



APPLICATION FOR CERTIFICATE OF ZONING COMPLIANCE FOR THE USE, ERECTION, ALTERATION, OR REPAIR OF A BUILDING OR LAND

The undersigned applies for a Certificate of Zoning Compliance for the following, said certificate is to be issued on the basis of the information contained within the application. The applicant hereby certifies that all information and attachments are true and correct.

- 1. Address of Property: 655 MAIN ST WHEELING, WV 26003
2. Name of Property Owner: ARTHUR D. BURNSIDE
3. Name of Applicant: ARTHUR D. BURNSIDE
4. Address of Applicant: 659 MAIN ST WHEELING, WV 26003
5. Applicant Phone: (304) 238-6778 Owner Phone: (304) 238-6778
6. Existing Use: VACANT
7. Proposed Use: [X] Other (describe): RESIDENCE AND BICYCLE REPAIR
8. Number of off-street parking spaces to be provided: -
9. Number of off-street loading berths to be provided: -

COMPLETE THIS SECTION BELOW FOR THE ERECTION, ALTERATION, OR ADDITION OF A STRUCTURE

Type of Improvement:

- [] New Building
[] Addition
[X] Alteration/Repair

Residential:

Number of existing dwelling units:
Number of proposed dwelling units:

Existing Lot Dimensions: Width: 29 ft. x Depth: 82 ft. = lot area: 2378 sq. ft.

Existing Principal Building:

Dimensions: Width: 29 ft. x Depth: 37 ft. = Total first floor area, including covered porches: 1073 sq. ft.
Setbacks: Front: Rear: Side: Other Side: Height/Stories: 3

Existing Accessory Building: (garage, carport, shed, pool, etc):

Dimensions: Width: ft. x Depth: ft. = Total first floor area, including covered porches: sq. ft.
Setbacks: Front: ft. Rear: ft. Side: ft. Other Side: ft. Height/Stories:

Proposed Construction:

Dimensions: Width: ft. x Depth: ft. = Total first floor area, including covered porches: sq. ft.
Setbacks: Front: ft. Rear: ft. Side: ft. Other Side: ft. Height/Stories:

Applicant Signature: [Signature] Date: 9/13/2021
Owner Signature: [Signature] Date: 9/13/2021

Reset Form

Print Form



Certificate of Appropriateness Application

Historic Landmarks Commission
1500 Chapline Street Room 308
Wheeling, WV 26003
304-234-3701

APPLICANT INFORMATION

Name: ARTHUR D BURNSIDE

Address: 659 MAIN ST WHEELING, WV 26003

Phone: (304) 238-6778 email: adavidb.nm@gmail.com

PROJECT CLASSIFICATION

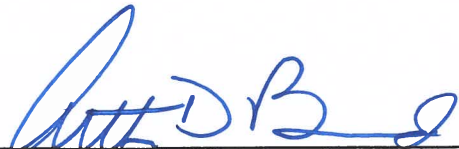
- New Construction
- Exterior Alteration
- Restoration
- Structure Relocation
- Structure Demolition
- Paint (attach sample)

Project Overview: COMPLETELY REPLACE ROOF AND
DETERIORATED EXISTING DOWNSPOUT ON
STRUCTURE AT 655 MAIN ST.

REQUIRED SUBMISSIONS

- Application for Certificate of Zoning Compliance
- Application for Certificate of Appropriateness
- Letter to Commission describing project
- Legal description of property
- Scaled elevation and/or suitable 8" x 10" photograph of the building facades which are visible from a public way
- Rendering or other visual representation of proposed changes (see attached example)
- Specification of materials, colors and construction techniques
- Other information as may be reasonable deemed necessary by the Commission to enable a determination on the application.
- \$15 fee payable to City of Wheeling
- Submitted at least 2 weeks prior to monthly meeting (1st Thursday of the month)

NOTE: SEE FACADE IMPROVEMENT PROGRAM APPLICATION ATTACHMENTS FOR SOME OF THE SUPPORTING DOCUMENTATION.

