

# Site Development Plans For WHEELING MARSH LOFTS

## Main Street City of Wheeling, Ohio County, West Virginia

### GENERAL NOTES

- The Contractor and subcontractor shall be solely responsible for complying with all Federal, State and local safety requirements, together with exercising precautions of all lines for the protection of persons (including employees) and property. It is also the sole responsibility of the Contractor and subcontractor to initiate, maintain and supervise all safety requirements, precautions and programs in connection with this work.
- Existing utilities shown are from best available records and field investigation, and are not necessarily complete or exact. The Contractor is responsible for the investigation, location, support, protection and restoration of all existing utilities and appurtenances whether shown on these plans or not. The Contractor shall expose all utilities or construction prior to construction to verify the vertical and horizontal location of the proposed construction, and shall be responsible for the location of all utilities. The Contractor shall call the utilities protection service (Dial 811) at least three (3) working days prior to work in the vicinity of their underground utilities.
- Chadon Engineering, Inc. assumes no responsibility for the accuracy and/or completeness of the provided surveying and mapping information nor any errors or omissions resulting from missing or inaccurate data.
- The Contractor shall exercise extreme caution when working near existing utilities. It is the Contractor's responsibility to contact the appropriate utility agency prior to exposing the agency's utility. The Contractor is responsible for repairing any utility that may become damaged during the course of construction.
- Should the Contractor discover any discrepancies of conflicts with the existing and/or proposed information, the project Architect and Engineer shall be notified prior to continuing work.
- All proposed utility locations shall be provided by a state licensed surveyor, prior to installation. The Contractor shall adjust all structures to final grade as needed.
- The Contractor and/or Owner is responsible for coordinating with the electric, gas and communication companies regarding providing service to the development. Any information shown on plans shall be considered schematic for budgetary purposes only.
- Any property corner pins or permanent survey markings disturbed during construction shall be reset by a registered surveyor at the Contractor's expense.
- The tracking or spillage of mud, dirt or debris upon public roads is prohibited and any such occurrence shall be cleaned up immediately by the Contractor. If the dirt, the backfill material may take action and assist the Contractor for the costs that are incurred.
- No non-rubber tire vehicles shall be moved on public roads except when they are grouted where short distances and special circumstances are involved. Grouting of exceptions shall be in writing.
- The Contractor shall exercise extreme caution when excavating in the vicinity of existing trees, using all measures possible to protect and preserve them. The Contractor shall be governed by the provisions of the contract with the Owner.
- All field the broken during excavation shall be replaced to its original condition or connected to the storm sewer system. The Contractor shall maintain a set of as-built documents for any the encountered during construction.
- Proposed storm water management basins and conveyance system will be owned by the Owner. It will be the Owner's responsibility to properly maintain and inspect the storm water management system.
- All traffic control devices shall be furnished, erected, maintained and removed by the Contractor in accordance with the latest edition of the West Virginia Department of Transportation Manual for Temporary Traffic Control.
- All trenches shall be backfilled or securely plied during nonworking hours.
- Access to all adjoining properties shall be maintained at all times.
- All areas within the public right-of-way that are disturbed by this project shall be restored to original or better condition.
- All utility crossings where the existing utility is exposed in the trench, the backfill shall consist of compacted granular material between the deeper and shallower pipe. Where proposed utilities or services cross proposed or existing pavement areas, backfill shall be compacted granular extending at least 3 feet beyond the back of curb or edge of pavement. Call it to be included in the price bid for related PPE.
- Clean water connections to sanitary sewer lines are strictly prohibited. This include roof drains, foundation drains, yard drains, catch basins and trench drains.
- Curb inlets, manholes and catch basins shall be channeled or dished. Tops and catch basins shall be adjusted with the final slope of the road surface.
- Proposed spot elevations are dependent on the final elevation of the finish floor of the building. Once the floor slab has been installed, the Contractor shall coordinate with the City Engineer to determine if any elevation revisions are required.
- On-site sidewalks are designed to meet current accessibility standards. It is strongly recommended that the Contractor review the proposed sidewalks and accessibility and construct the work so not to create a "pinch point" with respect to the elevations due to construction tolerances with the final elevations. Note the following information:  
**Sidewalks** are to have a cross-slope of less than 2%. Lead slope shall not exceed 5% or it is considered a ramp. Changes in elevations shall have an area of 2% or less in all directions whenever possible.  
**Ramp:** A ramp is a section of sidewalk with a lead slope greater than 5% and less than 8.33%. Ramps are required on both sides of curbs with an elevation change greater than 1/4" and on both sides of curbs with an elevation change of less than 1/4" in length without a landing area.  
Where it is necessary to disturb pavements or drives, the pavement shall be saw cut in neat straight lines. The depth of the saw shall be at least 4 inches. Existing asphalt or concrete shall be replaced to a thickness equal or greater than original. Aggregate base shall be replaced if needed.
- Erosion control measures in accordance with the requirement of the State of West Virginia. The Contractor shall provide sediment control at all points where water leaves the project, including waterways, overhead steel flow and storm sewers. The Contractor shall provide adequate drainage of the work area at all times consistent with erosion control practices. Disturbed areas that remain unworked for 14 days shall be seeded. Other sediment controls that are required shall be maintained until vegetation growth has been established. The Contractor shall be responsible for the removal of all temporary sediment control devices at the conclusion but not before the growth of permanent ground cover.
- The Contractor shall clear and grub only the portion of the site within the Limit of Disturbance (LOD) noted within the plans. Should disturbance occur outside the LOD, the Engineer shall be notified.
- Contractor shall adhere to all recommendations in the geotechnical report unless directed otherwise in writing by the project Architect or Owner. It is the Contractor's responsibility to ensure that proper testing is completed on placed fill, foundation, and trench work, etc. Should the Contractor encounter poor or unknown soils or groundwater, the geo-tech representative shall be consulted. Copies of all testing reports shall be provided to the Owner.
- Contractor shall review and follow environmental reports conducted for the development. All regulatory and permit conditions shall be followed unless otherwise directed in writing by the owner or project architect.
- Stormfills shall be provided to the Engineer electronically for review and comment. The Engineer shall respond within 5 business days.
- The Contractor shall maintain a set of as-builts on site. Once the project is complete, the as-built set shall be delivered to the Owner.
- The Contractor is responsible for confirming all quantities for the site development.

### PROJECT TEAM

**Owner/Developer:**  
Stevenson  
Stockton Greene, P.  
3020 Columbus Avenue  
Columbus, OH 43215  
614.396.3200

**Project Architect:**  
PCI Design Group, Inc.  
500 S. Front Street, Suite 975  
Columbus, OH 43215  
614.396.3245

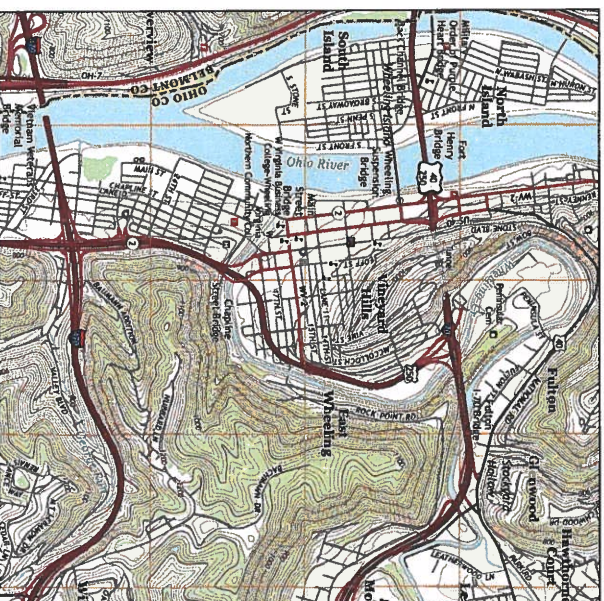
**Surveyor:**  
RETEW, Inc.  
Cathy Bihman, P.S.  
3020 Columbus Avenue  
Lancaster, PA 17603  
740.277.2348

