



CITY OF WHEELING PLANNING COMMISSION

www.WheelingWV.gov

STAFF REPORT

PROPERTY LOCATION: 32nd & McColloch Street
NATURE OF REQUEST: Site Plan Review
APPLICANT: LaBelle Greene IV Limited Partnership

BACKGROUND & ANALYSIS:

LaBelle Greene IV LP is seeking site plan approval for the construction of a multi-family residential development on property they own at 32nd & McColloch Street. The site is comprised of multiple parcels that have recently been acquired and will require demolishing several dilapidated structures. The applicant is working to acquire parcel W72-353, located at the northern end of the site, which is the only remaining lot on the block not under their ownership. The applicant recently had the property rezoned from I-2 General Industry to C-2 General Commercial to allow for the proposed development. The proposed site plan was presented as the intended future use during the Planning Commission's zone change review.

This application requires a site plan review by the Planning Commission because the proposed development exceeds 4,000 square feet. A complete site plan has been submitted, which includes a stormwater management plan, site lighting plan, landscaping plan, floor plan, utility plan, building elevations, and construction schedule. A site plan review checklist has been included.

The proposed 4 story building will measure approximately 59' x 188' and contain 38 two-bedroom apartments along with 43 parking spaces. The building will be situated on the property at the corner of 32nd and McColloch Street. Parking areas will be accessible from Lane G. Access into the building will be available from 32nd Street and the parking areas along Lane G. The owner is proposing a green space at the north end of the building. The enclosed refuse area will also be located along Lane G between the two parking areas. The site is not located in the flood plain.

A variance is necessary to reduce the required number of parking spaces from 1.5 spaces per dwelling to 1.1 spaces per dwelling (57 spaces to 43 spaces).

STAFF RECOMMENDATION:

The staff recommends approval of the site plan.

ATTACHMENTS:

Application for Zoning Compliance
Project Overview
Site Plan Review Checklist
Site Photo
Construction Schedule
Drawing Sheet Sets, Floor Plans & Rendering

COMMISSION MEMBERS

MARTHA WRIGHT, CHAIR · JEREMY WEST, VICE CHAIR · THOMAS CONNER · RUSTY JEBBIA
JAMES J. MAUCK · HOWARD MONROE · DAVE PALMER · CHRISTINA SCHESSLER · WILLIAM SCHWARZ

STAFF: THOMAS CONNELLY, AICP



APPLICATION FOR CERTIFICATE OF ZONING COMPLIANCE FOR THE USE, ERECTION, ALTERATION, OR REPAIR OF A BUILDING OR LAND

The undersigned applies for a Certificate of Zoning Compliance for the following, said certificate is to be issued on the basis of the information contained within the application. *The applicant hereby certifies that all information and attachments are true and correct.*

- 1. Address of Property: McColloch Street and Lane G Block
- 2. Name of Property Owner: DJ LAND CO, INC.
- 3. Name of Applicant: LaBelle Greene IV Limited Partnership
- 4. Address of Applicant: 500 S. Front Street, 10th Floor, Columbus, OH 43215
- 5. Applicant Phone: 614-396-3200 Owner Phone: 614-396-3200
- 6. Existing Use: Single family residential
- 7. Proposed Use: Same Other (describe): Multi-family residential
- 8. Number of off-street parking spaces to be provided: 43
- 9. Number of off-street loading berths to be provided: 0

COMPLETE THIS SECTION BELOW FOR THE ERECTION, ALTERATION, OR ADDITION OF A STRUCTURE

Type of Improvement:

- New Building
- Addition
- Alteration / Repair

Residential:

Number of existing dwelling units: _____
 Number of proposed dwelling units: 38

Existing Lot Dimensions: Width: 126 ft. x Depth: 365 ft. = lot area: 46,756 sq. ft.

Existing Principal Building:

Dimensions: Width: _____ ft. x Depth: _____ ft. = Total first floor area, including covered porches: _____ sq. ft.
 Setbacks: Front: _____ ft. Rear: _____ ft. Side: _____ ft. Other Side: _____ ft. Height/Stories: _____

Existing Accessory Building: (garage, carport, shed, pool, etc):

Dimensions: Width: _____ ft. x Depth: _____ ft. = Total first floor area, including covered porches: _____ sq. ft.
 Setbacks: Front: _____ ft. Rear: _____ ft. Side: _____ ft. Other Side: _____ ft. Height/Stories: _____

Proposed Construction:

Dimensions: Width: 59 ft. x Depth: 188 ft. = Total first floor area, including covered porches: 10,760 sq. ft.
 Setbacks: Front: 11 ft. Rear: 157 ft. Side: 31 ft. Other Side: 10 ft. Height/Stories: 4

Applicant Signature: _____

Date: 11/25/21

Owner Signature: _____

Date: 1/25/21

Reset Form

Print Form



Property Narrative

The Woda Group, Inc. and its affiliates are a regional affordable housing developer, general contractor and management company currently working on LaBelle Greene IV (“LaBelle”). LaBelle will be a new multi-family community located at the city block between Lane G and McColloch Street from 31st Street to 32nd Street in Wheeling, WV.

LaBelle is a 4-story elevator building that is attractive, efficient, and filled with features and amenities that will keep development full and support the much-needed services family and individual residents require. LaBelle will consist of two-bedroom units.

At least 60% of the buildings post-construction exterior (excluding gabled ends, doors, and windows) will be properly anchored masonry veneer. Each unit will have an Energy Star Certified whole unit HVAC system to go along with a Energy Star Certified refrigerator, under-the-counter dishwasher and water heater. Carnegie Greene will also have Energy Star Certified exterior doors and windows, roofing materials with a minimum remaining manufacturer warranted life of at least 30 years, Energy Star Certified light fixtures, and a laundry closet with a new Energy Star Certified washer and dryer.

LaBelle also includes an on-site management office and an on-site maintenance area for the management company to use to serve the residents of LaBelle Greene IV. On-site parking and residential green space are also being provided.

Site Plan Review Checklist

1. Legal Data:

- property owners within 100'
- existing zoning and special district boundaries
- boundaries of property, setback lines, existing streets and adjoining lots, reservations, easements, and areas dedicated to public use

2. General Project Site Description:

- map showing entire property, adjacent property and streets at convenient scale
- approximate location and dimension of all existing and proposed structures on adjacent properties and within 100' of site boundary
- name & address of applicant, planners, engineers, architects working on project

3. Preliminary & Final Plans:

- location map: show all roads within 200' of the site.
- existing conditions:

- buildings
- na water bodies & floodplains
- na wooded area, existing vegetative cover and other significant features

