



CITY OF WHEELING PLANNING COMMISSION

www.WheelingWV.gov

STAFF REPORT

PROPERTY LOCATION: 1114 Chapline Street

NATURE OF REQUEST: Site Plan Review

APPLICANT: Ohio Valley Community Federal Credit Union

BACKGROUND & ANALYSIS:

Ohio Valley Community FCU is seeking final site plan approval for the construction of an office building with drive-thru at 1114 Chapline Street. This property is zoned D-2 Downtown Medium Density. The proposed use is permitted. This application requires a site plan review by the Planning Commission because the proposed development exceeds 4,000 square feet.

The existing structure and drive thru, which are located along the southern property line and extend north, will be demolished and replaced with the proposed 2-story structure, which will be located farther north on the site to allow for traffic circulation around the building. The structure will consist of retail space for conducting financial services on the first floor and office space for lending and administrative personnel on the second floor. The building will measure approximately 54' x 65' and total over 6,000 square feet and provide 46 parking spaces, including 2 ADA. The proposed financial institution requires approximately 24 spaces, with the remaining spaces available for lease. A site plan review checklist has been included for your review.

Structures in the downtown zoning districts are required to have a 0' front setback and be built along the front property line adjacent to the sidewalk. The Application for Zoning Compliance indicates a 0' front setback for the proposed structure, however the front wall of the structure will be set back approximately 8' to accommodate stairs, an accessible ramp and landscaping.

A variance to reduce the building height from 3 stories to 2 stories was previously denied, which led to City Council amending the ordinance to allow for 2 story buildings in the downtown zoning districts.

A sign package has not been finalized, but will be developed to meet the zoning ordinance.

The Site Plan (Sheet SP101) depicts both existing conditions (lighter shade) and the proposed layout (darker shade). The amended Landscaping Plan (Sheet SP301) depicts the required amount of landscaping (5 deciduous trees).

STAFF RECOMMENDATION:

The staff recommends approval of the site plan.

COMMISSION MEMBERS

MARTHA WRIGHT, CHAIR · JEREMY WEST, VICE CHAIR · THOMAS CONNER · RUSTY JEBBIA
JAMES J. MAUCK · HOWARD MONROE · DAVE PALMER · CHRISTINA SCHESSLER · WILLIAM SCHWARZ

STAFF: THOMAS CONNELLY, AICP

ATTACHMENTS:

Correspondence to the Commission
Application for Zoning Compliance
Site Plan Review Checklist
Site Photo
Renderings (7 pages)
Drawing Sheet Set (9 pages)
 CS01 – Cover Sheet
 C001 – Site Demolition Plan
 C201 – Site Grading Plan
 C202 – Site Grading Details
 C301 – Site Utility Plan
 SE101 – Photometric Plan
 SP101 – Site Plan
 SP102 – Accessible Route Plan
 SP301 – Landscape Plan



December 22, 2020

TO: City of Wheeling Planning Commission

RE: Ohio Valley Community FCU
1114 Chapline Street
Wheeling, WV 26003

Ohio Valley Community FCU is seeking planning commission approval for a new development located at 1114 Chapline Street in the city of Wheeling West Virginia. The development consists of a new 2 story credit union facility with a 3 lane drive up canopy. The first floor of the credit union will be retail space for conducting financial services and the second floor will house offices for lending and administrative personnel. The site work includes removing the existing asphalt, grading, and paving. We are proposing 44 standard parking spots and 2 ADA spots for a total of 46 parking spots. We are also proposing all new landscaping in the landscape beds depicted on the site plan.

The project has been in front of Wheeling Water Pollution Control. We were directed to sheet drain the site seeing as there is no storm water management in the area and that they no longer want storm water entering the sanitary system. It is worth noting that we are reducing the impervious area on the site and adding landscaping.

The signage on the renderings are place holders and will be submitted as a separate signage permit at a later date.

We look forward to the planning commission's consideration of the project.

Best Regards,

Bub Caliando
Preconstruction
412-963-0500 ext. 312



APPLICATION FOR CERTIFICATE OF ZONING COMPLIANCE FOR THE USE, ERECTION, ALTERATION, OR REPAIR OF A BUILDING OR LAND

The undersigned applies for a Certificate of Zoning Compliance for the following, said certificate is to be issued on the basis of the information contained within the application. The applicant hereby certifies that all information and attachments are true and correct.

- 1. Address of Property: 1114 Chapline Street Wheeling, WV 26003
2. Name of Property Owner: Anthony Wayne Oil Corp. of W.VA.
3. Name of Applicant: Ohio Valley Community FCU
4. Address of Applicant: 52775 Boston Hill Rd. Hannibal, OH 43931
5. Applicant Phone: 740-483-2279 Owner Phone: 304-233-0188
6. Existing Use: Financial Institution
7. Proposed Use: [X] Same [] Other (describe):
8. Number of off-street parking spaces to be provided: 46
9. Number of off-street loading berths to be provided: 0

COMPLETE THIS SECTION BELOW FOR THE ERECTION, ALTERATION, OR ADDITION OF A STRUCTURE

Type of Improvement:

- [X] New Building
[] Addition
[] Alteration / Repair

Residential:

Number of existing dwelling units:
Number of proposed dwelling units:

Existing Lot Dimensions: Width: 200 ft. x Depth: 132 ft. = lot area: 26,400 sq. ft.

Existing Principal Building:

Dimensions: Width: 17.29 ft. x Depth: 43.74 ft. = Total first floor area, including covered porches: 2,530 sq. ft. (including drive thru)
Setbacks: Front: 0 ft. Rear: 87.17 ft. Side: 6.65 ft. Other Side: 128.5 ft. Height/Stories: Appx 15'

Existing Accessory Building: (garage, carport, shed, pool, etc):

Dimensions: Width: N/A ft. x Depth: N/A ft. = Total first floor area, including covered porches: sq. ft.
Setbacks: Front: N/A ft. Rear: N/A ft. Side: ft. Other Side: ft. Height/Stories:

Proposed Construction:

Dimensions: Width: 54 ft. x Depth: 65.33 ft. = Total first floor area, including covered porches: 3,784 sq. ft.
Setbacks: Front: 0 ft. Rear: 58.64 ft. Side: 71.71 ft. Other Side: 43.71 ft. Height/Stories: 29'

Applicant Signature: [Signature] Date: 12/16/20

Owner Signature: [Signature] (owner agent) Date: 12/16/20

Reset Form

Print Form

Site Plan Review Checklist

1. Legal Data:

- property owners within 100'
- existing zoning and special district boundaries
- boundaries of property, setback lines, existing streets and adjoining lots, reservations, easements, and areas dedicated to public use

2. General Project Site Description:

- map showing entire property, adjacent property and streets at convenient scale
- approximate location and dimension of all existing and proposed structures on adjacent properties and within 100' of site boundary
- name & address of applicant, planners, engineers, architects working on project

3. Preliminary & Final Plans:

- location map: show all roads within 200' of the site.

existing conditions:

- buildings
- water bodies & floodplains
- wooded area, existing vegetative cover and other significant features