### MAPPING NOTES

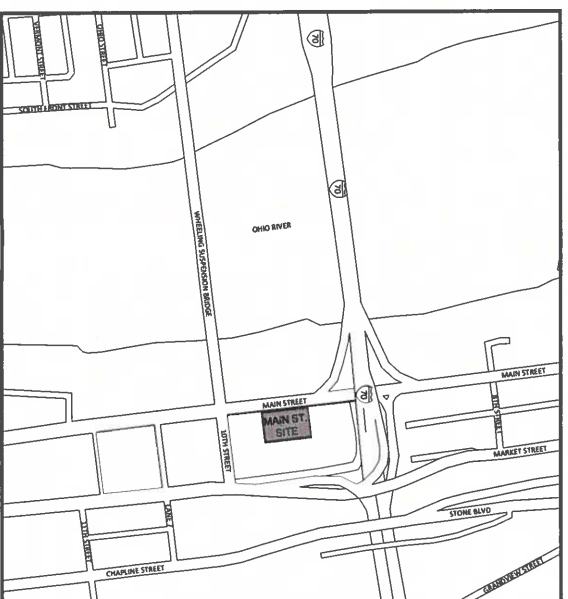
Boundary and existing conditions survey provided by:

RETEW, Inc.  
Cathy Bihman, P.S.  
3020 Columbus Avenue  
Lancaster, PA 17603  
740.277.2348

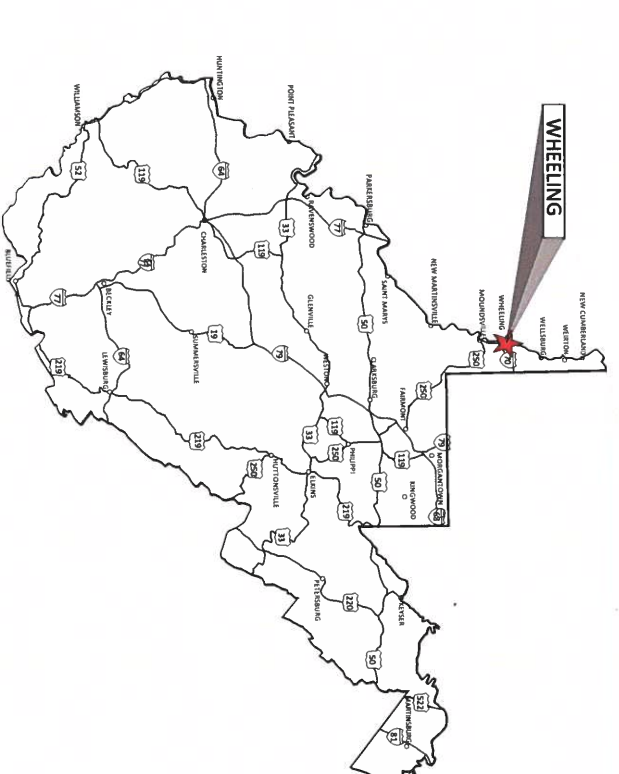
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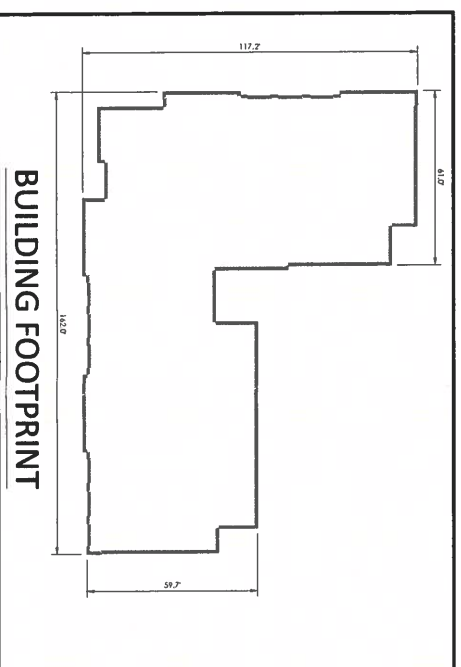
**LOCATION MAP**  
Scale: 1" = 2000'



**VICINITY MAP**  
Scale: 1" = 400'



**STATE MAP**



**BUILDING FOOTPRINT**

### DRAWING INDEX

- Sheet CS Cover Sheet
- Sheet C001 Existing Conditions/ Demolition Plan
- Sheet C100 Site Plan
- Sheet C101 Site Details
- Sheet C200 Site Grading & Drainage Plan
- Sheet C300 Storm Water Pollution Prevention Plan
- Sheet C301 Erosion & Sedimentation Control Details
- Sheet C400 Utility Plan
- Sheet C401 Utility Details

DATE	REVISIONS	ISSUE

DATE ISSUED: March 26, 2021  
DRAWN: DB  
CHECKED: CG  
NOTES:

Cover Sheet

CS

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chadonengineering.com

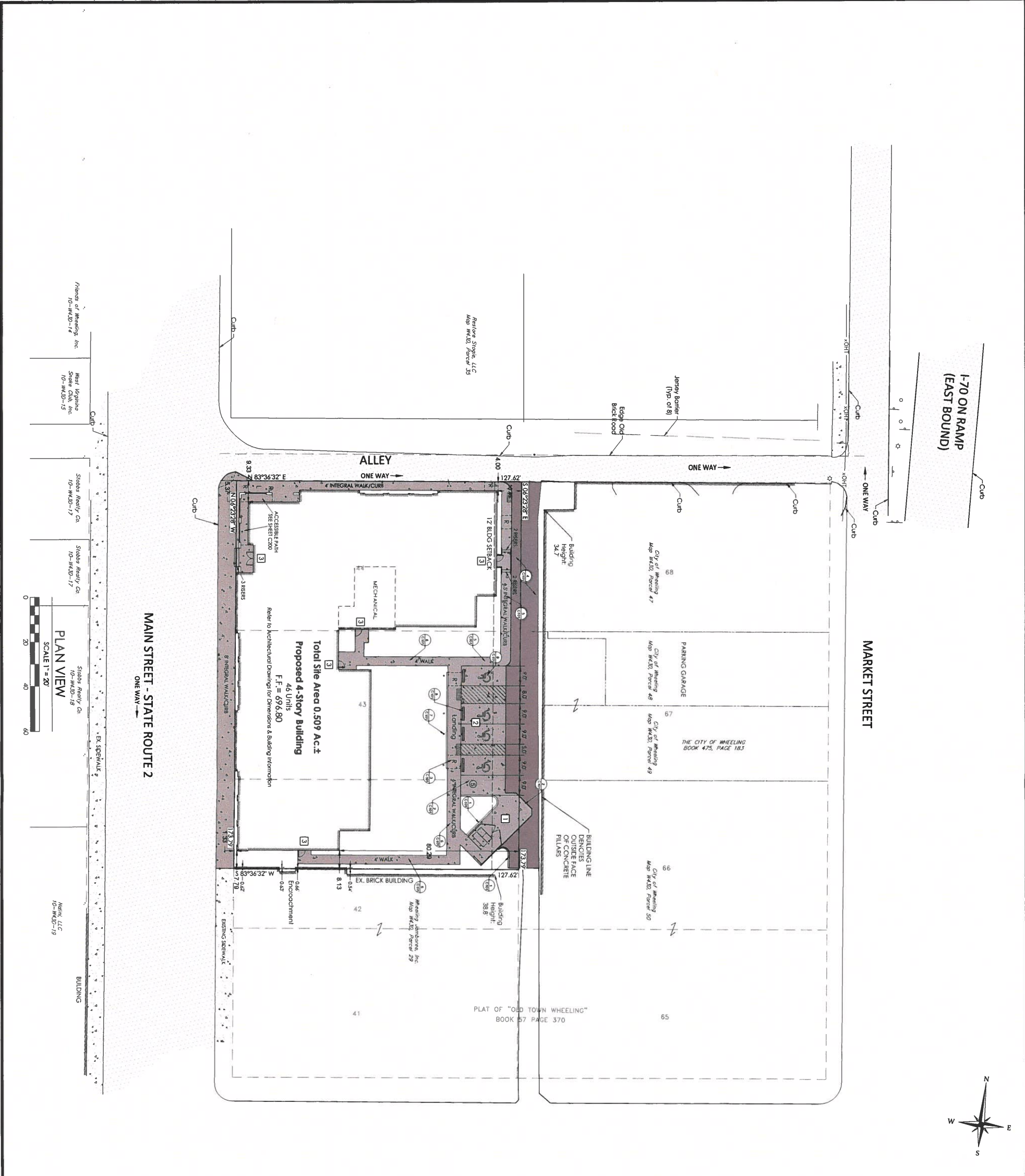
CLIENT:  
Wood Cooper Companies  
Attn: Anna Little  
500 S. Front Street, 10th Floor  
Columbus, OH 43215  
614.396.3200