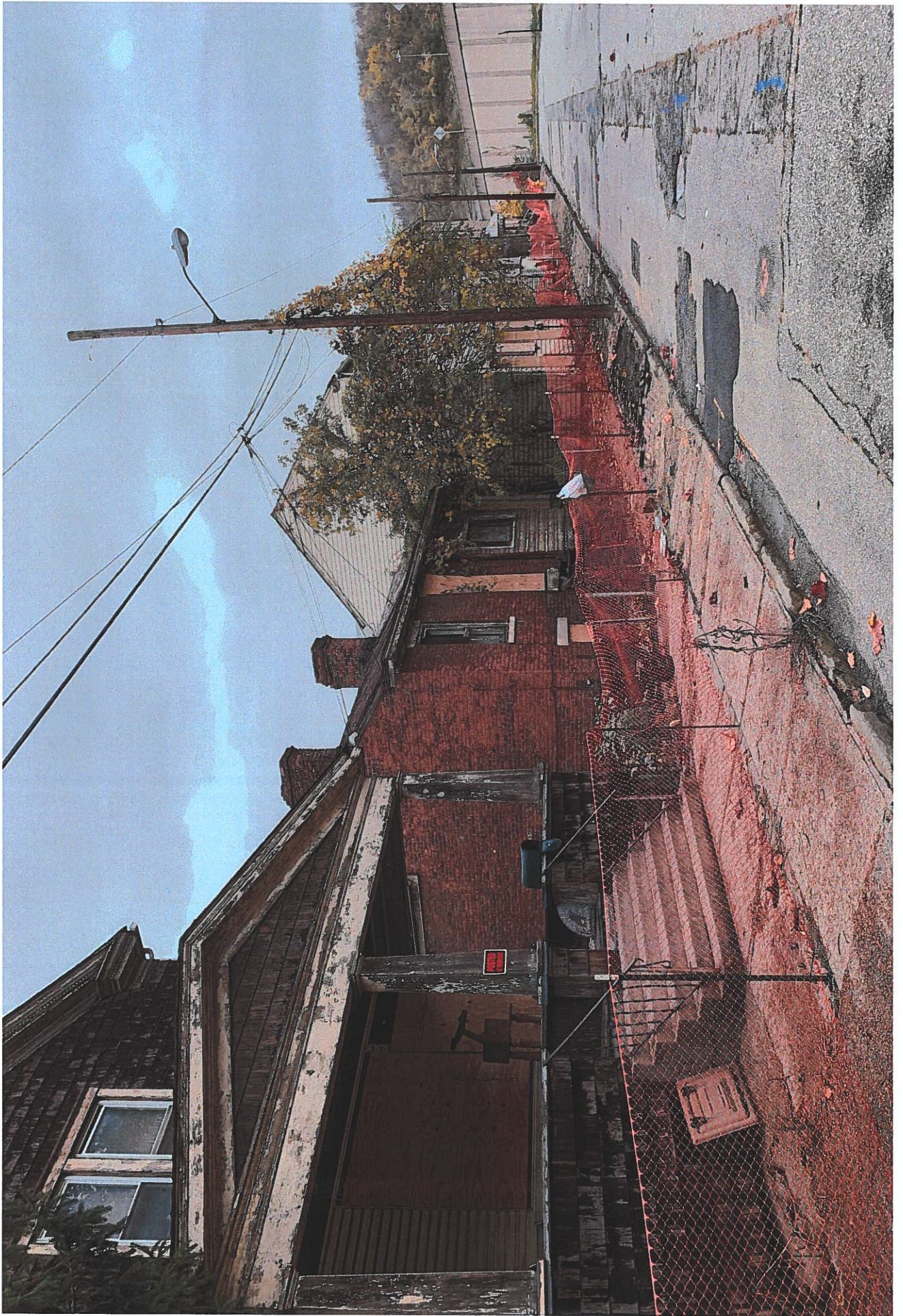
development data:

- title, date, north point, scale
- owner information
- project engineer
- vehicular / pedestrian access and circulation
- elevations, building height, floor plans
- walkways & fire lanes
- location of waterlines, valves, hydrants, sewer lines
- location and direction of outdoor lighting within the site and at the boundary if adjacent to residential development.
- grading and drainage
- landscaping plan
- cut and fill of disturbed areas (before and after profiles), E&SC Plan,
- location of sediment sink / setting pond and interceptor swales
- storm water drainage system / computations
- na location, size, color illumination of signage
- na drains, culverts, walls, and fences
- outdoor storage location
- detailed breakdown of proposed floor space by use
- location and design of energy distribution facilities: electric, gas, solar
- na lines and dimensions of property to be dedicated public
- construction schedule
- record of application of necessary permits from federal, state or county
- copies submitted on media 24" x 36", 11" x 17", and digital copy

4. Additional Submissions (special conditions may require additional information)

5. Amendments

Changes / modifications to the approved plans require review by Planning Administrator to determine if an amended site plan review by the Planning Commission is required.



ID	Task Mode	Task Name	Duration	Start	Finish
1		LaBelle Greene IV	305 days?	Tue 6/1/21	Mon 8/1/22
2		NTP	1 day?	Tue 6/1/21	Tue 6/1/21
3		Earthwork & Utilities	58 days	Wed 6/2/21	Fri 8/20/21
4		Mobilization	5 days	Wed 6/2/21	Tue 6/8/21
5		Erosion Control	3 days	Wed 6/9/21	Fri 6/11/21
6		Earthwork	10 days	Mon 6/14/21	Fri 6/25/21
7		Sanitary	5 days	Mon 6/28/21	Fri 7/2/21
8		Storm	10 days	Mon 7/5/21	Fri 7/16/21
9		Water	5 days	Mon 7/19/21	Fri 7/23/21
10		Stone lot	3 days	Mon 7/26/21	Wed 7/28/21
11		Base coat	2 days	Thu 7/29/21	Fri 7/30/21
12		Sidewalks	15 days	Mon 8/2/21	Fri 8/20/21
13		Building	286 days?	Mon 6/28/21	Mon 8/1/22
14		Building Shell	154 days?	Mon 6/28/21	Thu 1/27/22
37		Building Interior	140 days	Wed 11/3/21	Tue 5/17/22
38		Fourth floor	105 days	Wed 11/3/21	Tue 3/29/22
61		Third floor	117 days	Wed 11/3/21	Thu 4/14/22
84		Second floor	95 days	Fri 12/17/21	Thu 4/28/22
107		First floor	98 days	Fri 12/31/21	Tue 5/17/22
130		Building 1 Closeout	54 days?	Wed 5/18/22	Mon 8/1/22
131		Calamity/Weather	40 days	Wed 5/18/22	Tue 7/12/22
132		Inspections	2 days?	Wed 7/13/22	Thu 7/14/22
133		MEP Finals	1 day?	Wed 7/13/22	Wed 7/13/22
134		Elevator inspection	1 day?	Wed 7/13/22	Wed 7/13/22
135		CO/life safety Inspection	1 day?	Thu 7/14/22	Thu 7/14/22
136		Architect walk	2 days	Fri 7/15/22	Mon 7/18/22
137		Punch Out	5 days	Tue 7/19/22	Mon 7/25/22
138		Powder puff	3 days	Tue 7/26/22	Thu 7/28/22
139		Back Punch	1 day?	Fri 7/29/22	Fri 7/29/22
140		Turnover	1 day?	Mon 8/1/22	Mon 8/1/22

Project: LaBelle Greene IV Closi
Date: Fri 1/22/21

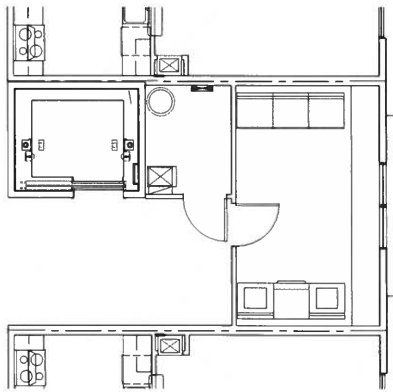
Task		Manual Summary Rollup	
Split		Manual Summary	
Milestone		Start-only	
Summary		Finish-only	
Project Summary		External Tasks	
Inactive Task		External Milestone	
Inactive Milestone		Deadline	
Inactive Summary		Progress	
Manual Task		Manual Progress	
Duration-only			