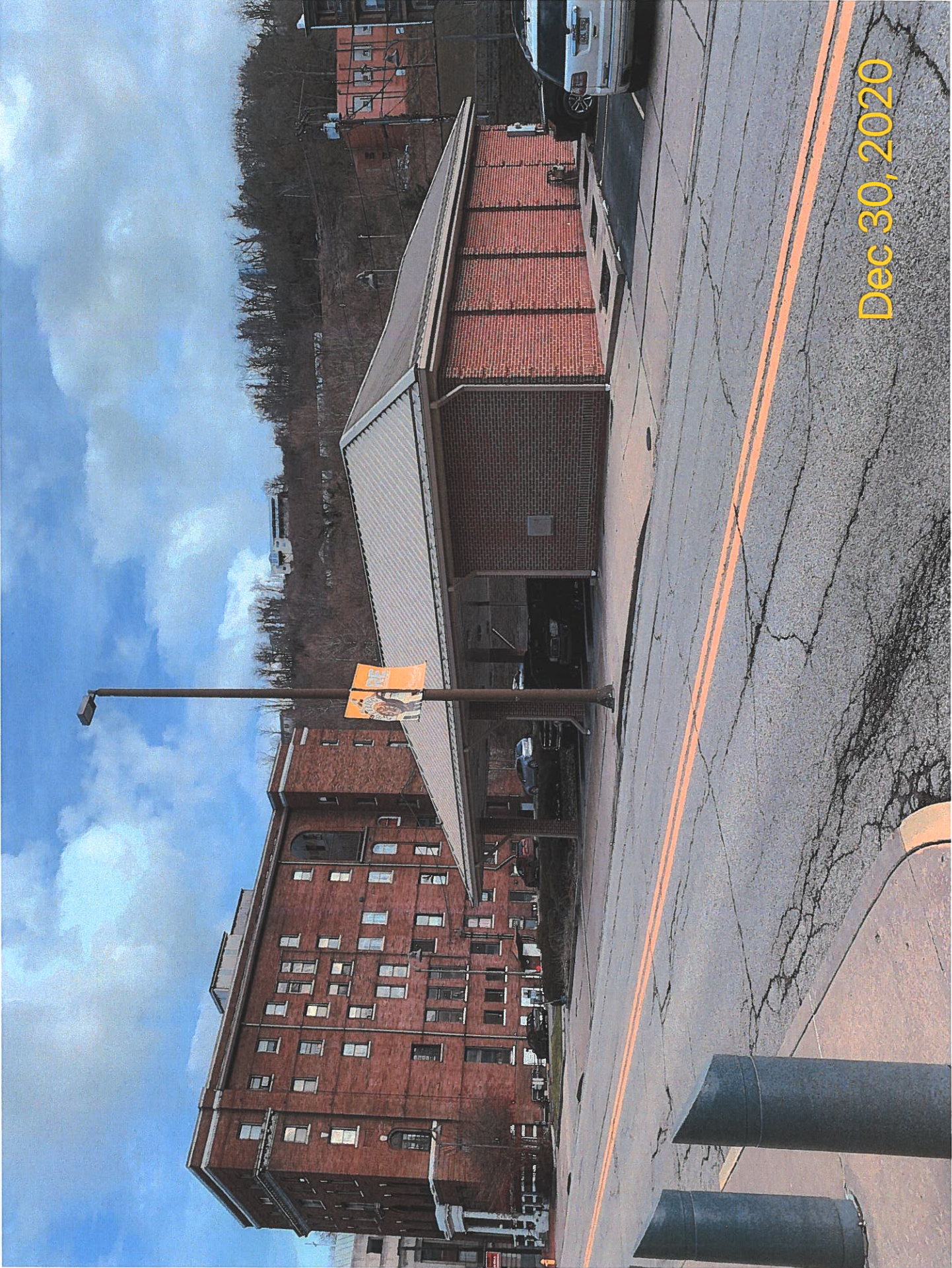
development data:

- title, date, north point, scale
- owner information
- project engineer
- vehicular / pedestrian access and circulation
- elevations, building height, floor plans
- walkways & fire lanes
- location of waterlines, valves, hydrants, sewer lines
- location and direction of outdoor lighting within the site and at the boundary if adjacent to residential development.
- grading and drainage
- landscaping plan
- cut and fill of disturbed areas (before and after profiles), E&SC Plan, location of sediment sink / setting pond and interceptor swales
- storm water drainage system / computations
- location, size, color illumination of signage
- drains, culverts, walls, and fences
- outdoor storage location
- detailed breakdown of proposed floor space by use
- location and design of energy distribution facilities: electric, gas, solar
- lines and dimensions of property to be dedicated public
- construction schedule
- record of application of necessary permits from federal, state or county
- copies submitted on media 24" x 36", 11" x 17", and digital copy

4. Additional Submissions (special conditions may require additional information)

5. Amendments

Changes / modifications to the approved plans require review by Planning Administrator to determine if an amended site plan review by the Planning Commission is required.