REGISTERED PROFESSIONAL ENGINEER  
WEST VIRGINIA  
# 01488  
CHARLES M. CHADAN  
STATE OF WEST VIRGINIA



CALL 811 TO REPORT A PROBLEM OR TO REQUEST A SERVICE. CALL 811 TO REPORT A PROBLEM OR TO REQUEST A SERVICE. CALL 811 TO REPORT A PROBLEM OR TO REQUEST A SERVICE.





I-70 ON RAMP  
(EAST BOUND)

MARKET STREET

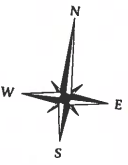
MAIN STREET - STATE ROUTE 2  
ONE WAY

ALLEY  
ONE WAY

Total Site Area 0.509 Ac.±  
Proposed 4-Story Building  
F.F. = 696.80  
44 Units

Refer to Mechanical Drawings for Dimensions & Building Information

PLAN VIEW  
SCALE 1" = 20'



**Legend**

- Symbols do not apply to all sheets
- 695 --- Property Boundary Line
  - 696 --- Existing Grade Contour (Intermediate)
  - X 695 # Existing Grade Spot Elevation
  - 696 # Existing Overhead Electric Line
  - ⊕ Existing Utility Pole
  - ⊕ Existing Light Pole
  - ⊕ Existing Utility Box
  - ⊕ Existing Water Valve
  - ⊕ Existing Water Meter
  - ⊕ Existing Telephone Manhole
  - XUCT Existing Underground Telephone Line
  - XW Existing Water Line (Approximate Location)
  - XG Existing Gas Line
  - ⊕ Existing Gas Structure
  - ⊕ Existing Sign
  - ⊕ Existing Ballast
  - ⊕ Existing Manhole
  - ⊕ Existing Catch Basin
  - SSWR --- Existing Storm Sewer Pipe
  - Existing Asphalt Surface
  - Proposed Grade Contour (Index)
  - Proposed Grade Contour (Intermediate)
  - Proposed Chainlink Fence
  - Proposed Storm Sewer Pipe
  - ⊕ Proposed Storm Catch Basin/Yard Drain
  - ⊕ Proposed Storm Manhole
  - ⊕ Proposed Storm Sopot Elevation
  - Proposed Concrete Surface
  - Proposed Standard Asphalt
  - Proposed Heavy Duty Asphalt
  - Existing Surface to be removed

**Coded Notes**

- Notes pertain to this sheet only.
- 1 Dumpster Enclosure. Refer to architectural drawings.
  - 2 Handicap parking and aisle not to exceed 2% slope in any direction.
  - 3 Coordinate building entrances with architectural plans

**Details**

- ⊕ Concrete Curb
- ⊕ Concrete Paving
- ⊕ Partial Handicap Ramp
- ⊕ Asphalt Surface
- ⊕ Integral Walk & Curb
- ⊕ Stairwell
- ⊕ Handicap Parking Signage, Typical of 4
- ⊕ Wheel Stop, Typical of 4
- ⊕ Handicap Logo, Typical of 4



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Wood Cooper Companies  
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500 S. Front Street, 10th Floor  
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614.394.3200

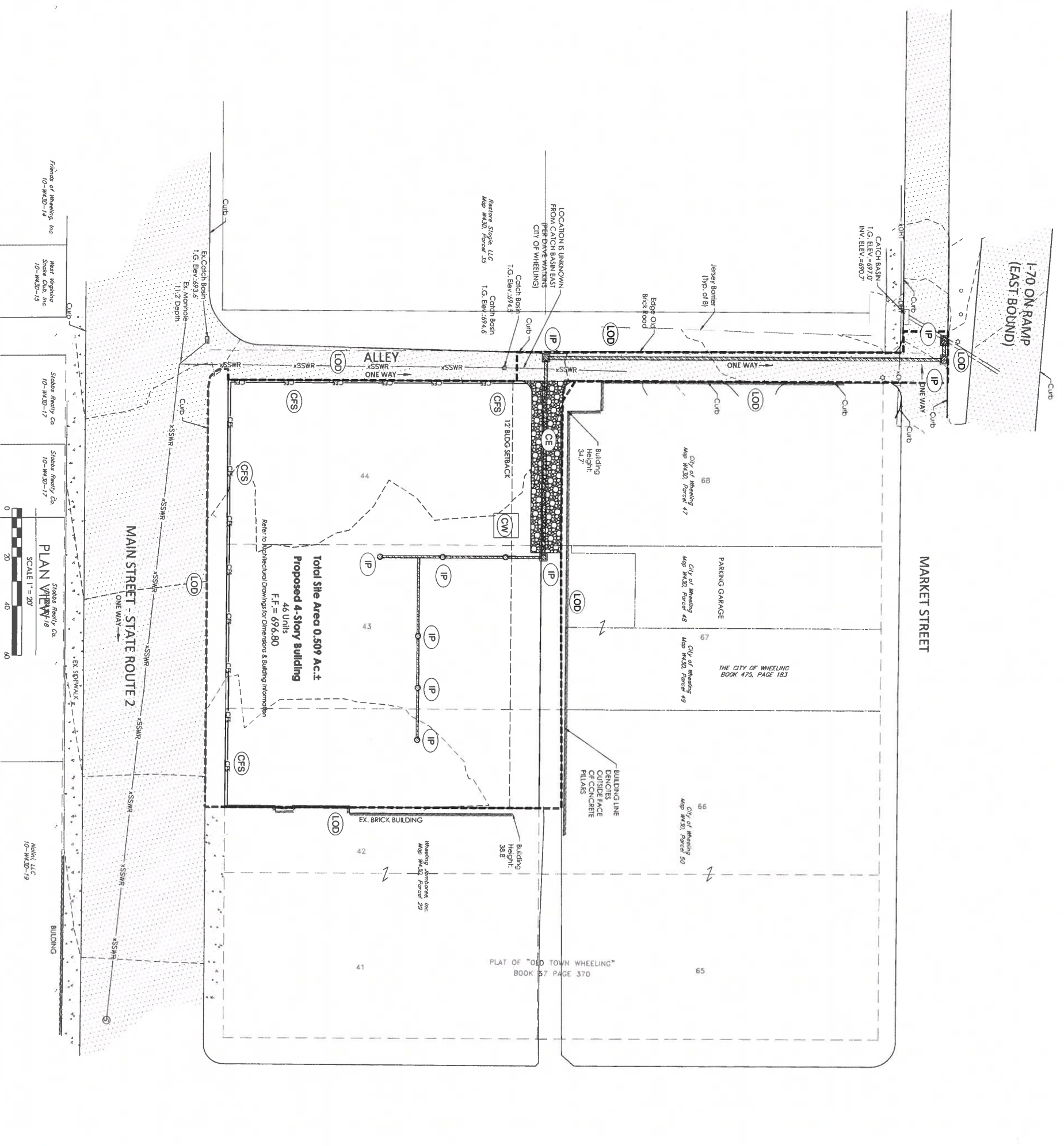
**WHEELING MARSH LOFTS**  
Main Street  
City of Wheeling, Ohio County, West Virginia

