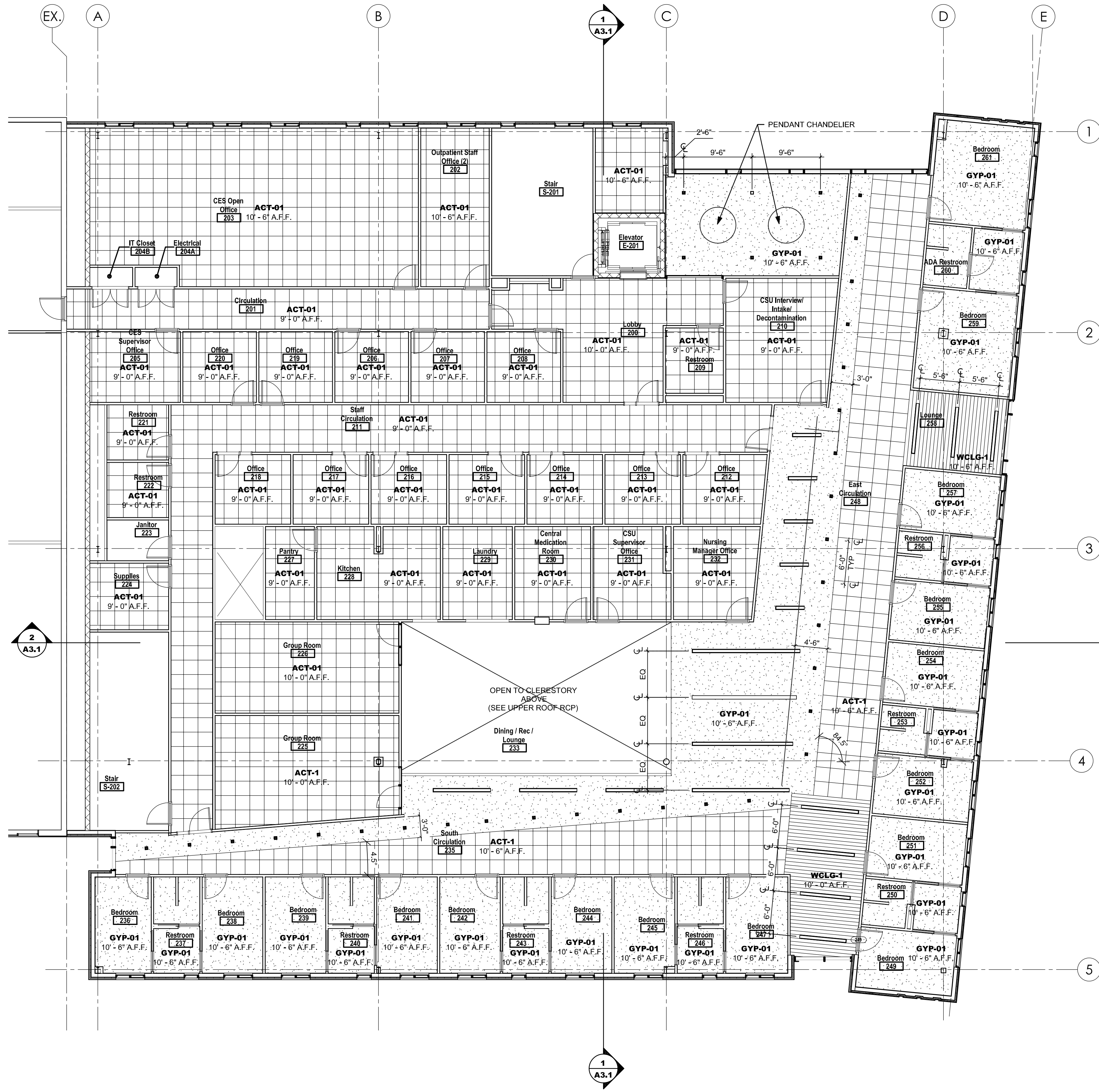
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NORTHWOOD HEALTH SYSTEMS
BUILDING ADDITION & RENOVATION
 111 19TH STREET, WHEELING, WV 26003
 2ND FLOOR AND CLERESTORY REF. CNG. PLAN