Dec 30, 2020





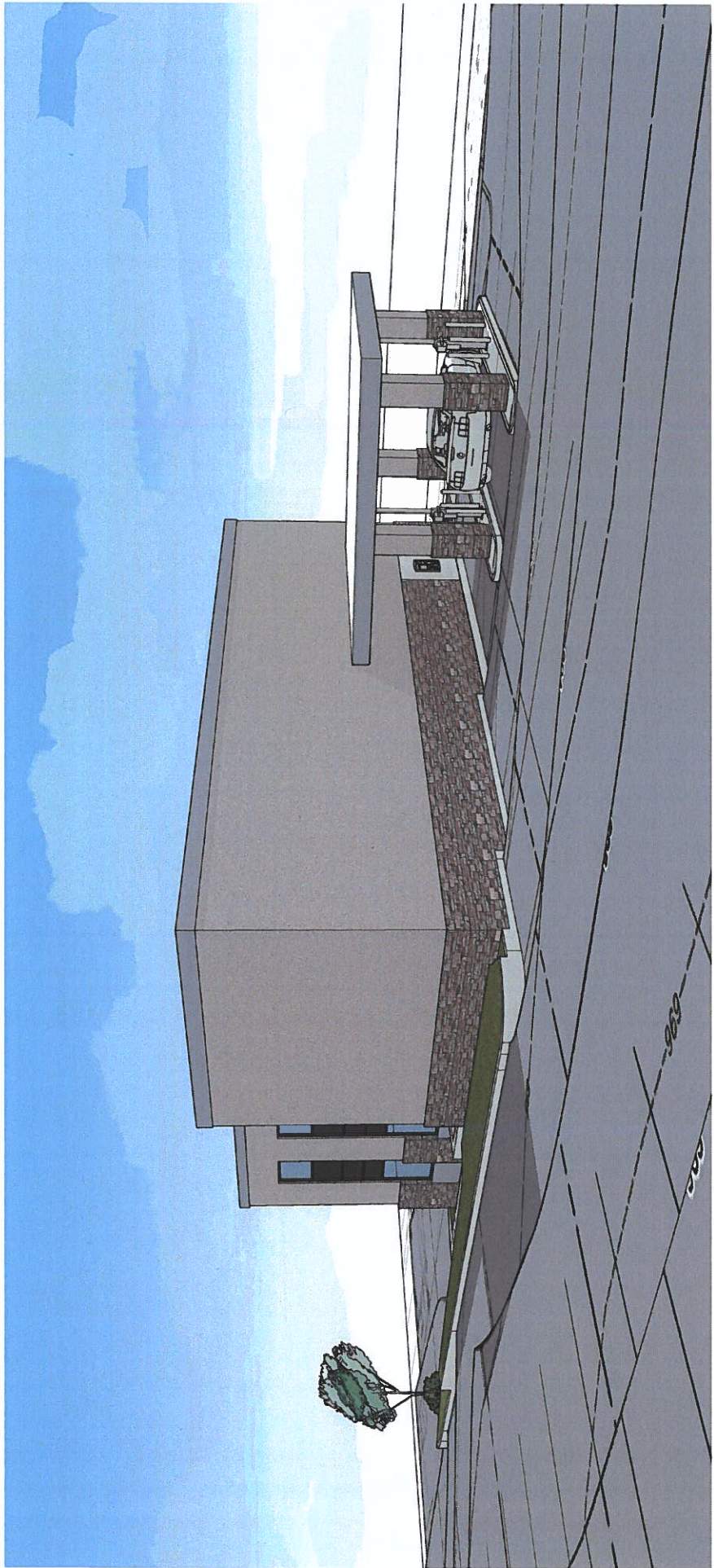


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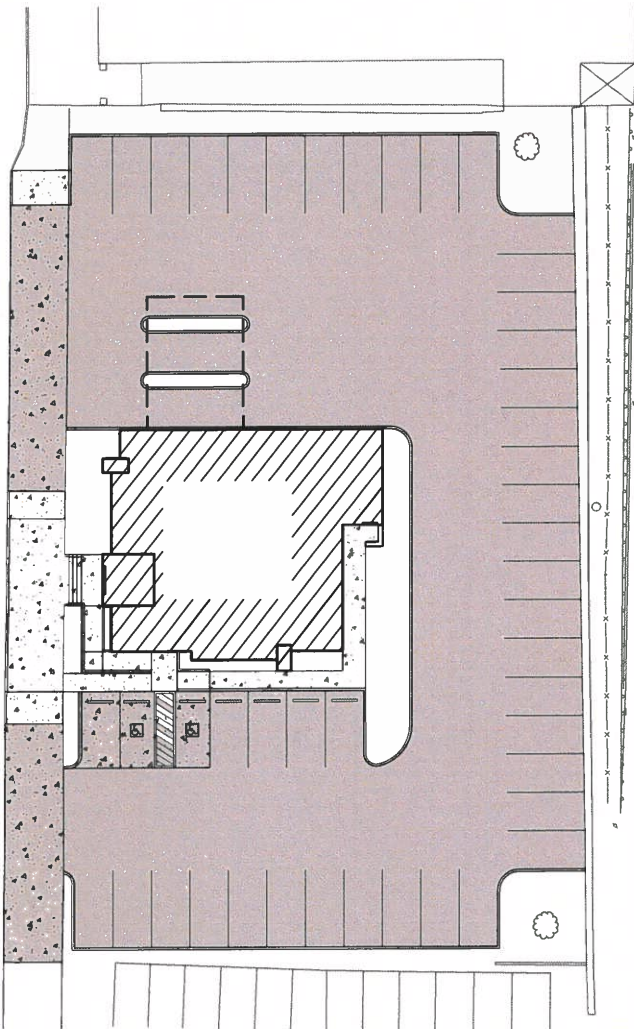
GENERAL NOTES

- EXISTING CONDITIONS AS PICTURED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS BY VISUAL OBSERVATION AND BY EXAMINATION OF RECORD PLANS AND SURVEY DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS PRIOR TO BIDDING ON THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT FROM THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES (INCLUDING THOSE LABELED PER RECORD DATA) PRIOR TO THE BEGINNING OF CONSTRUCTION OR EARTH-MOVING OPERATIONS. INFORM ENGINEER OF ANY CONFLICTS DETRIMENTAL TO THE DESIGN INTENT.
- 48 HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES: THE WEST VIRGINIA UTILITY PROTECTION SERVICES, AND ALL OTHER AGENCIES THAT MAY HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NON-MEMBERS OF WEST VIRGINIA UNDERGROUND PROTECTION, INC.
- THE CONTRACTOR AND ITS SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATING WITH APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND ITS SUBCONTRACTORS TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- THE CONTRACTOR SHALL WORKMANLY AND HOLD HARMLESS THE OWNER AND OWNERS' REPRESENTATIVE FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONS AND/OR PROPERTY AND/OR EXISTING FACILITIES OCCURRING IN THE COURSE OF THE WORK DERIVED IN THIS PLAN. PAY ALL REQUIRED FEES PRIOR TO BEGINNING WORK.
- ANY WORK PERFORMED IN THE LOCAL OR STATE RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH THE APPLICABLE LOCAL OR STATE REQUIREMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND PROVIDE THE NECESSARY TRAFFIC CONTROL MEASURES AND DEVICES, ETC., FOR WORK PERFORMED IN THE RIGHT OF WAYS.
- CONTRACTOR SHALL IMPLEMENT ALL SOIL AND EROSION CONTROL PRACTICES REQUIRED BY LOCAL REQUIREMENTS (IF APPLICABLE) AND THE WEST VIRGINIA DEP. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN COMPLIANCE WITH THE REQUIREMENTS. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL MEASURES AS NECESSARY, EVEN IF NOT SHOWN ON THESE PLANS. PREVENT EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICE MANUAL, 2006 (REVISED AUGUST 2016)
- ALL CONSTRUCTION ACTIVITIES SHALL BE PERFORMED ACCORDING TO THE PLANS, SEPARATE BOUND TECHNICAL SPECIFICATIONS, AND IN ACCORDANCE WITH APPLICABLE STANDARDS OF LOCAL REQUIREMENTS (IF APPLICABLE).
- THE CONTRACTOR SHALL REFER TO ALL PLANS WITHIN THIS CONSTRUCTION SET (ARCHITECTURAL, STRUCTURAL, CIVIL, ETC) FOR PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEFINE ALL WORK ASSOCIATED WITH THE PROJECT.
- IN THE EVENT THAT AN ERROR WITH THE PLANS SEEMS APPARENT, THE MATTER MUST BE TAKEN UP WITH THE ENGINEER OF RECORD FOR CAREFUL REVIEW BEFORE PROCEEDING WITH CONSTRUCTION. WITHIN 48 HOURS THE CONTRACTOR SHALL SUBMIT A REQUEST AND RECEIVE DIRECTIONS FOR INFORMATION PRIOR TO PERFORMING ANY WORK.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH STATE DEPARTMENT OF TRANSPORTATION REGULATIONS AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC.. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
- THE CONTRACTOR SHALL USE SUITABLE METHODS TO CONTROL DUST AND DIRT CAUSED BY ANY SITE ACTIVITIES.