ISSUE	REVISIONS	DATE

DATE ISSUED: March 26, 2021  
DRAWN: DB CHECKED: CG

Site Plan  
**C100**





Friends of Wheeling, Inc  
10-WA-20-14

West Virginia State Coll. Inc  
10-WA-20-15

Stukas Realty Co  
10-WA-20-17

Stukas Realty Co  
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Stukas Realty Co  
10-WA-20-19

PLAN 1718  
SCALE 1" = 20'

MAIN STREET - STATE ROUTE 2

MARKET STREET

ALLEY

EX. BRICK BUILDING

PROPOSED 4-STORY BUILDING

46 UNITS  
F.F. = 696,800

Total Site Area 0.509 Ac.±

Refer to Architectural Drawing for Dimensions & Building Information

16' Catch Basin

12' BLDG SETBACK

EX. BRICK BUILDING

12' BLDG SETBACK

EX. BRICK BUILDING

12' BLDG SETBACK

EX. BRICK BUILDING

12' BLDG SETBACK

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12' BLDG SETBACK

EX. BRICK BUILDING

12' BLDG SETBACK

EX. BRICK BUILDING

PLAT OF "OLD TOWN WHEELING" BOOK 57 PAGE 370

THE CITY OF WHEELING BOOK 473, PAGE 183

City of Wheeling Map WA20 Parcel 47

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City of Wheeling Map WA20 Parcel 29

Wheeling Landmarks, Inc Map WA20 Parcel 29

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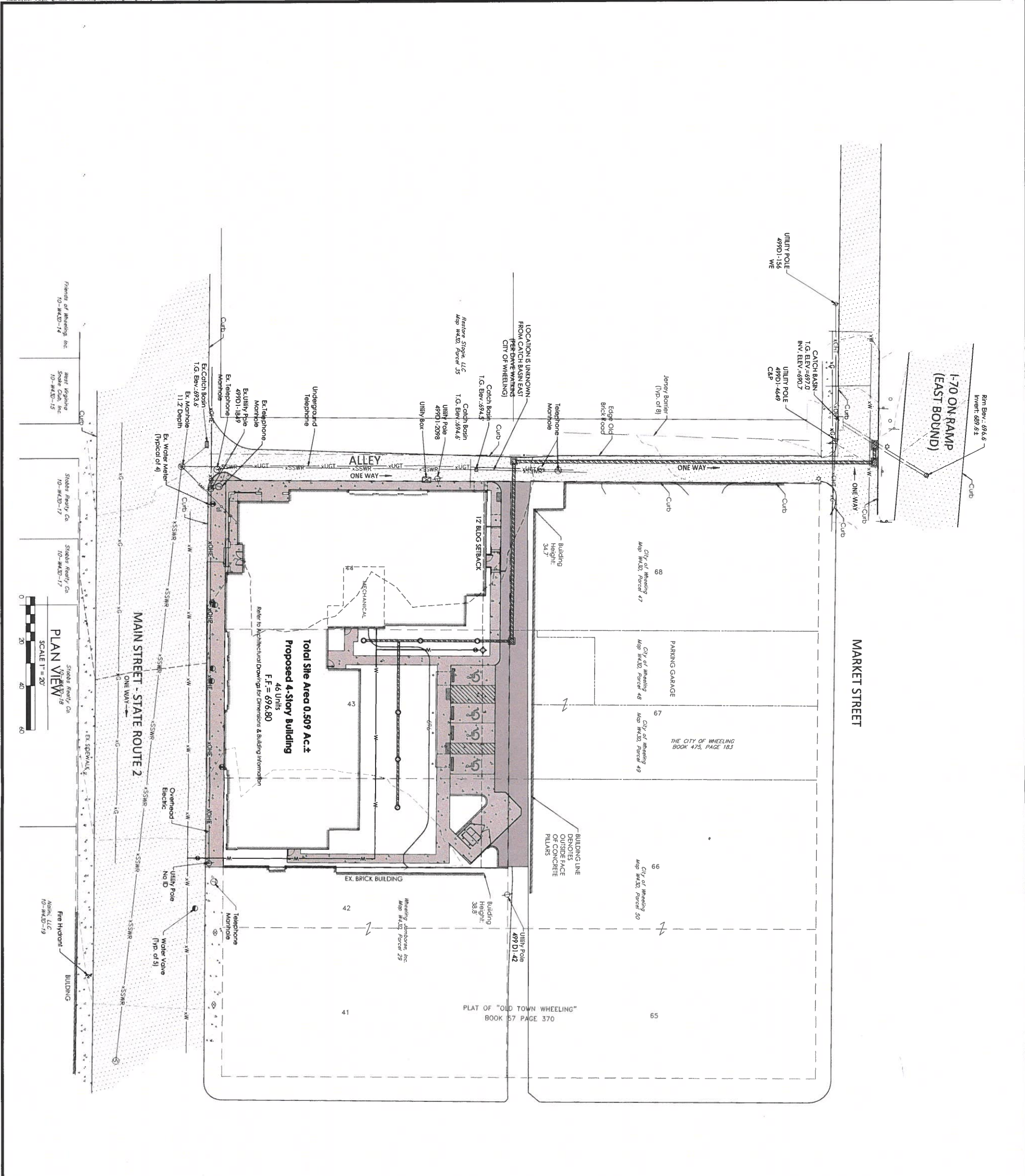
Wheeling Landmarks, Inc Map WA20 Parcel 29

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Wheeling Landmarks, Inc Map WA20 Parcel 29

Wheeling Land





**Legend**

Symbols do not apply to all streets

- Property Boundary Line
- Existing Grade Contour (Index)
- Existing Grade Contour (Intermediate)
- Existing Grade Spot Elevation
- Existing Overhead Electric Line
- Existing Utility Pole
- Existing Light Pole
- Existing Utility Box
- Existing Water Valve
- Existing Water Meter
- Existing Telephone Manhole
- Existing Underground Telephone Line
- Existing Water Line
- Existing Gas Line
- Existing Gas Structure
- Existing Sign
- Existing Ballard
- Existing Manhole
- Existing Catch Basin
- Existing Storm Sewer Pipe
- Existing Concrete Surface
- Existing Asphalt Surface
- Proposed Grade Contour (Index)
- Proposed Grade Contour (Intermediate)
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- Proposed Storm Sewer Pipe
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- Proposed Storm Manhole
- Proposed Storm Catch Basin
- Proposed Concrete Surface
- Proposed Standard Asphalt
- Proposed Heavy Duty Asphalt
- Existing Surface to be removed

**CHADAN ENGINEERING, INC.**

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 chadaneengineering.com

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CLIENT:  
 Wood Cooper Companies  
 Attn: Anna Little  
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 Columbus, OH 43215  
 614.596.3200

DATE ISSUED: March 26, 2021  
 DRAWN: DB  
 CHECKED: CG

ISSUE REVISIONS DATE

SCALE 1" = 20'

**C400**

Site Utility Plan

**GENERAL WATERLINE NOTES:**

Detail above of proposed waterline construction will be submitted to the American Water Company, for approval by the Director, prior to construction, through the building permit process.