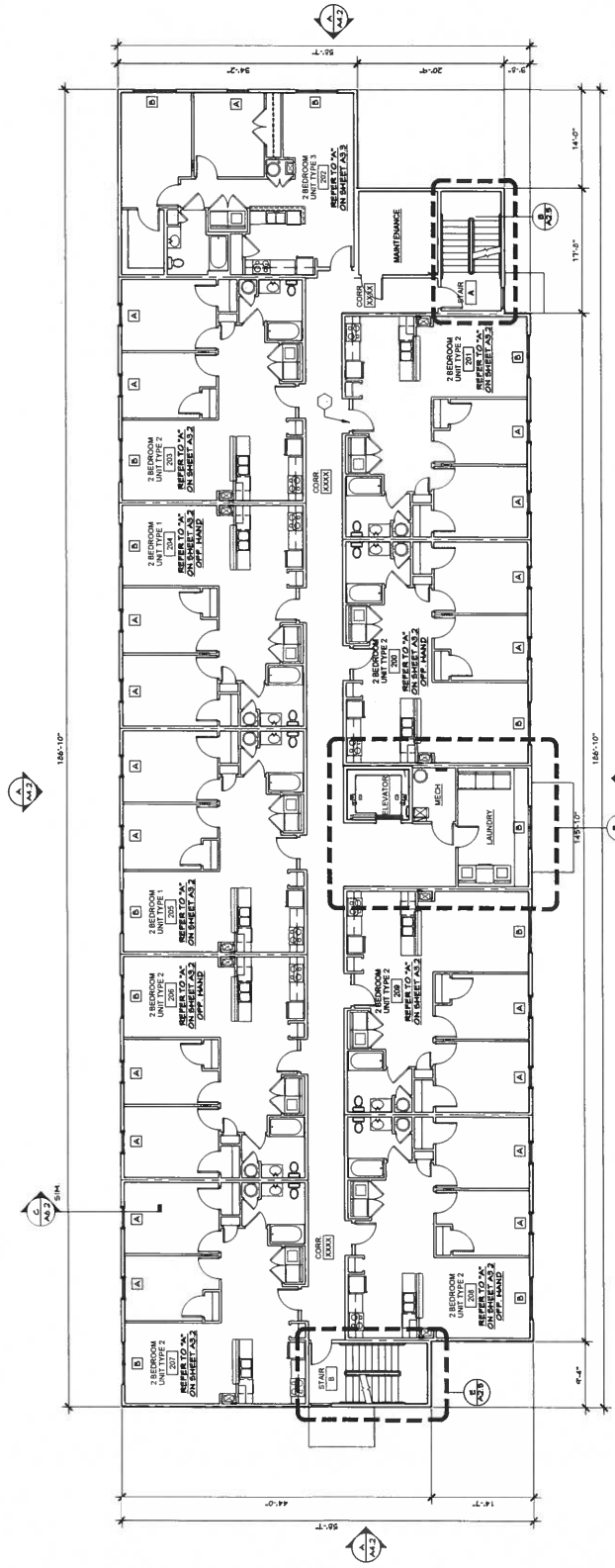
ISSUE	DATE	REV
DATE PLANNED	03/21	
DATE SUBMITTED		
DATE APPROVED		
DATE SET		
DATE CON. LOCK		

SHEET NO. **A2.2**
 DESIGN GROUP

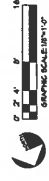
- GENERAL NOTES**
1. DO NOT SCALE DIMENSIONS.
 2. ALL WORK SHALL CONFORM WITH GOVERNING CODES AND REGULATIONS.
 3. ALL MATERIALS AND PRODUCTS SHALL BE PROVIDED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED INSTALLATION CONDITIONS IN FIELD. NOTIFY ARCHITECT IF ANY.
 4. ALL MATERIALS AND PRODUCTS SHALL BE PROVIDED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED INSTALLATION CONDITIONS IN FIELD. NOTIFY ARCHITECT IF ANY.
 5. ALL DRAWINGS ARE SUBJECT TO THE ARCHITECT'S REVIEW AND NOT INTENDED FOR CONSTRUCTION.
 6. EXTERIOR BUILDING DIMENSIONS ARE TO FACE OF BRICKWORK.
 7. STYLING AND UNIT DIMENSIONS ARE TO FACE OF BRICKWORK.
 8. P.E.C. LOCATIONS.
 9. REFER TO AS-BUILT DRAWINGS FOR PRECAST ASSEMBLES AND CONNECTIONS.
 10. REFER TO AS-BUILT DRAWINGS FOR PRECAST CEILING TRUSSEYS.
 11. MAKEUP USE INFORMATION.
 12. REFER TO SHOP DRAWINGS FOR ALL METALS AND FABRICATIONS.



(B) SECOND FLOOR COMMON AREA PLAN
SCALE 1/4" = 1'-0"



(A) SECOND FLOOR PLAN
SECOND FLOOR AREA - 25,021 SF

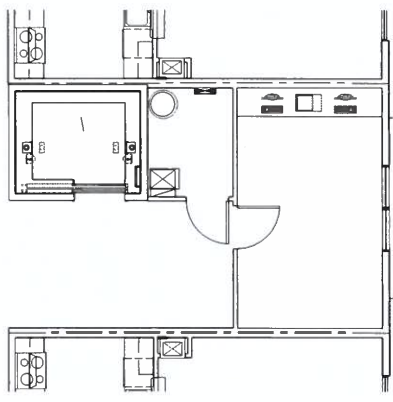




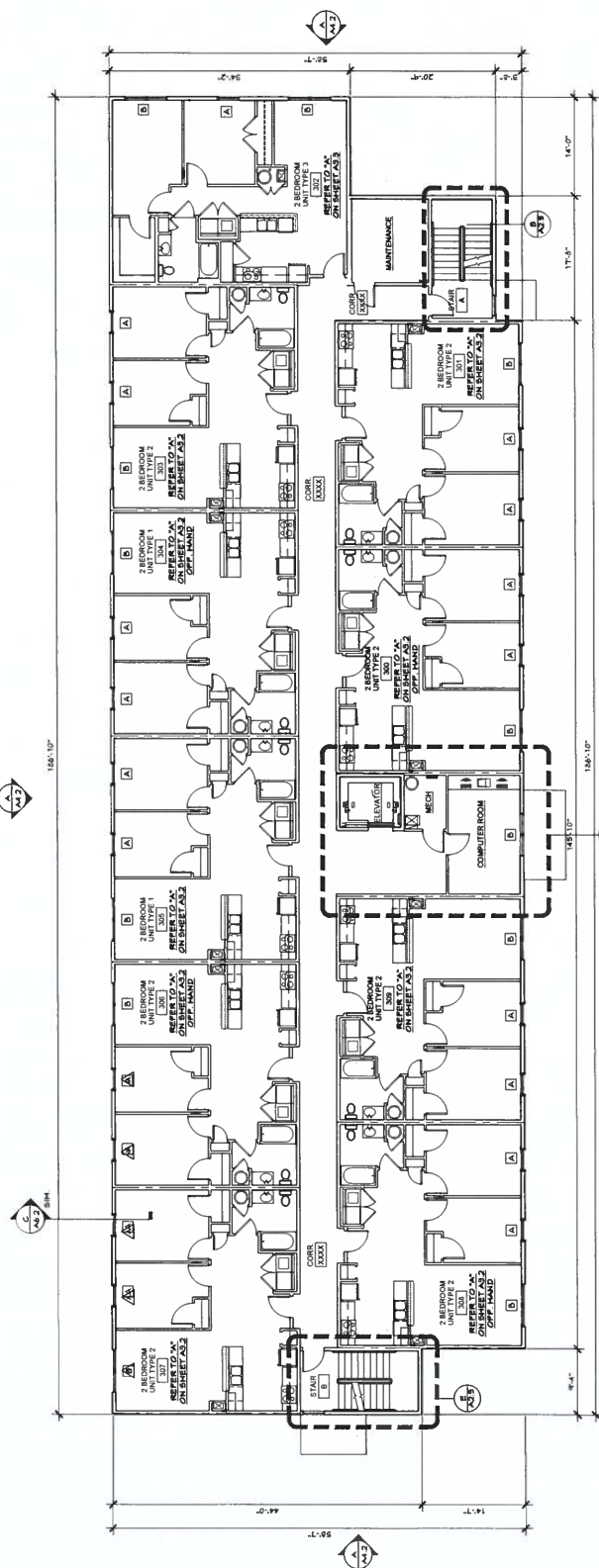
ISSUE	DATE	REV
1. SHEET NO.	02/25/21	
2. DATE		
3. REV		
4. SHEET NO.		
5. DATE		
6. REV		
7. SHEET NO.		
8. DATE		
9. REV		
10. SHEET NO.		
11. DATE		
12. REV		