SEQUENCE OF CONSTRUCTION

- PHASE PROJECT AS INSTRUCTED BY ARCHITECT TO MAINTAIN PARKING STALLS AS NECESSARY.
- NO CONSTRUCTION ACTIVITIES SHALL TAKE PLACE BEFORE ALL APPLICABLE PERMITS HAVE BEEN OBTAINED AND ALL NECESSARY TRAFFIC CONTROL MEASURES AND DEVICES HAVE BEEN INSTALLED. PERMITS MUST BE OBTAINED BEFORE ANY EARTHWORK ACTIVITIES TAKE PLACE WITHIN THE WORK RIGHT-OF-WAY.
- PRIOR TO COMMENCEMENT OF ANY EARTH DISTURBANCE ACTIVITY, INCLUDING DEMOLITION, THE RESTRAINT SHALL CLEARLY DELINEATE SENSITIVE AREAS OR TREES WHICH ARE TO BE PROTECTED, AND THE LIMITS OF CLEARING. INSTALL APPROPRIATE BARRIERS WHERE EQUIPMENT MAY NOT BE PARKED, STAGED, OPERATED, OR LOADED FOR ANY PURPOSES.
- SEDIMENT BARRIERS - INSTALL PERIMETER BMPs AS INDICATED IN THE PLAN OR AS NECESSARY AFTER THE CONSTRUCTION SITE IS ACCESSED.
- DEMOLITION - REMOVE AND PROPERLY DISPOSE OF ANY ITEMS REQUIRING DEMOLITION AS INDICATED IN THE PLAN OR ENCOUNTERED ON SITE.
- SITE CONSTRUCTION AND EARTHWORK SHALL BEGIN AS SOON AS PRACTICABLE AFTER DEMOLITION. AREAS AT FINAL GRADE NOT RECEIVING A STONE OR PAVEMENT SURFACE SHALL BE STABILIZED WITH SEED AND STRAW AS SOON AS PRACTICABLE FOLLOWING CONSTRUCTION. THESE OPERATIONS SHALL BE CONDUCTED PROGRESSIVELY.
- TOPSOIL AND/OR SPOIL PILES SHALL BE GRADED SO THAT RUNOFF FLOWS AWAY FROM THE STOCKPILE. PLACE COMPOST FILTER SOCK OR OTHER BMPs AROUND STOCKPILES TO TREAT RUNOFF FROM THE PILES. THIS MATERIAL SHALL BE PLACED IN SEPARATE SPOIL PILES.
- SURFACE STABILIZATION - EXCEPT AS NOTED BELOW, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. BUT IN NO CASE MORE THAN FOUR DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS PERMANENTLY CEASED. WHERE THE INITIATION OF STABILIZATION MEASURES BY THE FOURTH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS CONDITIONS ALLOW. WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 14 DAYS FROM WHEN ACTIVITIES CEASED, (E.G., THE TOTAL TIME PERIOD THAT CONSTRUCTION ACTIVITY IS TEMPORARILY HALTED IS LESS THAN 14 DAYS), THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE FOURTH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASES. AFTER THE STABILIZATION MEASURES ARE INITIATED, THE DENSITY OF THE SEED HAS FAILED TO GERMINATE ADEQUATELY (UNIFORM PERENNIAL VEGETATION COVER WITH A DENSITY OF 70%) WITHIN 30 DAYS AFTER SEEDING AND MULCHING MUST BE RESEDED IMMEDIATELY, OR AS SOON AS WEATHER CONDITIONS ALLOW.
- CONSTRUCTION - INSTALL STORM DRAINAGE FEATURES, UTILITIES, AND PAVEMENT SURFACES AS INDICATED IN THE PLAN DURING CONSTRUCTION. INSTALL AND MAINTAIN ANY ADDITIONAL EASC BMPs THAT MAY BE REQUIRED.
- FINAL STABILIZATION - AFTER CONSTRUCTION IS COMPLETED, INSTALL STABILIZATION BMPs INCLUDING PLACING TOPSOIL AND PERMANENT SEEDING, MULCHING, AND COMPLETE IMPLEMENTATION OF STORM WATER BMPs (AS APPROPRIATE) AS SHOWN IN THE PLAN. STABILIZE ALL OPEN AREAS INCLUDING TOPSOIL AND SPOIL AREAS.
- AFTER 70 PERCENT UNIFORM, VEGETATIVE COVER HAS BEEN ACHIEVED AND THE SITE HAS BEEN STABILIZED, REMOVE ALL TEMPORARY EASC AND STABILIZE ANY DISTURBANCES ASSOCIATED WITH THE REMOVAL OF THE BMPs.

OHIO VALLEY
 Community Federal Credit Union
OHIO VALLEY COMMUNITY FEDERAL CREDIT UNION
PRELIMINARY DRAWINGS
 FOR
1114 CHAPLINE STREET, WHEELING
OHIO COUNTY, WEST VIRGINIA



PROJECT OWNER/APPLICANT
 OHIO VALLEY COMMUNITY FEDERAL CREDIT UNION
 52775 BOSTON HILL ROAD
 CLARINGTON, OH 43915

ARCHITECT
 PWC CAMPBELL
 109 ZETA DRIVE
 PITTSBURGH, PA 15238
 PHONE: (412) 967-9696
 CONTRACT: JASON STRALEY
 CIVIL ENGINEER

CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
 1500 WHEELING AVENUE SUITE 200
 BRIDGEPORT, WV 26030
 PH: (304) 848-7151
 CONTRACT: TOM ADAMS, P.E.
 WJDOH

DISTRICT SIX
 PH: 304-466-4008
 CONTACT: DISTRICT ENGINEER
 TONY CLARK

UTILITY CONTACTS

MOUNTAINEER GAS
 114 N. 14TH STREET
 WHEELING, WV 26008
 PH: (304) 234-0820

AMERICAN ELECTRIC POWER
 PH: (800) 277-8177

CITY OF WHEELING WATER DEPARTMENT
 1500 CHAPLINE ST
 WHEELING, WV 26008
 PH: (304) 234-3782

CITY OF WHEELING WATER POLLUTION CONTROL DIVISION
 1500 CHAPLINE ST
 BRIDGEPORT, WV 26030
 PH: (304) 234-9874

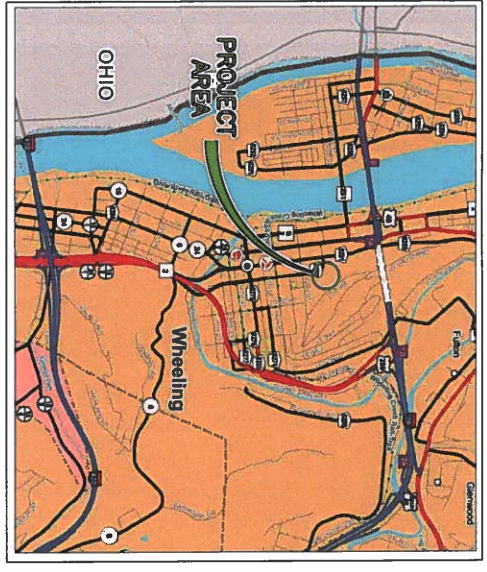
COMCAST
 9909 NATIONAL ROAD
 BRIDGEPORT, OH 43912
 PH: (304) 234-3874