PVC or polyethylene waterline shall be installed with a minimum of C900, DR 14 Class 200.

All pipe that is installed shall be bedded with a minimum of 12" above and 6" below the pipe with sand, free of stone and other foreign objects.

Waterline shall be installed with a 4-foot minimum cover unless otherwise approved.

A minimum vertical clearance of 18 inches shall be provided between the proposed waterline and other utilities or structures, unless otherwise noted.

A minimum horizontal clearance of 4 feet shall be provided between the proposed waterline and other utilities or structures unless otherwise approved.

The waterline shall be placed with a minimum of 18 inch horizontal separation from any existing sewers or other waterlines unless otherwise approved. The waterline shall be a minimum of 18 inches above the sewer.

Sewer lines that cross under waterlines with a minimum of 18 inches of clearance. If both the waterline and sewer are installed in the same trench, the sewer line shall be installed on the left side of the trench. If the sewer line crosses over the waterline, the sewer line shall be installed on the right side of the trench. If the sewer line crosses over the waterline, the sewer line shall be installed on the right side of the trench. If the sewer line crosses over the waterline, the sewer line shall be installed on the right side of the trench.

All fittings shall be mechanical joint (MJ), fusion epoxy coated ductile iron, reinforced by the use of magnetic detectable tracer tape shall be installed of 18 inches deep with all PVC pipe.

The contractor will schedule with the City appropriate times for the inspection of lines, fittings and etc. prior to backfilling. Should any work be required without inspection, the contractor will be required to repair the work or remove and replace the work at directed by the inspecting agency.

Excavating man holes shall only be operated by City personnel.

A minimum of 24 hour notice for any interruption by construction that may disrupt water service to existing water customers. The notice shall be made through the City's office.

Changes in grade and alignment to be obtained by deflections of pipe joints shall be no greater than recommended by the manufacturer of the waterline.

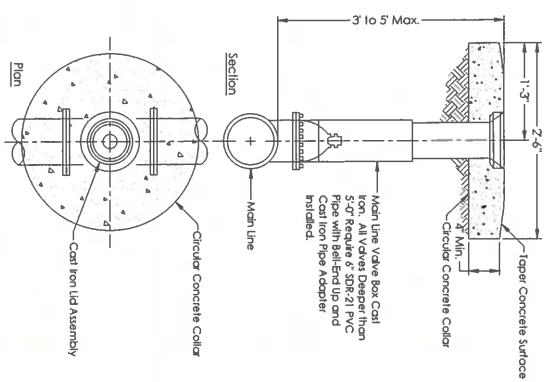
Pressure testing of waterlines shall be in accordance with AWWA C400-87. Testing at 1 1/2 times existing pressure and/or working pressure or minimum of 100 PSI/min. of 200 PSI. Pressure testing shall be done with 2 working weeks once the line is in place.

The contractor will choose the installed waterline of recommended AWWA 451 standard, for a minimum of 24 hours, at 50 P.S.I.

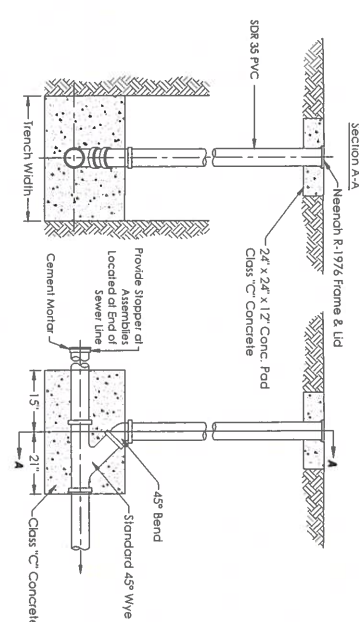
The City will take representative samples of the water in the line, and have an approved laboratory make the bacteriological examinations of the sample to establish the acceptability of that portion of the system prior to any turn on of service to any facility. There will be no exception to this standard.

Location of the proposed building service lines shall be coordinated with the Architect prior to construction or of line of construction.

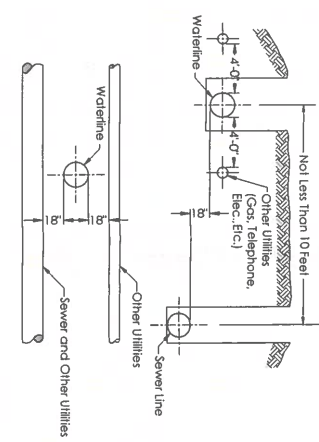
All material and construction shall be in accordance with American Water Company specifications. Contractor is responsible for all work performed for the first year of customer service.



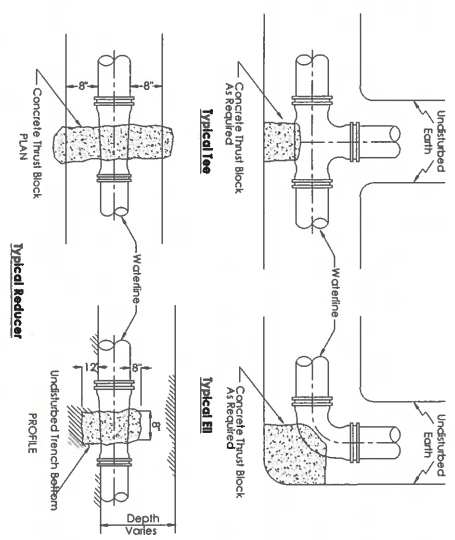
**1 VALVE BOX ASSEMBLY**  
NOT TO SCALE



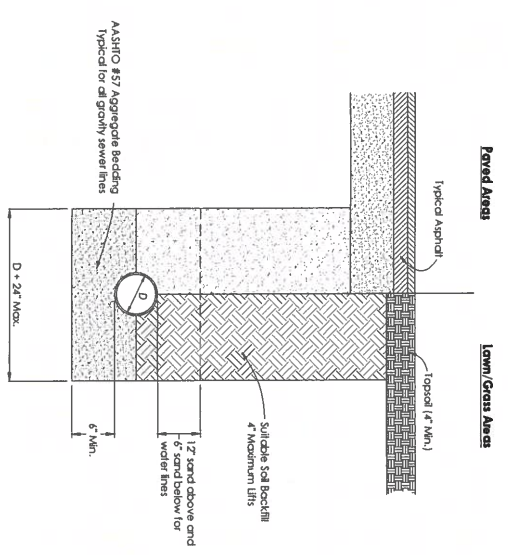
**2 SANITARY CLEAN-OUT**  
NOT TO SCALE



**3 UTILITY SEPARATION**  
NOT TO SCALE



**4 THRUST BLOCKING**  
NOT TO SCALE



**5 UTILITY TRENCH**  
NOT TO SCALE



171 West Main Street  
P.O. Box 695  
St. Clairsville, Ohio 43950  
Office: 740.449.2194  
chadanengineering.com



CLIENT:  
Woda Cooper Companies  
Attn: Anna Ulmer  
500 S. Front Street, 10th Floor  
Columbus, OH 43215  
614.974.3300