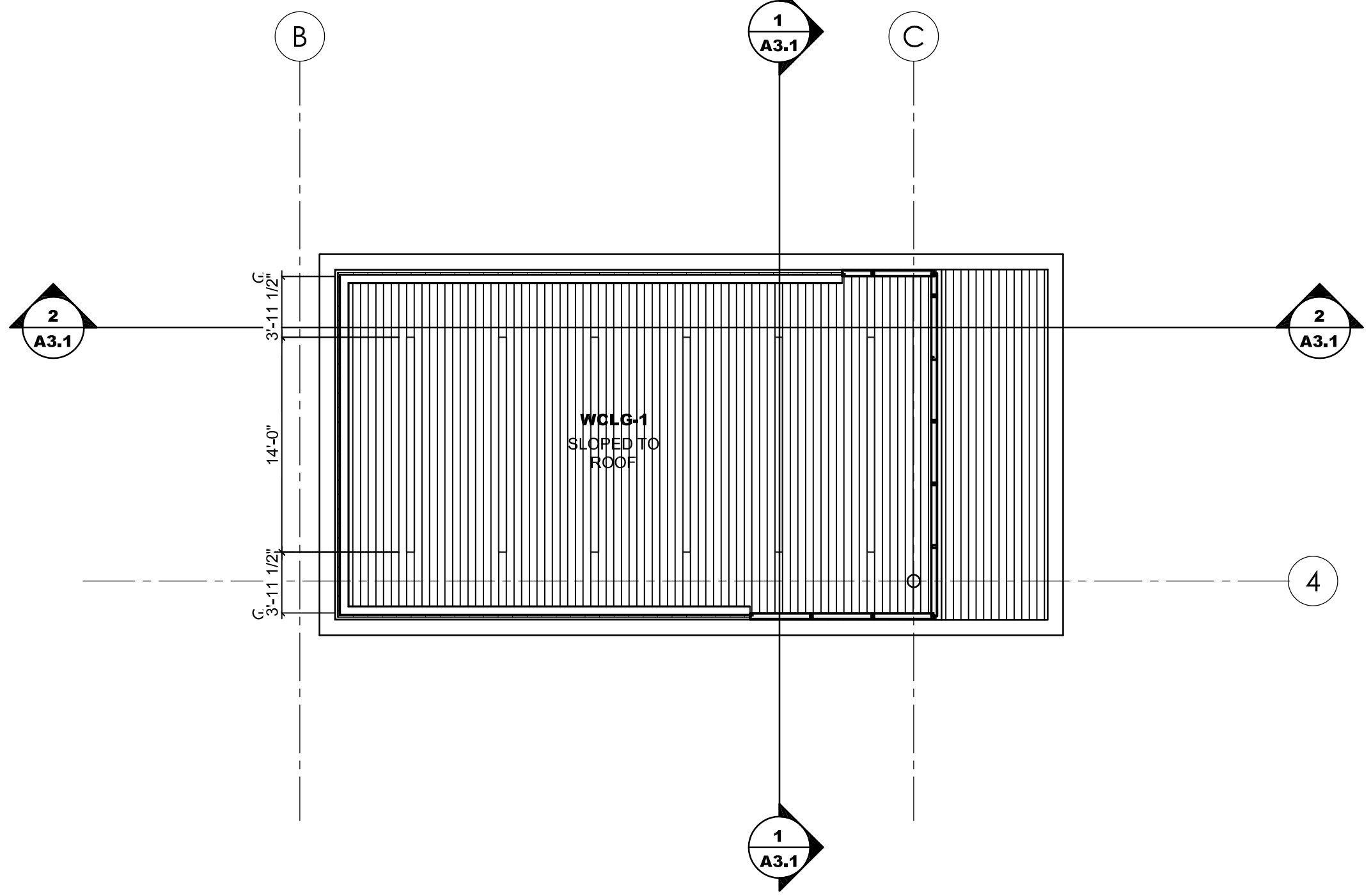
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SHEET
A3.2



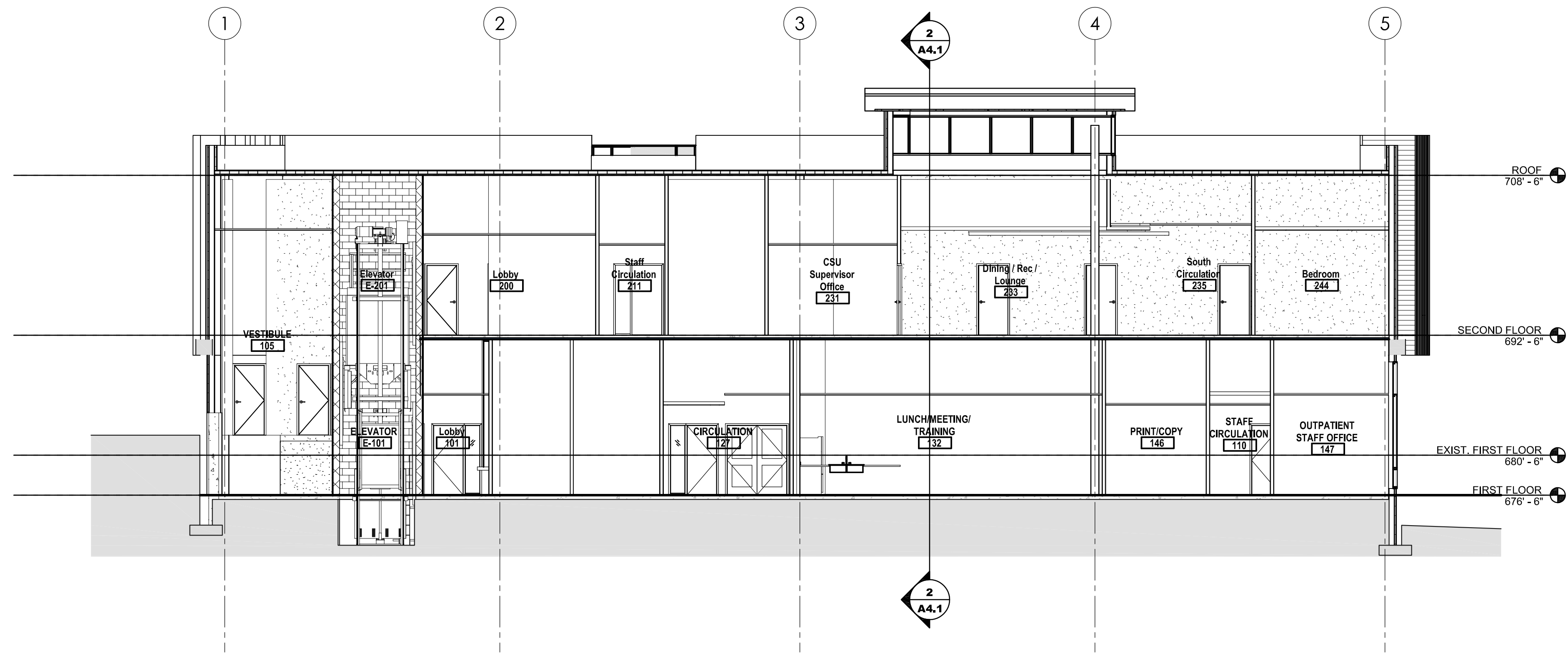
1 SECOND FLOOR REFLECTED CEILING PLAN
 A3.2 SCALE: 1/8" = 1'-0"