FRONTIER COMMUNICATIONS
 PH: (866) 789-0770

SHEET NUMBER	SHEET TITLE
CS01	COVER SHEET
CS01	SITE DEMOLITION PLAN
CS02	SITE REDEMPTION NOTES
C102	EROSION AND SEDIMENT CONTROL PLAN
C201	SITE GRADING PLAN
C201	SITE UTILITY PLAN
C202	SITE UTILITY DETAILS
C203	SITE LIGHTING PLAN
SP101	SITE PLAN
SP102	ACCESSIBLE ROUTE PLAN
SP201	SITE PLAN DETAILS
SP202	SITE PLAN DETAILS
SP201	LANDSCAPE PLAN

LEGEND

---	PROPERTY LINE
---	EXISTING CONTOUR (MAJOR)
---	EXISTING CONTOUR (MINOR)
---	EXISTING PAVEMENT
---	EXISTING FENCE LINE
---	EXISTING SANITARY SEWER
---	EXISTING WATER LINE
---	EXISTING GAS LINE
---	EXISTING UNDERGROUND ELECTRIC / TELEPHONE
---	EXISTING OVERHEAD WIRES
○	EXISTING PULL BOX
○	EXISTING WATER FEATURE
○	EXISTING GAS FEATURE
○	EXISTING LIGHT POLE
○	EXISTING UTILITY POLE
○	EXISTING SIGN
○	EXISTING DRAIN
○	EXISTING TREE
○	PROPOSED ASPHALT
○	PROPOSED CONCRETE SIDEWALK
○	PROPOSED CONCRETE PAVEMENT
○	PROPOSED MAJOR CONTOUR
○	PROPOSED MINOR CONTOUR
○	PROPOSED COMPOST FILTER SOCK
○	PROPOSED SANITARY SEWER
○	PROPOSED WATER LINE
○	PROPOSED GAS LINE
○	PROPOSED ELECTRIC/TELEPHONE LINE
○	DETAIL CALLOUT



WEST VIRGINIA STATE LAW
 REQUIRES THAT YOU CALL BEFORE YOU DIG IN THE STATE OF WEST VIRGINIA IT'S THE LAW!

CALL BEFORE YOU DIG!

PLAN REPRODUCTION WARNING
 THE PLANS HAVE BEEN CREATED ON ANSI D (8 1/2" X 11") SHEETS FOR REDUCTIONS. REFER TO GRAPHIC SCALE.
 ANY SET OF THE PLANS THAT IS NOT PLOTTED IN FULL COLOR MUST BE CONSIDERED ADEQUATE FOR CONSTRUCTION PURPOSES.
 WARNING INFORMATION MAY BE LOST IN COPYING AND/OR PRINTING AT NON-SHEET SCALE. PLOTTING

<p>SD Project No.: 303-738 PWC Project No.: 17801 Drawn by: LAG Date: 12/22/2020</p> <p>CS01</p> <p>Scale: 30 Designs, LLC</p>	<p>OHIO VALLEY Community Federal Credit Union</p> <p>1114 CHAPLINE STREET WHEELING, WEST VIRGINIA 26003</p> <p>OHIO COUNTY</p> <p>TITLE: COVER SHEET</p>	<p>Studio109 Designs Architecture, Planning, & Interior Design</p> <p>109 Zeta Drive Pittsburgh, PA 15238</p> <p>TEL: (412) 967-9696 FAX: (412) 967-8438</p>	<p>PWC Campbell BUILDING CONFIDENCE SINCE 1910</p> <p>109 Zeta Drive Pittsburgh, PA 15238 412.963.0100</p>
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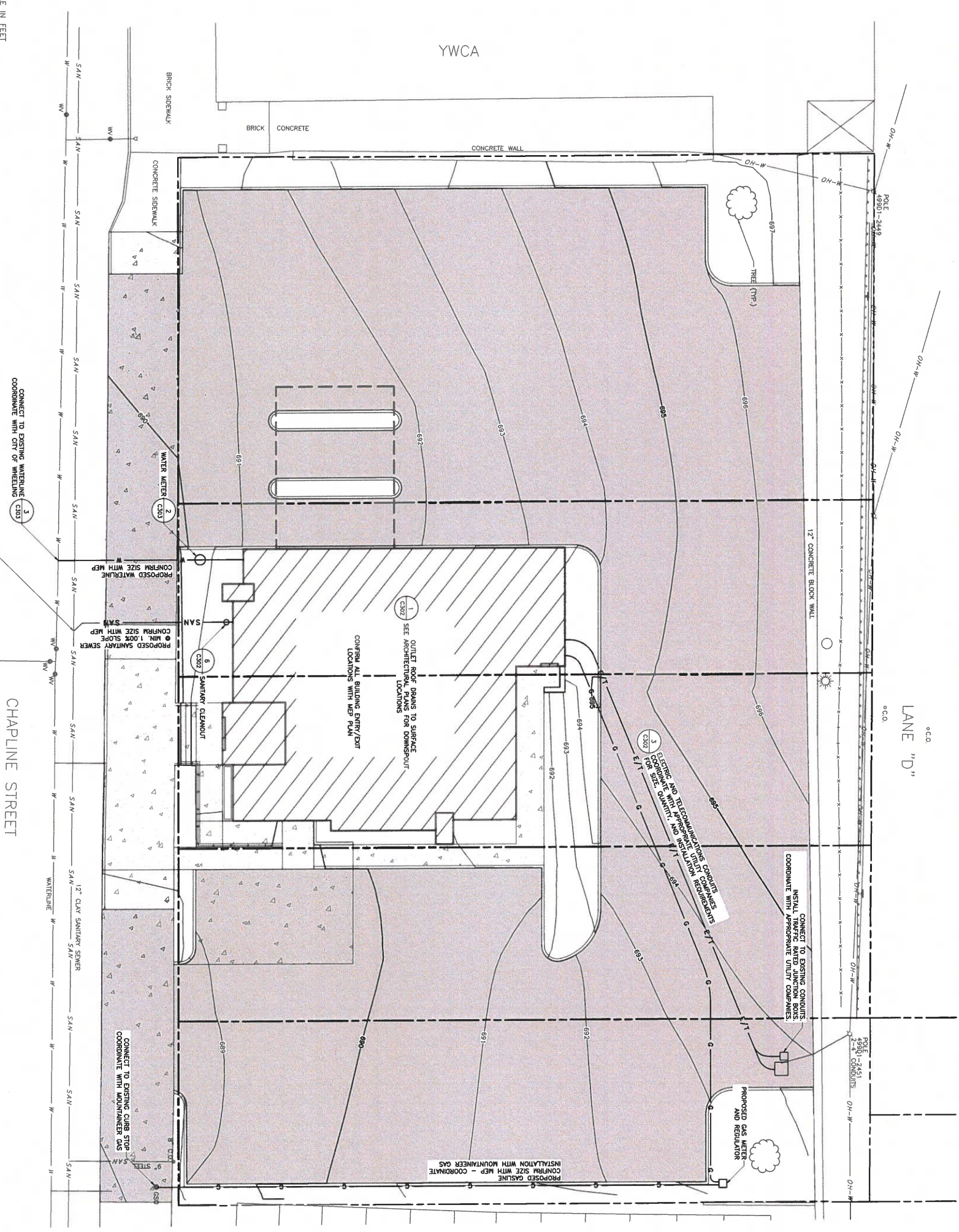
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A B C D E