Owner's Signature: 

Date: 9/14/2021

Arthur D. Burnside
659 Main Street
Wheeling, WV 26003

September 14, 2021

Wheeling Historic Landmarks Commission
1500 Chapline Street
Room 308
Wheeling, WV 26003

Ref: Certificate of Appropriateness Application

Dear Mr. Connelly:

I am submitting my application package for a Certificate of Appropriateness in regards to the replacement of the roof and the deteriorated downspout on the structure located at 655 Main Street. Please note, that a number of the required supporting documents can be found in the package that was recently submitted and reviewed for the third quarter Façade Improvement Program Grant application. Other supporting documents, specifically those involving the replacement of the downspout are included here. The replacement of the downspout was unintentionally left out of the Façade Improvement Program Grant application. The work will be done as part of the roof replacement but the cost will be covered by me out-of-pocket.

The existing roof on 655 Main St. is in extremely poor condition and that is being generous. For the last number of years, it has been covered simply with roofing paper. The contractor for the roof replacement will be Kalkreuth Roofing and Sheet Metal. I have chosen Owens Corning TRUDEFINITION® Duration Designer asphalt shingles for the replacement. See attached photo of the shingles I have chosen.

Also included as part of this application is replacement of the existing, deteriorated downspout. Included in this package are photos of the existing downspout. The original downspout is round in shape and made from a thin gauge, "rolled" metal. My plans are to maintain the round shape. I am working with the contractor to see the availability of the thin gauge metal. An alternative would be use of a thin-walled PVC as used on my current residence at 659 Main St. A photo of this is also included for reference. In either case, I will go with a gray color. From the photos, I believe this to have been the previous color. (See the top section of the downspout and also the electrical service conduit.) As specified earlier, this will be done as part of the roof replacement project, so this will also be done by Kalkreuth Roofing and Sheet Metal.

I kindly ask that you review my application and contact me immediately if you find that any information is missing, needs clarification or if you have concerns with my plans. I would like to resolve any issues quickly begin the roof replacement as soon as possible.

Thank you for consideration of my application.

Sincerely,



Arthur D. Burnside
(304) 238-6778
adavidb.nm@gmail.com

THIS DEED, Made this 30th day of April, 2021, by and between **THADDEUS A. PODRATSKY**, Party of the First Part, and **ARTHUR D. BURNSIDE**, Party of the Second Part.

WITNESSETH: That for and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable consideration, the receipt of which is hereby acknowledged, the Party of the First Part does hereby GRANT and CONVEY unto the Party of the Second Part with covenant of GENERAL WARRANTY, the following described property situate in Ohio County, West Virginia, that is to say:

A certain lot or parcel of land situate in the City of Wheeling, County of Ohio, and State of West Virginia, the same being a portion of the lot described on the plat of the City of Wheeling as Lot No. 32 (Lot No. One (1)) lying on the west side of Main Street between Sixth and Eighth Streets.

Beginning at point in the west line of Main Street nineteen (19) feet and six (6) inches north of the north line of the alley formerly called Chestnut Alley (the said point is in the north line of the party wall which separates the lands of W.H. Williams and Sarah Phillips); thence north along the west side of Main Street twenty-nine (29) feet and two (2) inches to the south line of the lands of Emma W. Phillips, deceased, to, but not including, the south wall of the brick building on lands of said Emma W. Phillips; thence westwardly along the north line of said Lot No. 32, eighty-two (82) feet to a point in said line; thence southwardly along a line parallel to the west line of Main Street twenty-nine (29) feet and two (2) inches to a stake at a point in the north line of the lands owned by the said W. H. Williams, which said line is the north line of the said party wall aforesaid; thence eastwardly along the north line of said party wall eighty-two (82) feet to the place of beginning.

The Party of the First Part does further grant and convey unto the Party of the Second Part all rights set forth in the easement dated the 6th day of March, 2000 conveyed to Thaddeus Podratsky and Kimberly A. Podratsky by John L. Allen, Special Commissioner, which appears of record in the Office of the Clerk of the County Commission of Ohio County, West Virginia in Deed Book 718, at page 243. The Easement was conveyed pursuant to a Memorandum Order granting injunctive and other equitable relief of the Circuit Court of Ohio County, West Virginia dated November 12, 1996, which appears of record in said County Clerk's Office in Deed Book 717, at page 145.