GENERAL NOTES

- DO NOT SCALE DIMENSIONS.
- ALL WORK SHALL CONFORM WITH GOVERNING CODES.
- ALL MATERIALS AND PRODUCTS SHALL BE PROVIDED IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND NOT INTENDED FOR CONSTRUCTION IN FIELD. NOTIFY ARCHITECT IF ANY.
- ALL MATERIALS AND PRODUCTS SHALL BE PROVIDED IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND NOT INTENDED FOR CONSTRUCTION IN FIELD. NOTIFY ARCHITECT IF ANY.
- ALL DIMENSIONS ARE SHOWN TO FACE UNLESS OTHERWISE NOTED.
- EXTENSION BUILDING DIMENSIONS ARE TO FACE OF BASE TRIM.
- STUD.
- REFER TO ARCHITECT'S DIMS FOR PRE-INSTALLED ASSEMBLES AND FINISHES.
- REFER TO ARCHITECT'S DIMS FOR FINISH CEILING HEIGHTS.
- REFER TO ARCHITECT'S DIMS FOR FINISH FLOOR HEIGHTS.
- REFER TO ARCHITECT'S DIMS FOR FINISH DOOR AND WINDOW THRESHOLD HEIGHTS.
- REFER TO ARCHITECT'S DIMS FOR FINISH DOOR AND WINDOW THRESHOLD HEIGHTS.
- REFER TO ARCHITECT'S DIMS FOR FINISH DOOR AND WINDOW THRESHOLD HEIGHTS.
- REFER TO ARCHITECT'S DIMS FOR FINISH DOOR AND WINDOW THRESHOLD HEIGHTS.
- REFER TO ARCHITECT'S DIMS FOR FINISH DOOR AND WINDOW THRESHOLD HEIGHTS.
- REFER TO ARCHITECT'S DIMS FOR FINISH DOOR AND WINDOW THRESHOLD HEIGHTS.



B THIRD FLOOR COMMON AREA PLAN
SCALE 1/8" = 1'-0"



A THIRD FLOOR PLAN
GROSS FLOOR AREA - 72351 SF

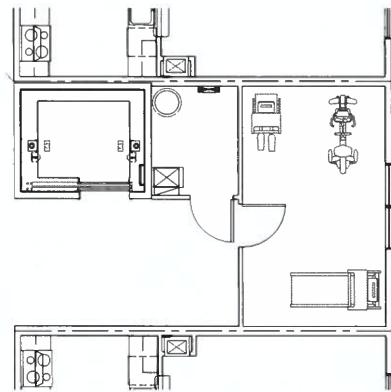




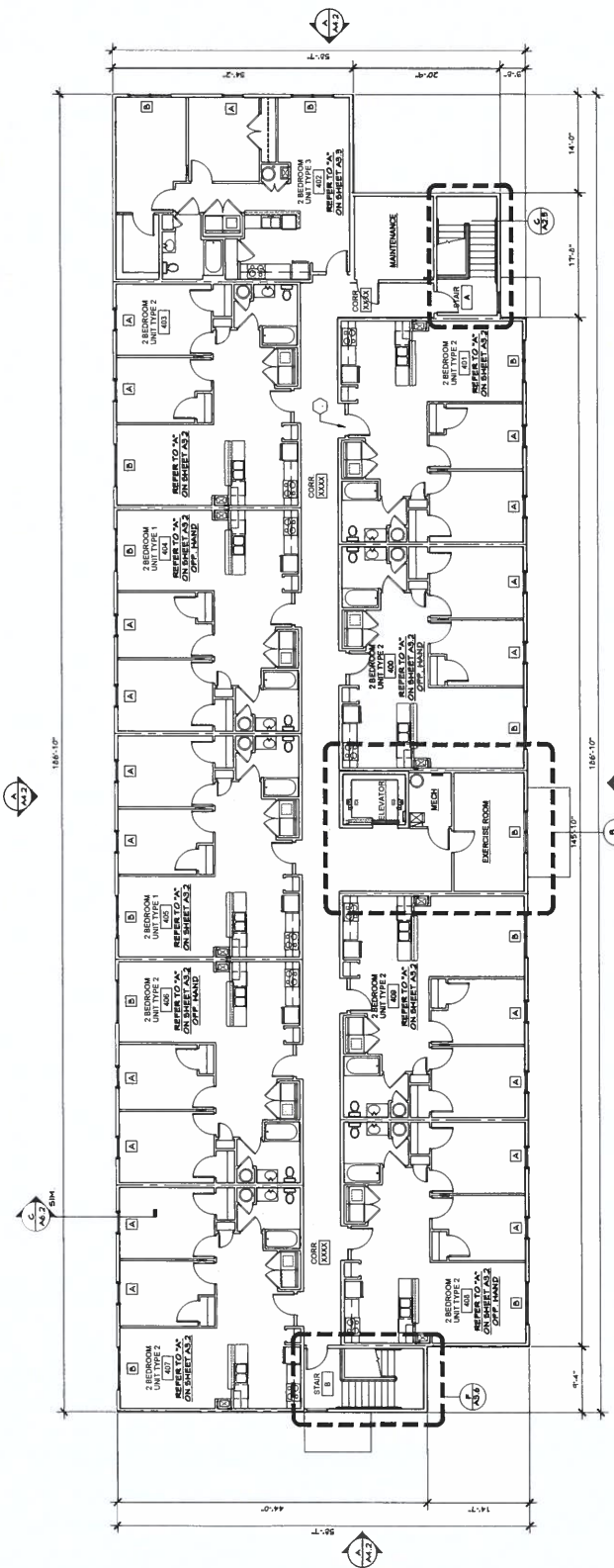
ISSUE	DATE	REV
SITE PLAN PER	01-26-21	
ZONING SUBMISSION		
PERMITS SUBMISSION		
PERMIT SET		
WORK LOCAL CODE		

SHEET NO. **A2.4**
 DESIGN GROUP
 FOR NUMBER: WOODS

- GENERAL NOTES**
- DO NOT SCALE DRAWINGS.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD. NOTIFY ARCHITECT IF ANY DISCREPANCIES ARE FOUND.
 - ALL MATERIALS AND PRODUCTS SHALL BE PROVIDED IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND NOT INTERPRETED FOR ANY OTHER PURPOSES.
 - ALL DRAWINGS ARE GOVERNING AND NOT INTENDED FOR CONSTRUCTION OF THE PROJECT.
 - EXTERIOR BUILDING DIMENSIONS ARE TO FACE OF FINISHING.
 - STAIRS SHALL BE PROVIDED FOR ALL AREAS SHOWN AND NOTED.
 - REFER TO ALL SERIES DOWNS FOR FINISH CEILING HEIGHTS.
 - REFER TO ALL SERIES DOWNS FOR FINISH FLOOR AND FINISH WALL INFORMATION.
 - REFER TO MEASUREMENTS FOR RELATED INFORMATION.