**WHEELING MARSH LOFTS**  
Main Street  
City of Wheeling, Ohio County, West Virginia

DATE	REVISIONS	ISSUE

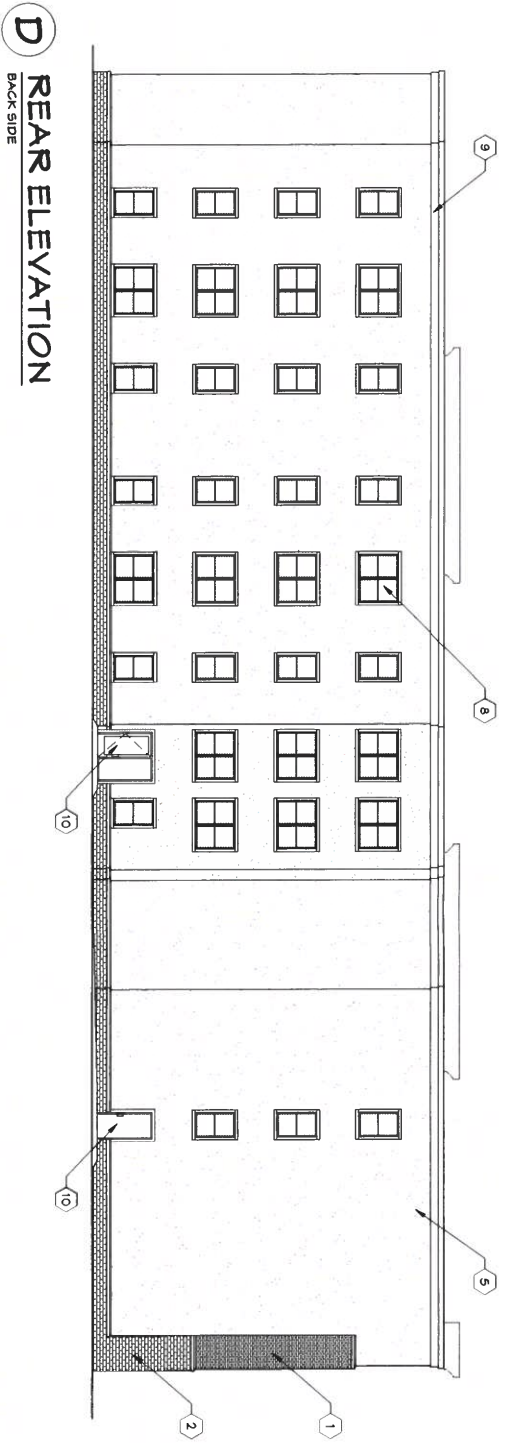
DATE ISSUED: March 26, 2021  
DRAWN: DB  
CHECKED: CG  
NOTES:

Site  
Utility  
Details

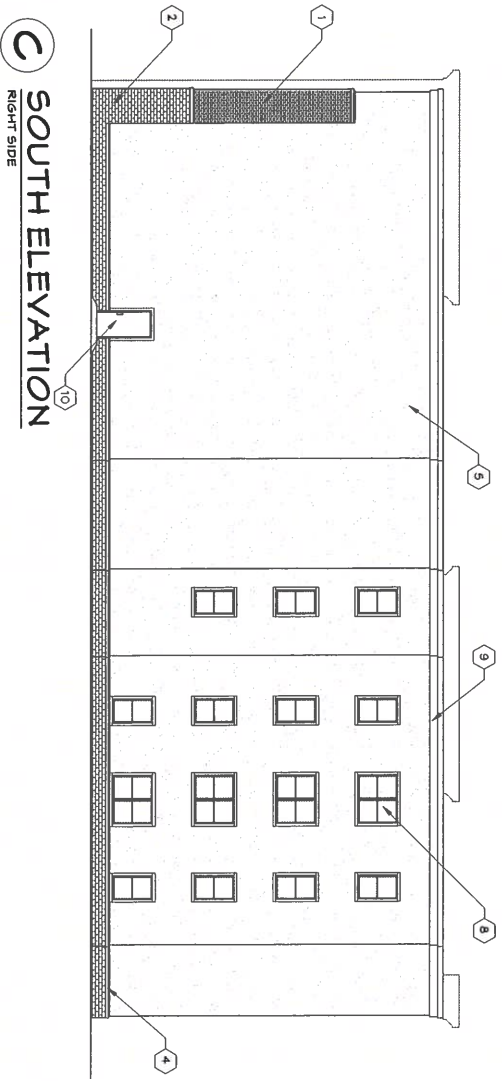
**C401**



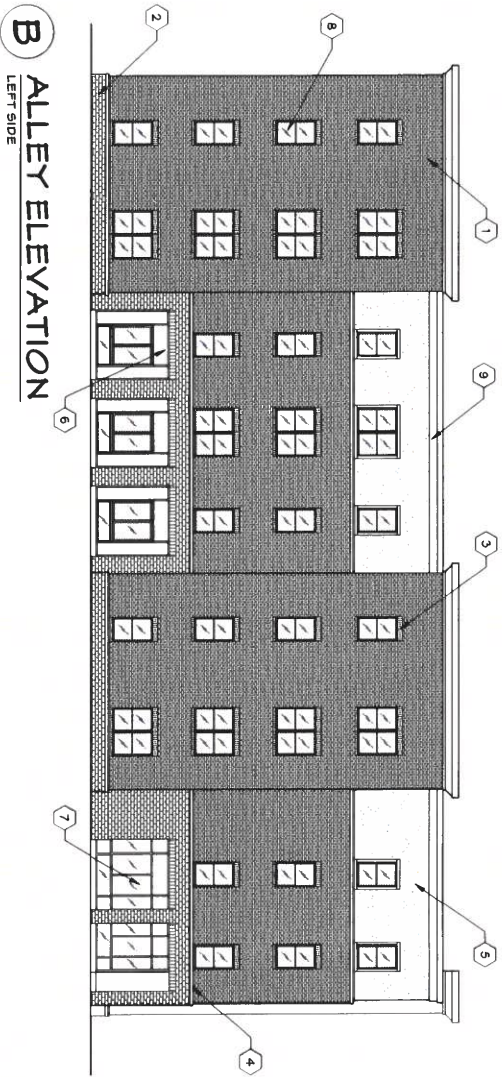




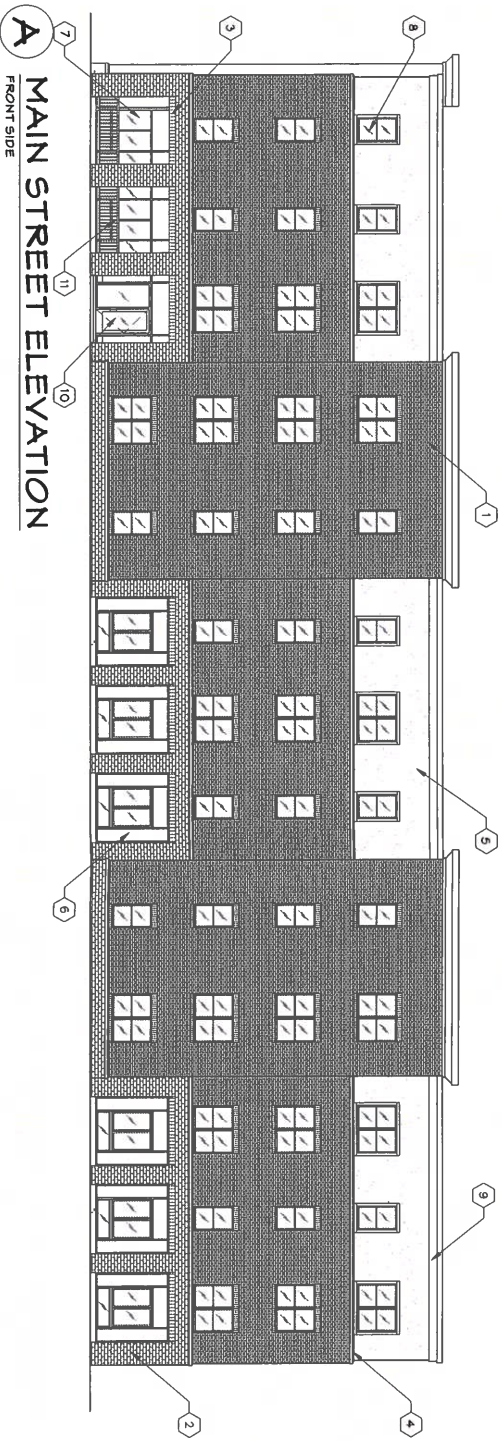
**D**  
REAR ELEVATION  
BACK SIDE



**C**  
SOUTH ELEVATION  
RIGHT SIDE



**B**  
ALLEY ELEVATION  
LEFT SIDE



**A**  
MAIN STREET ELEVATION  
FRONT SIDE

**CODED NOTES**

1. STANDARD FACE BRICK
2. KING SIZE FACE BRICK
3. BRICK SOLDIER COURSE
4. PRE-CAST CONCRETE SILL CAP
5. STUCCO FINISH PANEL
6. FIBER CEMENT TRIM
7. STORE FRONT WITH FIXED GLAZING
8. ENERGY STAR-RATED VINYL WINDOW, REFER TO WINDOW SCHEDULE
9. FIBER CEMENT TRIM TO DOOR SCHEDULE
10. ENERGY STAR-RATED VINYL WINDOW, REFER TO WINDOW SCHEDULE
11. METAL RAILING ALONG ACCESSIBLE WALK

BUILDING EXTERIOR ELEVATIONS

**MARSH WHEELING LOFTS**  
MAIN STREET, WHEELING, WV

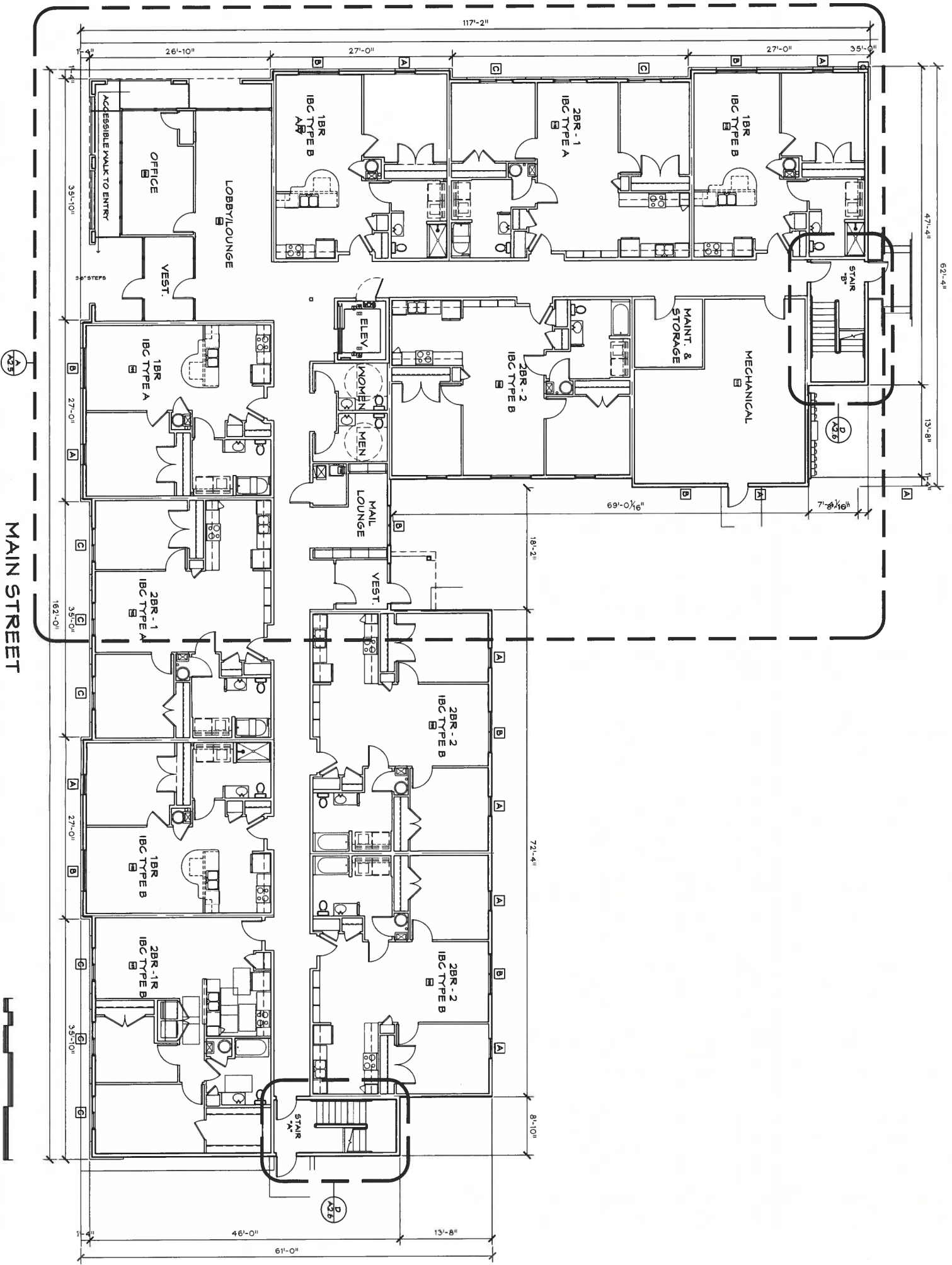
WORKFORCE HOUSING

ISSUE	DATE	REV
SCHEMATIC	12-11-20	
80% SUBMISSION		
100% SUBMISSION		
PERMIT SET		
100% CON. DOCS		

**PCI DESIGN GROUP**

**A4.1**

JOB NUMBER: W00252



FIRST FLOOR BUILDING AREA = 12,447 SF  
 FIRST FLOOR BUILDING HEATED AREA = 12,162 SF  
 TOTAL BUILDING AREA = 49,188 SF  
 TOTAL BUILDING HEATED AREA = 49,503 SF



**GENERAL NOTES**

1. DO NOT SCALE DRAWINGS.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN FIELD. NOTIFY ARCHITECT IF ANY DISCREPANCIES AND PRODUCTS SHALL BE PROVIDED IN STRICT COMPLIANCE WITH THE MANUFACTURER'S INSTRUCTIONS. ARE SCHEMATIC AND NOT INTENDED FOR SCALING. QUANTITIES OR DETAILED CODE COMPLIANCE. EXTERIOR BUILDING DIMENSIONS ARE OUT-TO-OUT FACE OF STUD. DIMENSIONS OF WALLS NOT SHOWN ARE 3/4" STUD.
3. INTERIOR BUILDING AND UNIT DIMENSIONS ARE TO FACE OF STUD.
4. REFER TO A03 SERIES DWGS FOR FIRE-RATED ASSEMBLIES.
5. REFER TO A04 SERIES DWGS FOR FINISH CEILING HEIGHTS.
6. REFER TO DWG SHEETS A5.1 AND A5.2 FOR DOOR AND HARDWARE INFORMATION.
7. REFER TO DWG SHEET A5.3 FOR INTERIOR FINISH SCHEDULE.
8. REFER TO MEIP DWGS FOR RELATED INFORMATION.