Being the same property described as Parcel 1 which was conveyed to Thaddeus A. Podratsky, by Corrective Quitclaim Deed from Thaddeus A. Podratsky, also known as Thaddeus

Podratsky and Kimberly A. Podratsky, also known as Kimberly Podratsky, dated the 12th day of September, 2010, which appears of record in the Office of the Clerk of the County Commission of Ohio County, West Virginia in Deed Book 807, at page 149.

The Grantor hereby declares that the total consideration paid for the property hereby conveyed is Fifty-five Thousand Dollars (\$55,000.00).

WITNESS the following signature:

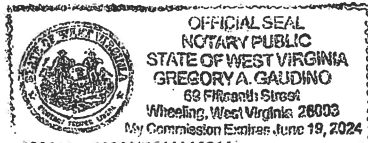

THADDEUS A. PODRATSKY

STATE OF WEST VIRGINIA,
COUNTY OF OHIO, to-wit:

The following instrument was acknowledged before me this 30th day of April, 2021, by Thaddeus A. Podratsky.


Notary Public

My Commission Expires:



This deed was prepared by
Gregory A. Gaudino
Petroplus & Gaudino, PLLC
69-15th Street
Wheeling, WV 26003

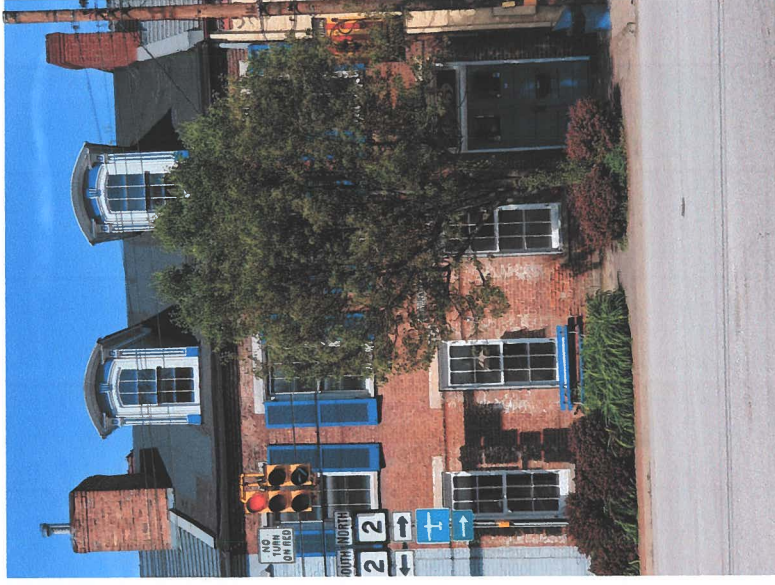
Ohio County
Michael E. Kelly, Clerk
Instrument 19731435
04/30/2021 @ 02:26:12 PM
DEED
Book 999 @ Page 641
Pages Recorded 2
Recording Cost \$ 46.00
Transfer Tax \$ 302.50