B FORTH FLOOR COMMON AREA PLAN
SCALE 1/4" = 1'-0"



A FORTH FLOOR PLAN
GRAND FLOOR AREA = 23,031 S.F.



Survey Control Points

Horizontal Datum: NAD83 (2011)EPOCH2010.0000 West Virginia North Zone (4701)

Vertical Datum: NAVD83 (GEOID18)

Point	Northing	Easting	Elevation	Description
1	566210.406	1626384.822	659.55	LCN #1
2	566210.006	1626173.027	659.28	PK Nail #2
3	566296.842	1626354.557	659.40	PK Nail #3
4	566565.636	1626480.762	672.42	LCN #4
11	566469.698	1626281.318	661.77	PK Nail #11
12	566328.304	1626360.653	665.56	PK Nail #12
13	566367.444	1626378.385	666.59	PK Nail #13
14	566443.369	1626438.416	668.88	PK Nail #14

Existing Conditions Notes

- 1 Existing wood deck.
- 2 Existing wood handicap accessible ramp.
- 3 Existing ruins associated with exterior building wall collapse.
- 4 Existing concrete sidewalk and curb.
- 5 Existing concrete curb.
- 6 Existing concrete wall.
- 7 Existing concrete steps.
- 8 Existing concrete porch (covered).
- 9 Existing elevated planter.

Existing Utility Notes

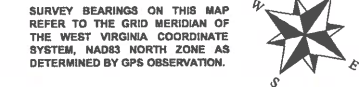
- 1 Existing Catch Basin: T/C Elev. = 656.09
Inlet Inv. (SW): 12"Ø HDPE = 653.14
Inlet Inv. (SE): 12"Ø HDPE = 652.69
Outlet Inv. (NW): 12"Ø HDPE = 652.59
- 2 Existing Catch Basin: T/C Elev. = 658.89
Outlet Inv. (SW): 8"Ø PVC = 657.99
- 3 Existing Catch Basin: T/C Elev. = 670.49
Outlet Inv. (SW): 12"Ø VCP = 667.24
Structure Inv. = 664.94
- 4 Existing Sanitary Manhole: T/C Elev. = 665.07
Inlet Inv. (NE): 12"Ø VCP = 656.17
Outlet Inv. (SW): 12"Ø VCP = 656.17
- 5 Existing Sanitary Manhole: T/C Elev. = 662.76
Inlet Inv. (NE): 12"Ø VCP = 658.36
Outlet Inv. (SW): 12"Ø VCP = 658.36
- 6 Existing Sanitary Manhole: T/C Elev. = 660.67
Inlet Inv. (NE): 12"Ø VCP = 656.57
Outlet Inv. (SW): 12"Ø VCP = 656.45
- 7 Existing Sanitary Manhole: T/C Elev. = 659.12
Inlet Inv. (NE): 12"Ø VCP = 653.82
Outlet Inv. (SW): 12"Ø VCP = 653.72

Mapping Notes

- Existing topography and boundary information shown hereon obtained from field surveys performed in September, October, November and December 2020 by Jack A. Hamilton and Associates, Inc.

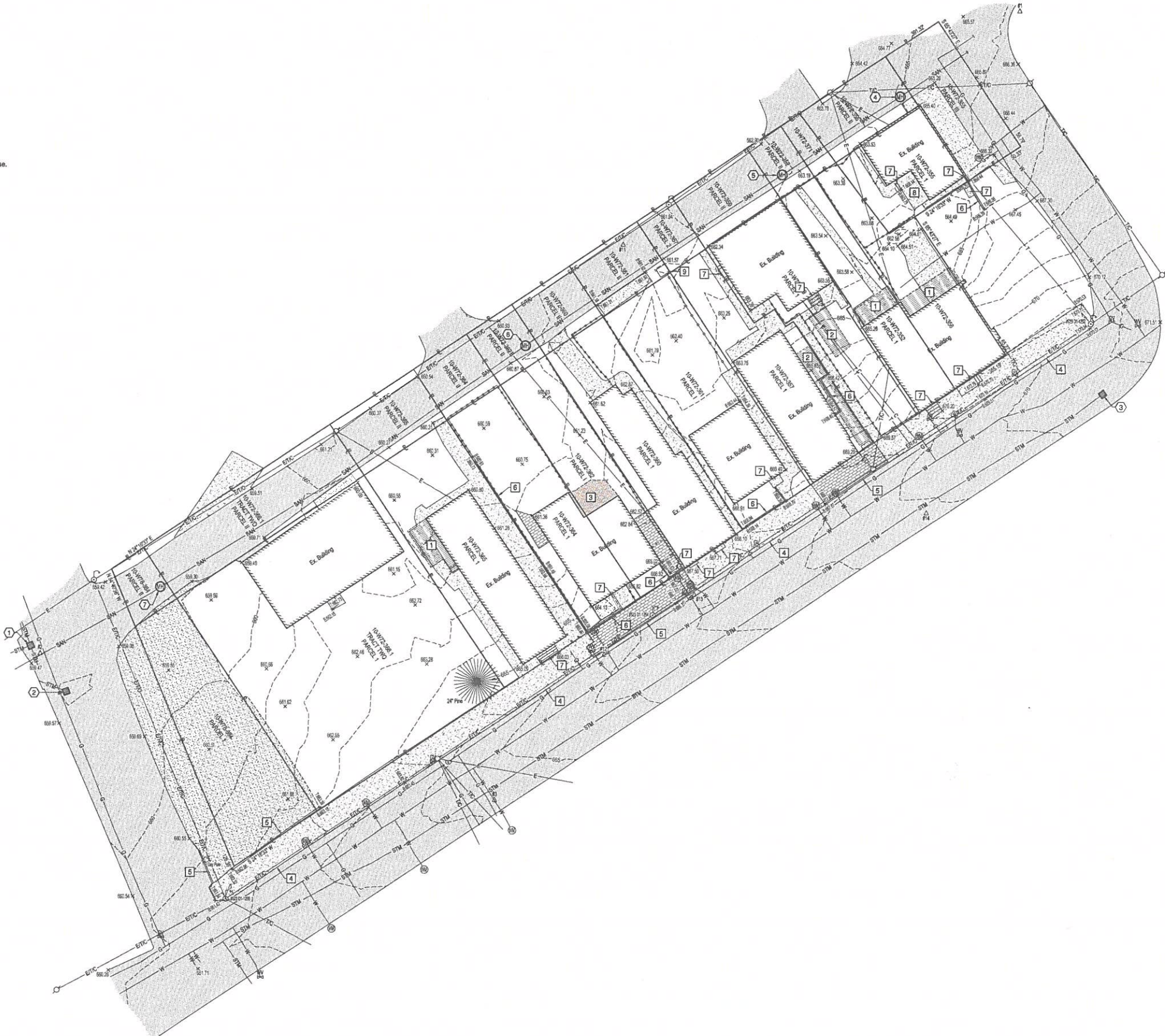
West Virginia 811 Ticket Number: 2029489607