SCALE IN FEET
0 10 20



CONNECT TO EXISTING WATERLINE (C303)
COORDINATE WITH CITY OF WHEELING

CONNECT TO EXISTING WATERLINE (C303)
COORDINATE WITH CITY OF WHEELING

CONNECT TO EXISTING CONDUITS
INSTALL DUCTILE IRON JUNCTION BOXES
COORDINATE WITH APPROPRIATE UTILITY COMPANIES

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- DRAINAGE AND UTILITY NOTES:**
- CONTRACTOR SHALL COORDINATE AND INSTALL ALL UTILITY LINES IN ACCORDANCE WITH THE REQUIREMENTS OF THE RESPONSIBLE UTILITY COMPANY AND/OR ALL ANY CHANGE TO THE PROPOSED DESIGN SHALL BE APPROVED BY THE ARCHITECT/ENGINEER BEFORE CONTRACTOR PROCEEDS WITH CONNECTIONS AND ENSURE THAT ALL CONNECTIONS ARE MADE IN ACCORDANCE WITH THE ARCHITECTURAL PLAN.
 - CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES BEFORE CONNECTIONS AND ENSURE ALL SANITARY SEWER PIPE SHALL BE PVC SDR-35, UNLESS NOTED OTHERWISE.
 - WATERMANS ARE TO BE PVC CLASS 200 SDR-35, UNLESS NOTED OTHERWISE.
 - ALL ELECTRICAL AND COMMUNICATION LINE LOCATIONS ARE SHOWN SCHEMATICALLY AND SHALL BE ADJUSTED AS NECESSARY IN THE FIELD TO MEET INDIVIDUAL UTILITY REQUIREMENTS.
 - PROVIDER/MEP DESIGN IS TO SPECIFY SIZE AND TYPE OF LINE. UTILITY COMPANY SHALL NOTIFY ARCHITECT/ENGINEER IN ADVANCE OF ANY PLANNED INTERRUPTION BEFORE CONTRACTOR PROCEEDS. CONTRACTOR SHALL REVEAL THE LOCATION OF ALL UTILITIES TO BE INSTALLED.
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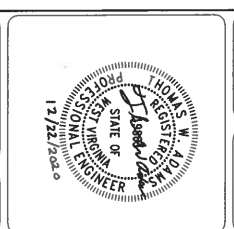
Revision	Number	Date	By	Checked

OHIO VALLEY
Community Federal Credit Union

1114 CHAPLINE STREET
WHEELING, WEST VIRGINIA 26003

OHIO COUNTY

TITLE: **SITE UTILITY PLAN**



Studio109 Designs LLC
Architecture, Planning, & Interior Design

109 Zeta Drive
Pittsburgh, PA 15238

TEL: (412) 967-9696
FAX: (412) 967-9436

CEC
Civil & Environmental Consultants, Inc.

PWC Campbell
BUILDING CONFIDENCE SINCE 1910

109 Zeta Drive | Pittsburgh, PA 15238 | 412.963.0100

SD Project No.: 301-738
PWC Project No.: 19201
Date: 12/22/2020
C301
Studio 109 Designs LLC

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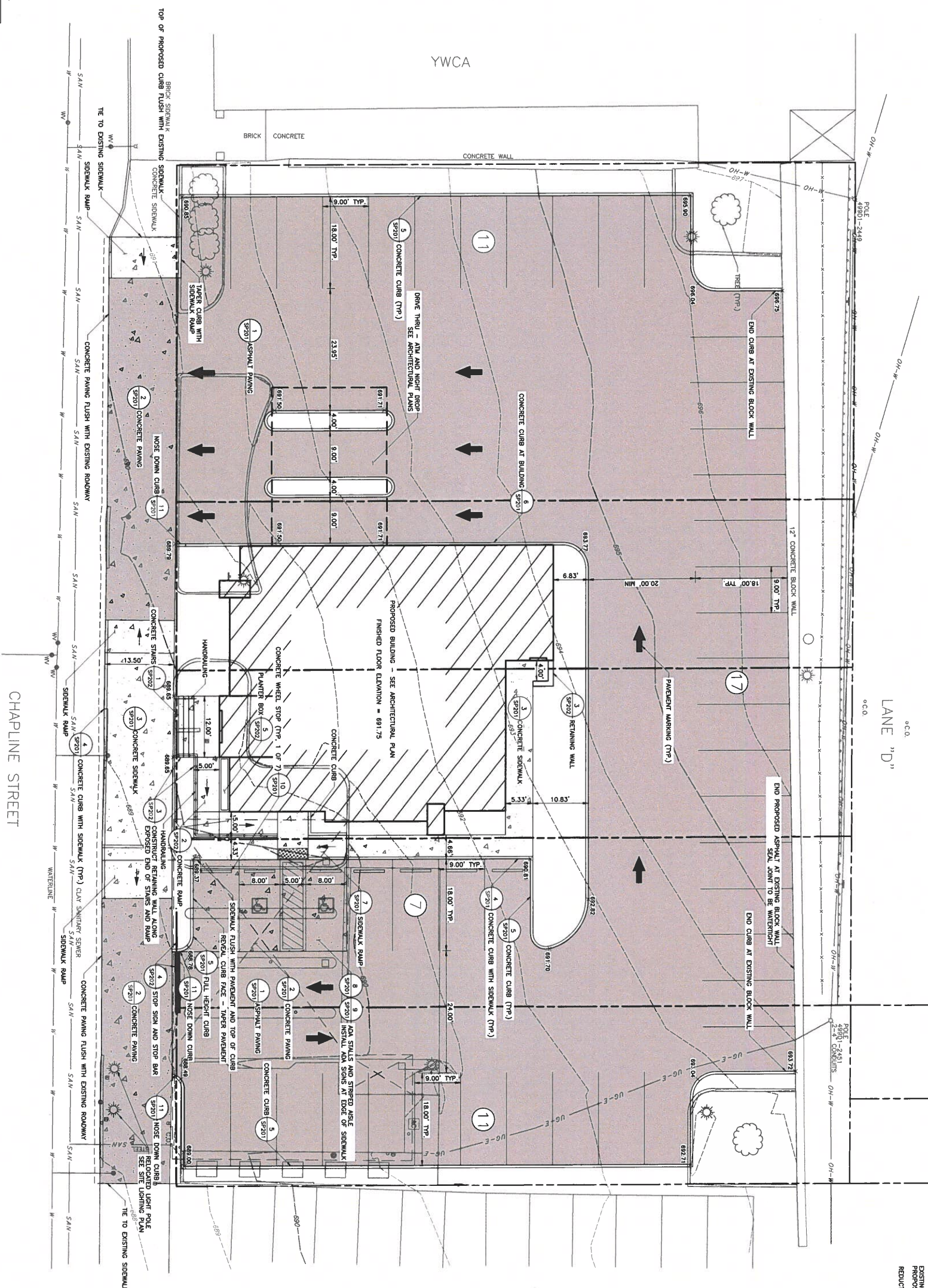
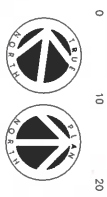
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A B C D E