Roof Replacement 655 Main Street

Phillips House Row

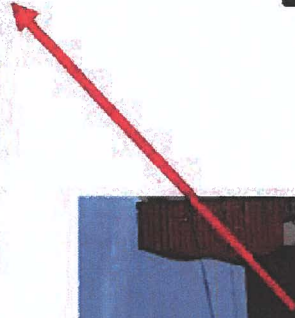


655 Main Street

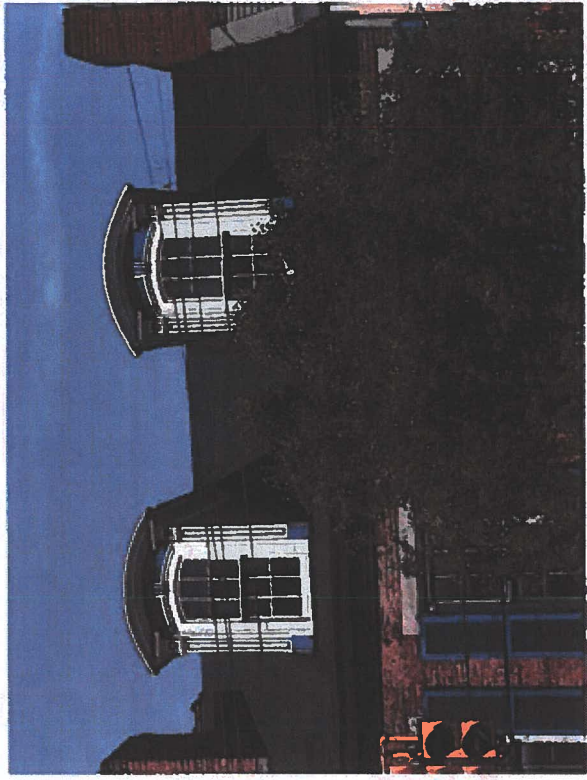


ATTACHMENT 3

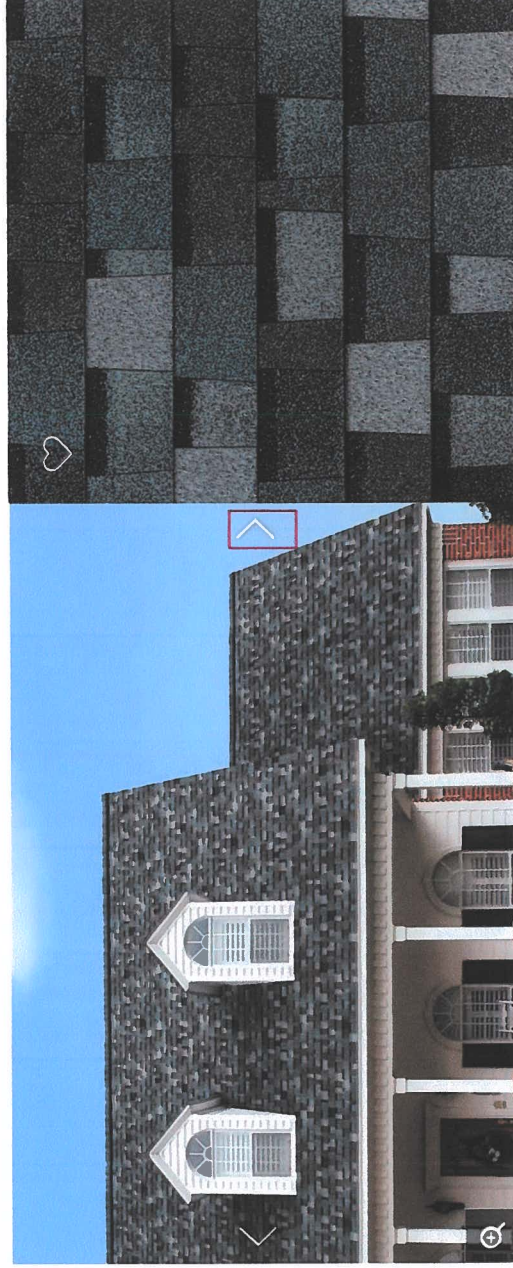
Damages on Front Side of Structure *(Third and Second Floors)*



Damages on Back Side of Structure
(Third and Second Floors)



Roof Replacement 655 Main Street
(Shingle Selection)



Manufacturer: Owens Corning
Type: Asphalt
Model: TRUDEFINITION® Duration Designer
Color: Pacific Wave

Existing Downspout Replacement 655 Main Street



Example of Painted PVC Downspout on 650 Main Street





300 Wharton Circle, Suite 176, Triadelphia, WV 26059

P.O. Drawer 6399, Wheeling, WV 26003

Phone: (304) 230-1200 Fax: (304) 230-1370

July 30, 2021

Art Burnside
655 Main Street
Wheeling, WV 26003

RE: Shingle Roof Restoration: Dimensional Shingles:

Dear Mr. Burnside:

We propose to furnish the necessary labor, materials, equipment, and insurance to complete the following scope of work on the above referenced project.