MEMBERS	NUMBER
AT&T Transmission	800-288-2020
Mountain Gas Company	800-634-2070
Frontier & Central Communication Co.	800-321-8101
American Electric Power Co.	800-882-6943
FirstEnergy Corp.	888-544-4377
Comcast	800-254-5488
City of Wheeling-Water/Sanitary/Street	304-234-3873 (Water) 304-234-3874 (Sanitary)



Legend

△	Survey Control
—	Property Line
- - - -	Existing Grade Contour (ndw)
- - - -	Existing Grade Contour (demarcate)
865.75	Existing Grade Spot Elevation
1st to 5th x	Existing Grade Spot Elevation (Top/Bottom Cuts)
E/T/C	Existing Overhead Electric/Tele/CatV
T/C	Existing Overhead Telephone/Cable
E	Existing Overhead Electric
T	Existing Overhead Telephone
C	Existing Overhead Cable
⊕	Existing Utility Pole
⊕	Existing Light Pole/Utility Pole with Light
⊕	Existing Water Meter
⊕	Existing Water Valve
⊕	Existing Hydrant
W	Existing Waterline
⊕	Existing Sanitary Manhole
— SAN —	Existing Sanitary Sewer
⊕	Existing Storm Inlet/Catch Basin
— STM —	Existing Storm Sewer
⊕	Existing Gas Valve
— G —	Existing Gas Line
—	Existing Chain Link Fence
—	Existing Wooden Fence
▨	Existing Asphalt Surface
▨	Existing Concrete Surface
▨	Existing Brick Surface
▨	Existing Aggregate Surface



LaBELLE GREENE IV LP PROJECT
 Located in the City of Wheeling, McColloch Street and 32nd Street, Ohio County, West Virginia
WODA Cooper Companies, Inc.
 500 S. Front St., 10th Floor
 Columbus, Ohio 43215
Existing Conditions Plan



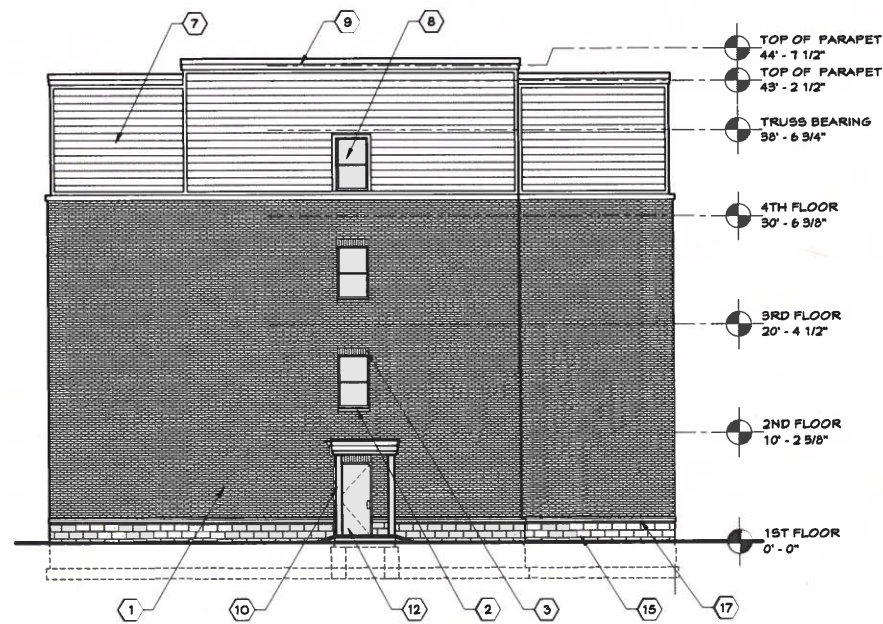
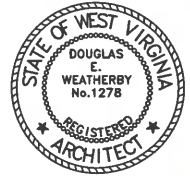
REVISIONS				
No.	DATE	DESCRIPTION	BY	CHKD