SCALE IN FEET



SITE DEVELOPMENT ZONING DATA

ZONING DISTRICT:	D2 - DOWNTOWN URBAN DESIGN
TOTAL AREA OF PARCEL:	0.81 AC (350,149 SF)
REQUIRED MAXIMUM COVERAGE (STRUCTURES):	45 %
PROVIDED MAXIMUM COVERAGE (STRUCTURES):	412 %
REQUIRED PARKING SPACES:	N/A
PROVIDED PARKING SPACES:	48
REQUIRED ADA SPACES:	2
PROVIDED ADA SPACES:	44
EXISTING IMPERVIOUS AREA:	21,870 SF
PROPOSED IMPERVIOUS AREA:	21,414 SF
REDUCTION IN IMPERVIOUS AREA:	456 SF

- SITE LAYOUT NOTES:**
1. ALL SIDEWALKS, HANDRAILS, AND ADA PARKING STALLS SHALL CONFORM TO ALL APPLICABLE ADA REQUIREMENTS.
 2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH ARCHITECTURAL PLAN AND NOTIFY ARCHITECT IF DISCREPANCIES ARE FOUND.

Revision Number:	Date:	Drawn:	Checked:

OHIO VALLEY
Community Federal Credit Union

1114 CHAPLINE STREET
WHEELING, WEST VIRGINIA 26003

OHIO COUNTY

TITLE:
SITE PLAN



Studio109 Designs LLC
Architecture, Planning, & Interior Design

109 Zeta Drive
Pittsburgh, PA 15238

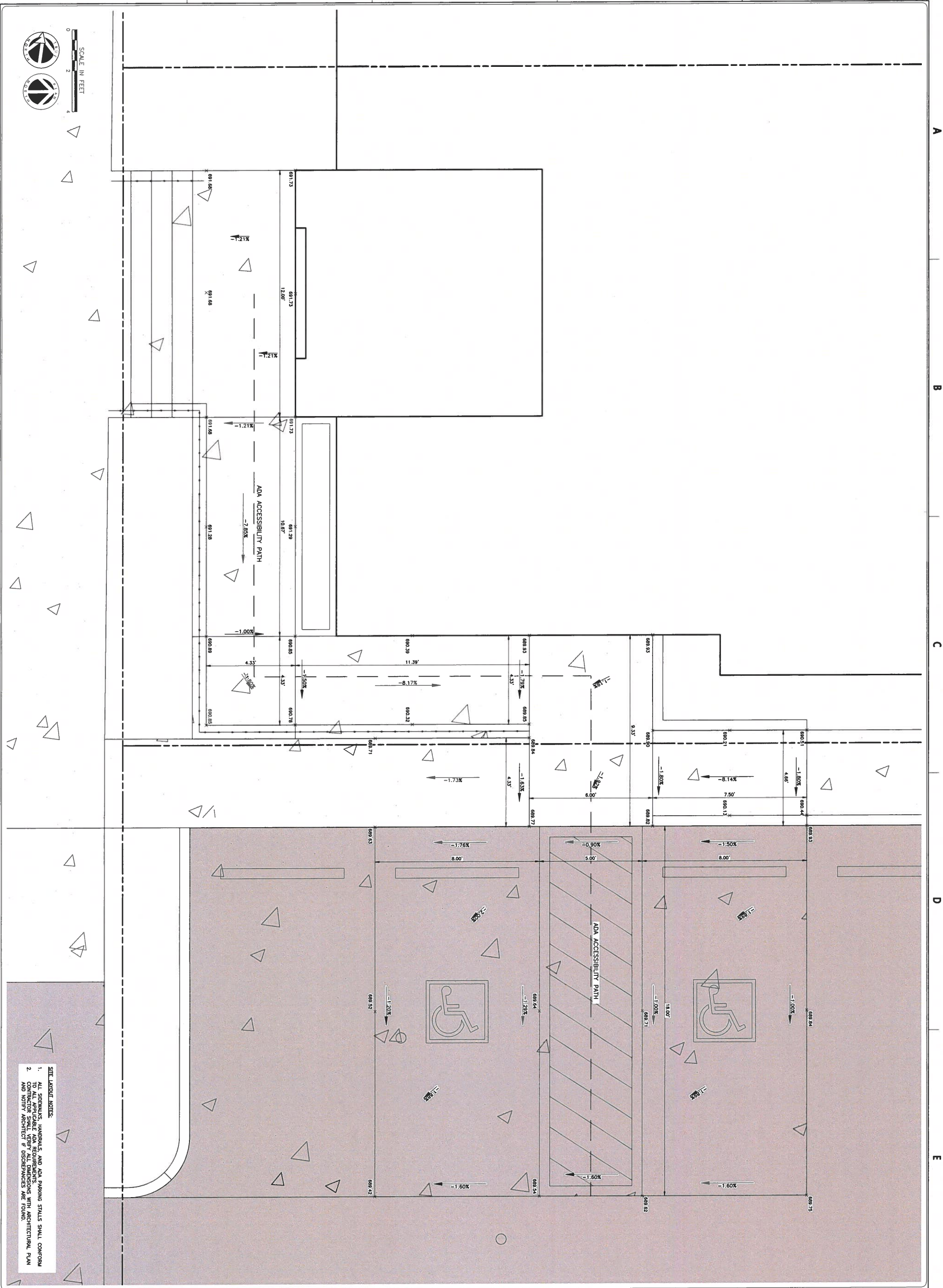
TEL: (412) 967-9898
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CEC
Civil & Environmental Consultants, Inc.

PWC Campbell
BUILDING CONFIDENCE SINCE 1910

109 Zeta Drive | Pittsburgh, PA 15238 | 412.963.0100

SD Project No.: 303-738
PWC Project No.: 19301
Drawn by: LAG
Date: 12/22/2020
SP101
Studio 109 Designs LLC



SITE LAYOUT NOTES:
 1. ALL SIDEWALKS, HANDRAILS, AND ADA PARKING SPACES SHALL CONFORM TO ALL APPLICABLE ADA REQUIREMENTS.
 2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH ARCHITECTURAL PLAN AND NOTIFY ARCHITECT OF DISCREPANCIES PER 19A.01.