1. Remove existing roofing down to the wood deck.
 - Multiple layers of 90 lb felt—approximately 1,700 square feet.
2. Inspect decking for damage and re-nail as needed.
3. Notify owner of any deficiencies in the decking.
4. Install ice and water leak barrier at all eave, rake, wall, chimney, and valley locations.
5. Install synthetic felt underlayment on all remaining areas.
6. Provide and install new drip edge per manufacturer's specifications.
7. Install new manufacturers pre-cut starter strip shingles on all eaves and rakes.
 - Used to seal down eave and rake edges.
8. Provide and install new lifetime dimensional shingles.
 - Approximately 1,300 square feet.
9. Provide and install a new roof over style ridge vent and intake vents.
10. Install new distinctive ridge cap shingles.
11. Provide and install step and counter flashing at all wall and chimney locations.
12. Provide and install a new .060 EPDM rubber roof system on the (4) low sloped dormer roofs and box gutter on the front of the building.
 - Approx. 400 square feet of low sloped roofing and 30 lineal feet of box gutters.
13. Custom fabricate and install 24-gauge aluminum coping caps and counter flashing as needed where the roof meets neighboring building walls and roof areas.
 - Approximately 110 lineal feet.
14. Provide and install new step and counter flashing at all wall and chimney locations.
15. Provide and install pre-manufactured flashings at all penetrations.
16. Provide a manufacturer's warranty at the completion of the project.
17. To provide and install new 4.5" dutch lap vinyl siding, with correct J-channel, and custom fabricated outside aluminum corners on each side. (Approximately 200 square feet total)

Page 1



300 Wharton Circle, Suite 176, Triadelphia, WV 26059

P.O. Drawer 6399, Wheeling, WV 26003

Phone: (304) 230-1200 Fax: (304) 230-1370

18. Organize and clean-up project at the completion of each day.
19. All work will be completed within strict accordance to the manufacturer's specifications.
20. All debris will be removed from site and hauled to an approved landfill at the completion of the project.

The cost of this project will be Twenty-Nine Thousand Three Hundred Seventy-Five Dollars.

Net Cost: \$27,400.00

American Express, Discover, MasterCard & Visa Accepted

Price is valid for 30 days

Notes:

- If after existing roofing is removed, it is found the existing sheathing has large gaps that require a complete resheet of the roof with 7/16" OSB to be installed over the existing decking, the total cost to resheet the total area (of 1,700 square feet) would be an additional \$6,000.00 to the original contract.
- Wood replacement is not included in this proposal.
- Asbestos abatement is not included in this proposal.
- Work that is not included in this proposal will be completed on a time plus material basis with written consent from the owner.
- Our invoices are due net 30 days from the invoice date. Invoices past 30 days will be charged an interest rate of 1.5% or an annual rate of 18%.

We trust this proves satisfactory and that we may be of service to you.

Sincerely,

Zane Harvey

Zane Harvey
Service Division Estimator
Special Projects Division

Accepted

Date:

[Signature]
7/30/2021

ZH/SS

WV Contractor's License #WV000246

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Corporate Office • P.O. Drawer 6399 • 53-14th Street • Wheeling, WV 26003 • (304) 232-8540 • Fax: (304) 233-5305
P.O. Box 4008, Frederick, MD 21705-4008 • 5726 Industry Lane, Frederick, MD 21704 • (301) 418-6100 • Fax: (301) 695-0884
8345 Green Meadows Drive North • Lewis Center, OH 43035 • (740) 657-6400 • Fax (740) 549-1400
2131 Capstone Drive • Lexington, KY 40511 • (859) 231-7663 • Fax (859) 231-7669
119 Hidden Valley Road • Canonsburg, PA 15317 • (412) 489-6351
Website: www.krsm.net Email: krsm@krsm.net

EEO

ATTACHMENT 6



300 Wharton Circle, Suite 176, Triadelphia, WV 26059

P.O. Drawer 6399, Wheeling, WV 26003

Phone: (304) 230-1200 Fax: (304) 230-1370

August 18, 2021

Art Burnside
655 Main Street
Wheeling, WV 26003

RE: Shingle Roof Restoration: Schedule of Values Table:

Dear Mr. Burnside:

Below, is your attached schedule of values for the roof project we have scheduled later this fall.

DESCRIPTION OF WORK	VALUE
GENERAL CONDITIONS	500.00
MOBILIZATION	500.00
ROOF/METAL MATERIALS	9,925.00
TOTAL LABOR	13,400.00
DEMOBILIZATION	500.00
VINYL SIDING	2,575.00
OSB RESHEET	6,000.00
TOTAL SITE COSTS	33,400.00

The cost of this project will be Thirty-Three Thousand Four Hundred Dollars.

Net Cost: \$33,400.00

Sincerely,

Jane Harvey

WV Contractor's License #WV000246

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Website: www.krsm.net Email: krsm@krsm.net

EEO