DRAWN BY: CWH
 CHECKED BY: JWH
 DATE: 12-11-2020
 DRAWING NO: 19238-2014

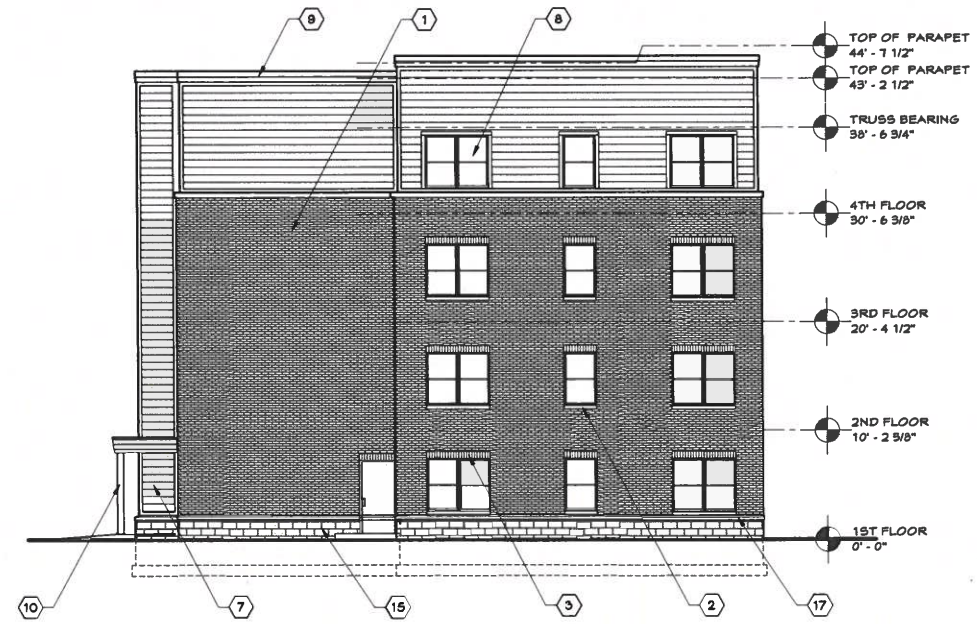
SHEET

CO.0

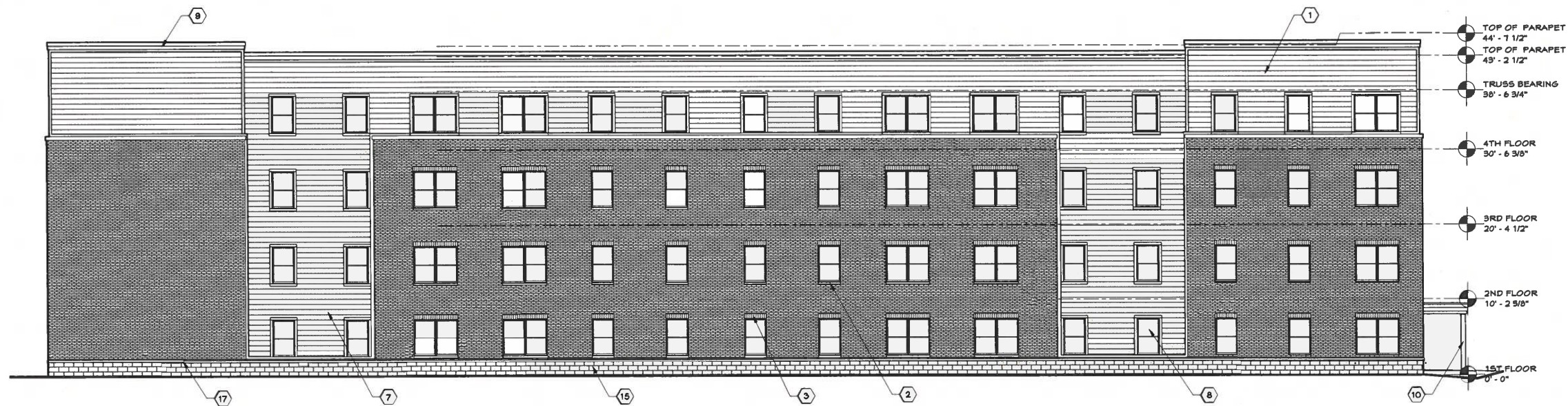
December 16, 2020 - 10:47 am C:\Users\jhamilton\OneDrive\Documents\13019-27-1\WODA-LaBelle IV Existing Conditions 12-11-2020-email.dwg



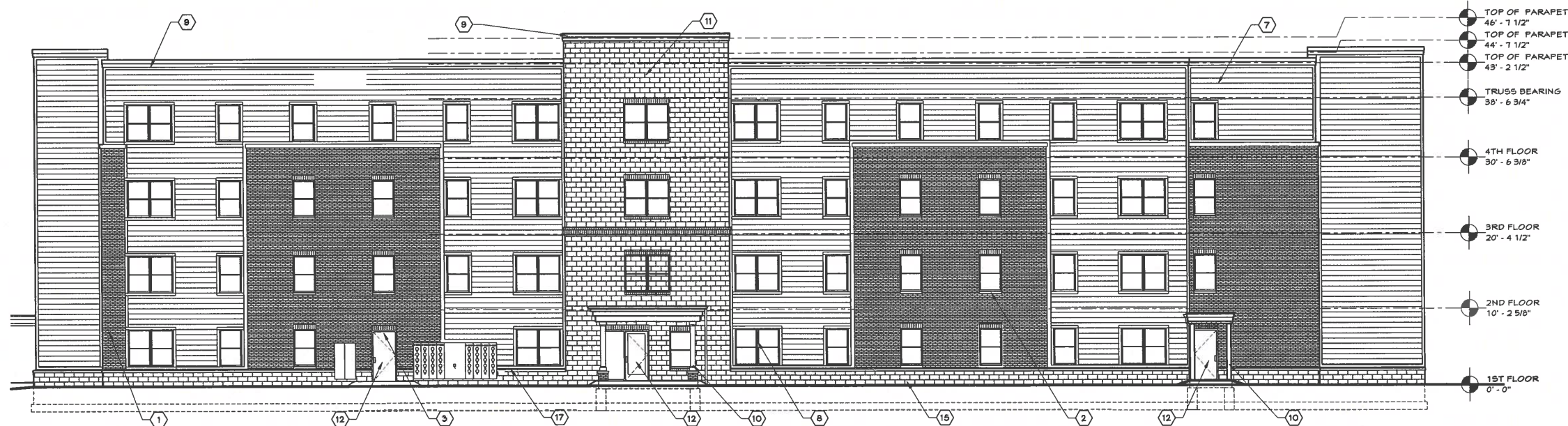
D LEFT ELEVATION



C RIGHT ELEVATION



B REAR ELEVATION
STREET SIDE



A FRONT ELEVATION
ALLEY SIDE

GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- ALL WORK SHALL CONFORM WITH GOVERNING CODES.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN FIELD. NOTIFY ARCHITECT IF ANY DISCREPANCIES OCCUR.
- ALL MATERIALS AND PRODUCTS SHALL BE PROVIDED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
- ALL DRAWINGS ARE SCHEMATIC AND NOT INTENDED FOR SCALING, QUANTITIES OR DETAILED CODE COMPLIANCE.
- EXTERIOR BUILDING DIMENSIONS ARE TO FACE OF SHEATHING.
- INTERIOR BUILDING AND UNIT DIMENSIONS ARE TO FACE OF STUD.
- REFER TO A1-SERIES DNGS FOR FIRE-RATED ASSEMBLIES AND F.E.C. LOCATIONS.
- REFER TO A3 SERIES FOR ENLARGED UNIT PLANS.
- REFER TO A6-SERIES DNGS FOR FINISH CEILING HEIGHTS.
- REFER TO DNG SHEETS A8.1 AND A8.2 FOR DOOR AND HARDWARE INFORMATION.
- REFER TO DNG SHEET A8.3 FOR FINISH SCHEDULE.
- REFER TO M/E/P DNGS FOR RELATED INFORMATION.

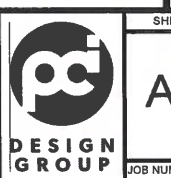
CODED NOTES

- FACE BRICK
- CONCRETE WINDOW SILL
- BRICK SOLDIER COURSE
- PVC FASCIA, SEE SECTIONS FOR DETAILS
- PRE-FINISHED 12X6 ALUMINUM SCOPPER
- 3" x 4" PRE-FINISHED ALUMINUM DOWNSPOUT. PROVIDE BEST CONNECTION ABOVE GRADE AND TIE INTO PVC BOOT. REFER TO CIVIL DNGS.
- DUTCH LAP VINYL SIDING (0.044)
- ENERGY STAR-RATED VINYL WINDOW; REFER TO WINDOW SCHEDULE.
- 1x PVC TRIM
- PRE-FINISHED 8" SQ. ALUMINUM COLUMN WRAP
- SPLIT FACE BLOCK
- ENTRY DOOR; REFER TO DOOR SCHEDULE.
- METAL RAILING, SUBMIT SHOP DRAWINGS FOR APPROVAL.
- HIGH-VISIBILITY ADDRESS NUMBERS AT ENTRY
- MASONRY WATER TABLE
- PVC OR CEMENT SHEET MATERIAL
- PRE-CAST CONCRETE SILL GAP
- 3" x 2" PRE-FINISHED ALUMINUM DOWNSPOUT. PROVIDE BEST CONNECTION ABOVE GRADE AND TIE INTO PVC BOOT. REFER TO CIVIL PLANS