SD Project No.: 303-738
 PWC Project No.: 19201
 Drawn by: LAG
 Date: 12/22/2020
SP102
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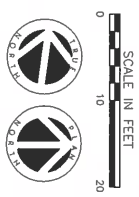
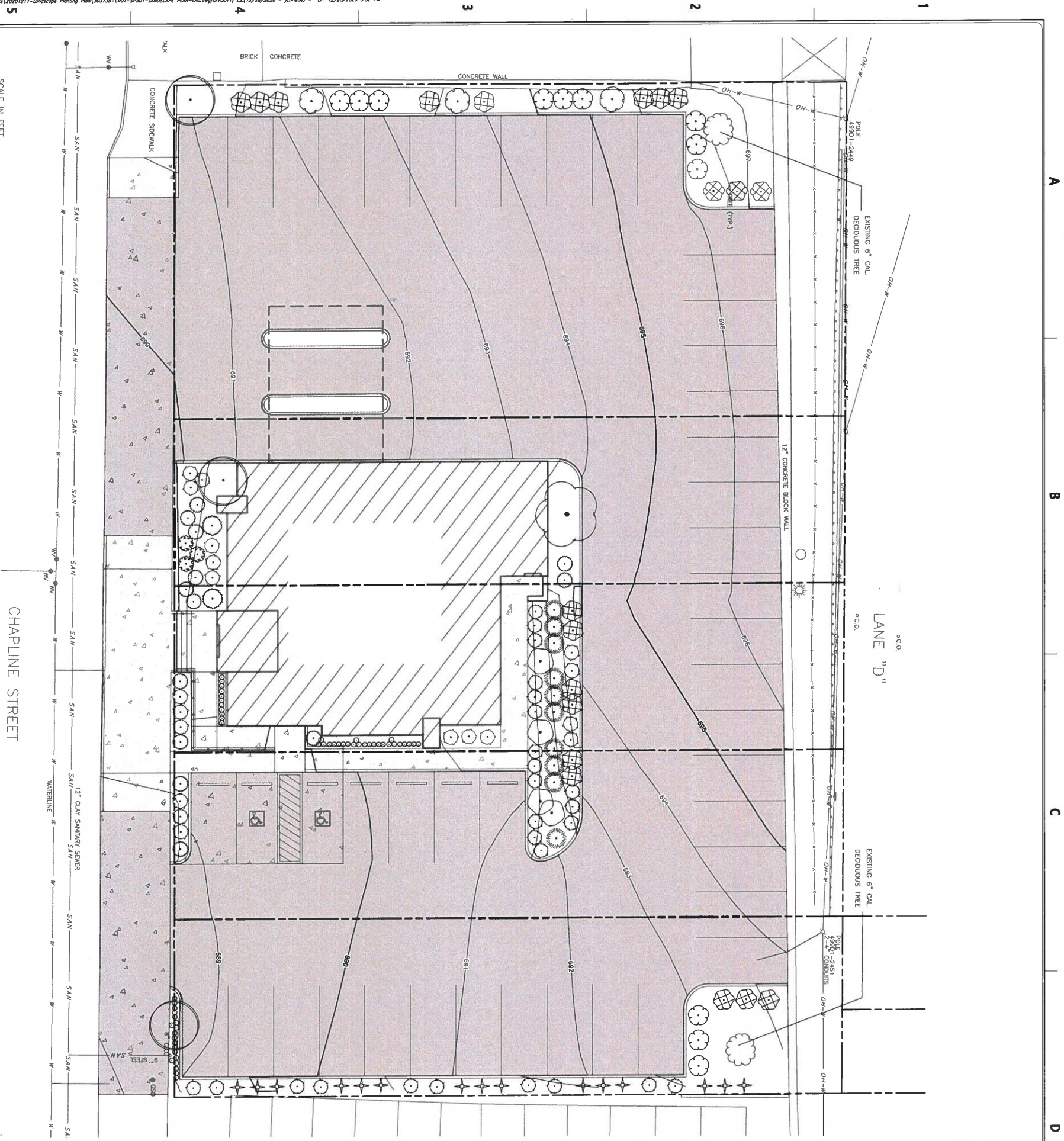
Revision	Reason	Date	Drawn	Checked

OHIO VALLEY
 Community Federal Credit Union
 1114 CHAPLINE STREET
 WHEELING, WEST VIRGINIA 26003
 OHIO COUNTY
 TITLE:
ACCESSIBLE ROUTE PLAN



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 109 Zeta Drive
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CEC
 Civil & Environmental Consultants, Inc.

PWC Campbell
 BUILDING CONFIDENCE SINCE 1910
 109 Zeta Drive | Pittsburgh, PA 15238 | 412.963.0100



PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT.	CAL.
	1	CORNUS FLORIDA / EASTERN DOGWOOD	8x8	2.5" CAL.
	3	ACER RUBRUM 'RED SUNSET' / RED SUNSET MAPLE	8x8	2.5" CAL.
	3	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' / COLUMNAR SWEET GUM	8x8	2.5" CAL.
	2	PINUS CEMBRA 'KELM' TM / SILVER WHISPERS SWISS STONE PINE	8x8	4'
	10	EUONYMUS FORTLINGE 'MORRY MAJE' / WINTERKEEPER	5 CAL.	
	19	ILEX GLABRA 'SHARROCK' / SHARROCK HEDGEHOLLY	5 CAL.	
	11	ITEA VIRGINICA 'HENRY'S GARNET' / HENRY'S GARNET SWEETSPHREE	5 CAL.	
	25	JUNIPERUS COMMUNIS 'MONDOP' TM / ALPINE CARPET COMMON JUNIPER	5 CAL.	
	20	PHYSOCARPUS OPULIFOLIUS 'SINPOBUR' TM / GINGER WINE NINEBARK	5 CAL.	
	3	PINUS MUGO 'PUMILO' / MUGO PINE	5 CAL.	
	4	RHUS AROMATICA 'ORO-LOW' / ORO-LOW FRAGRANT SUMAC	5 CAL.	
	12	SPIRAEA X BIMACULATA 'MONHUI' TM / GOLDEN SWIRL SPREA	5 CAL.	
	37	ELYMUS ARVENSIS BLUE DUNE / BLUE DUNE LYME GRASS	1 CAL.	
	15	PANICUM VIRGATUM 'SHEWANOAH' / SHEWANOAH SWITCH GRASS	1 CAL.	
	17	PTERIS AQUILINA / RUSSIAN SAGE	1 CAL.	

NOTE: ALL BEDS TO RECEIVE 6" OF TOPSOIL AND 3" OF SHREDED BARK MULCH

<p>OHIO VALLEY Community Federal Credit Union</p> <p>1114 CHAPLINE STREET WHEELING, WEST VIRGINIA 26003</p> <p>OHIO COUNTY</p>	<p>Studio109 Designs Architecture, Planning, & Interior Design</p> <p>109 Zeta Drive Pittsburgh, PA 15238</p> <p>TEL: (412) 967-9696 FAX: (412) 967-9436</p>	<p>PWC Campbell BUILDING CONFERENCE SINCE 1910</p> <p>109 Zeta Drive Pittsburgh, PA 15238 412.963.0100</p>
<p>SD Project No.: 303-738 PWC Project No.: 18201 Drawn by: LAG Date: 12/22/2020</p> <p>SP301 Studio 109 Designs, LLC</p>	<p>Civil & Environmental Consultants, Inc.</p>	