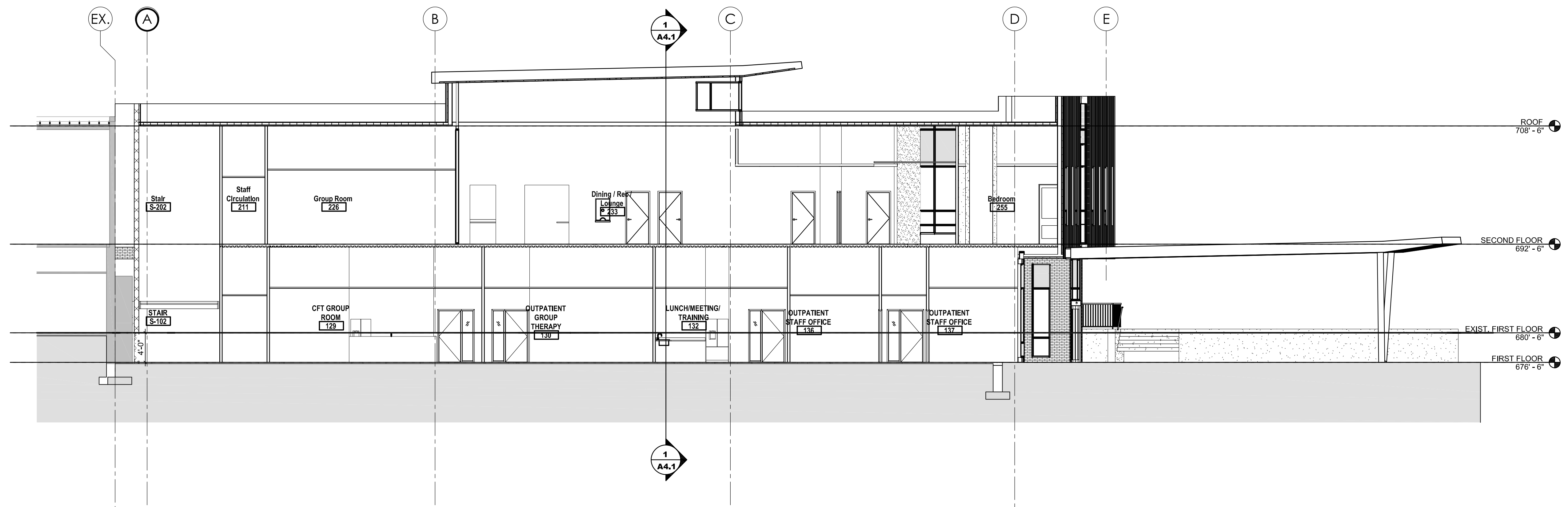
2 CLERESTORY REFLECTED CEILING PLAN
 A3.2 SCALE: 1/8" = 1'-0"

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DRAWING STATUS
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 CONSTRUCTION DRAWINGS
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1 NORTH TO SOUTH BUILDING SECTION
 A4.1 SCALE: 1/8" = 1'-0"



2 EAST TO WEST BUILDING SECTION
 A4.1 SCALE: 1/8" = 1'-0"

NORTHWOOD HEALTH SYSTEMS
BUILDING ADDITION & RENOVATION
 111 19TH STREET, WHEELING, WV 26003
 BUILDING SECTIONS

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 A4.1