FINISH LEGEND

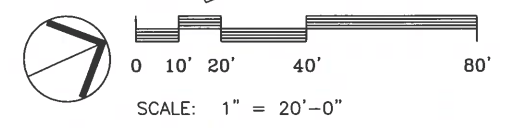
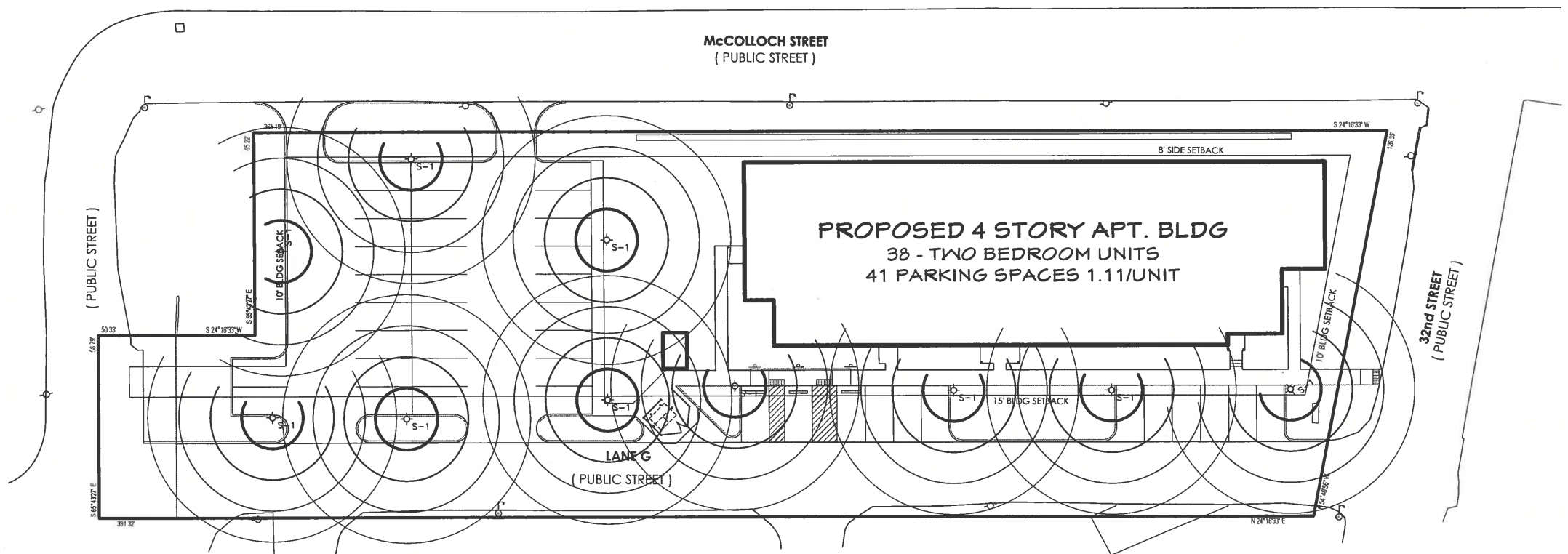
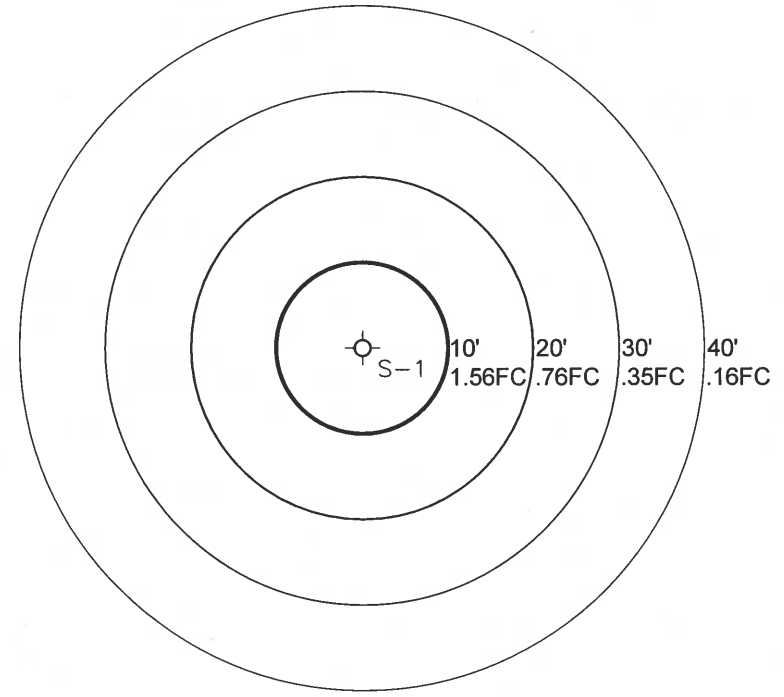
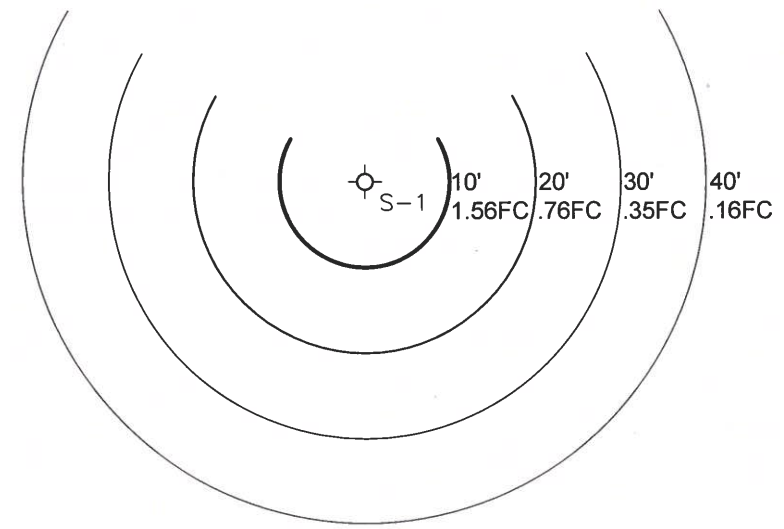
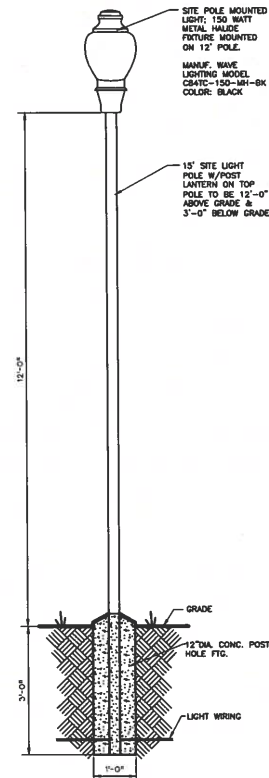
- REFER TO OWNER SELECTION SCHEDULE ON SHEET A8.3 FOR ADDITIONAL INFORMATION
- | | |
|--------------------------|--------------------|
| VS # VINYL SIDING | FB # FACE BRICK |
| DO # DOORS | VW # VINYL WINDOWS |
| DS # DOWNSPOUT/ GUTTER | SW # STEEL WINDOWS |
| FCP # FIBER CEMENT PANEL | |

ISSUE	DATE	REV
SITE PLAN SUB.	01-25-21	
80% SUBMISSION		
100% SUBMISSION		
PERMIT SET		
100% CON. DOCS		



SHEET NO
A4.1
JOB NUMBER WOD254

FAMILY HOUSING
LABELLE GREEN IV
 ADDRESS HERE, WHEELING, WV
 BUILDING EXTERIOR ELEVATIONS
 PCI DESIGN GROUP, INC. 500 S. FRONT STREET, SUITE 075, COLUMBUS, OHIO 43215 PHONE: 614-396-3268, FAX: 614-396-3268



LABELLE GREEN IV FAMILY HOUSING
 MCCOLLOCH STREET, WHEELING, WV
 PCI DESIGN GROUP, INC. 500 S. FRONT STREET, SUITE 075, COLUMBUS, OHIO 43215 PHONE: 614-998-3265, FAX: 614-998-3266

SITE LIGHTING PLAN

ISSUE	DATE	REV
SITE PLAN SUB.	01-25-21	
80% SUBMISSION		
100% SUBMISSION		
PERMIT SET		
100% CON. DOCS		



SHEET NO.
AS0.2
JOB NUMBER W00254