**CODED NOTES**

1. ALLOW FOR 2 LAYERS OF GWS AT ALL 2-HOUR RATED WALLS.
2. ACCESSIBLE THRESHOLD WITH MAX 1/2" RISE AT ALL ENTRANCES AND 5% SLOPE ON ALL ACCESSIBLE ROUTES TO BUILDING INTERIOR PANEL.
3. HIGH VISIBILITY SIGNAGE AT EACH BUILDING AND AT EACH UNIT ENTRY DOOR. REFER TO C ON A13 AND A4-SERIES DWGS FOR HANDRAILS ON ONE SIDE OF CORRIDOR.
4. REFER TO MEIP DWGS FOR EQUIPMENT ROOM LAYOUTS.
5. FIBER-REINFORCED CONCRETE SIDEWALK. REFER CIVIL DWGS.
6. FLOOR ACTIVE RADIUM SYSTEM. REFER TO MEIP DWGS.
7. ADA COMPLIANT MAIL BOXES.
8. AIR CONDITIONING CONDENSER UNITS MOUNTED ON ROOF ELECTRICAL METERS. REFER TO ELECTRICAL DWGS.
9. PLUMBING EQUIPMENT. REFER TO PLUMB DWGS.
10. WATER METER. REFER TO PLUMB DWGS TO MEIP DWGS.
11. ROOF ACCESS HATCH AND ACCESS LADDER.
12. 4x8" DOWNSPOUT AND BOOT.
13. REFER TO CIVIL DWGS FOR LOCATION OF DOWNSPOUT.
14. REFER TO MEIP DWGS FOR LOCATION OF DOWNSPOUT.
15. ELEVATION CALL BUTTON.
16. ROOF BELLOWS.
17. OBSERVATION WINDOW.
18. AUTOMATIC DOOR PUSH BUTTON.

**FIRST FLOOR & SITE PLAN**

**MARSH WHEELING LOFTS**

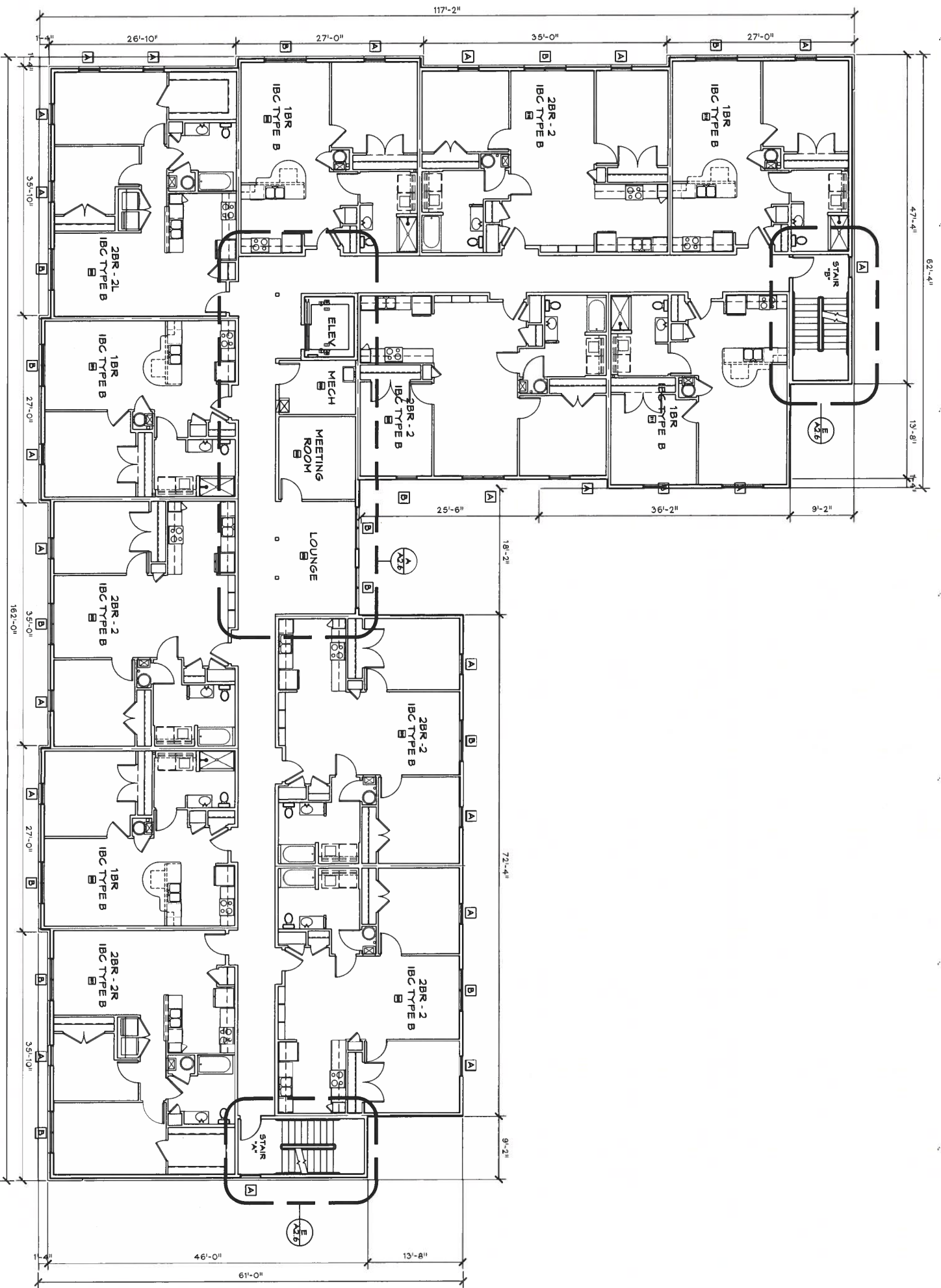
WORKFORCE HOUSING

MAIN STREET, WHEELING, WV

ISSUE	DATE	REV	SHEET NO.
40% REVIEW	02-24-21		
80% REVIEW			
100% REVIEW			
PERMIT SET			
100% CON DOCS			



**A2.1**



SECOND FLOOR BUILDING AREA = 12,447 SF

SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

1. DO NOT SCALE DRAWINGS.
2. ALL WORK SHALL CONFORM WITH GOVERNING CODES.
3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD. NOTIFY ARCHITECT IF ANY DISCREPANCIES ARE FOUND.
4. ALL MATERIALS AND PRODUCTS SHALL BE PROVIDED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S INSTRUCTIONS. ARE SCHEMATIC AND NOT INTENDED FOR SCALING. QUANTITIES OR DETAILED CODE COMPLIANCE EXTERIOR BUILDING DIMENSIONS ARE OUT-TO-OUT FACE OF STUD. DIMENSIONS OF WALLS NOT SHOWN ARE 3/4" STUD INTERIOR BUILDING AND UNIT DIMENSIONS ARE TO FACE OF STUD.
5. REFER TO A2X SERIES DWGS FOR FIRE-RATED ASSEMBLIES AND TO A2Y SERIES DWGS FOR FINISH CEILING HEIGHTS.
6. REFER TO A2Z SERIES DWGS FOR FINISH CEILING HEIGHTS.
7. REFER TO A2A SERIES DWGS FOR INTERIOR FINISH SCHEDULE.
8. REFER TO A2B SERIES DWGS FOR RELATED INFORMATION.

**CODED NOTES**

1. ALLOW FOR 2 LAYERS OF 5/8" AT ALL 2-HOUR RATED WALLS.
2. ACCESSIBLE THRESHOLD WITH MAX 3/4" RISE AT ALL ENTRIES TO BUILDING. MAXIMUM SLOPES OF 2% EACH DIRECTION AT ALL ENTRIES AND 5% RUNNING & 2% CROSS INTERIOR PANEL.
3. KNOX BOX.
4. HIGH VISIBILITY SIGNAGE AT EACH BUILDING AND AT EACH DWG ENTRY DOOR. REFER TO C ON A13 AND A4-SERIES DWGS.
5. HARDWOOD HANDRAILS ON ONE SIDE OF CORRIDOR.
6. REFER TO MEIP DWGS FOR EQUIPMENT ROOM LAYOUTS.
7. REFER TO MEIP DWGS FOR CONCRETE SIDEWALK. REFER ONLY TO MEIP DWGS.
8. PROVIDE ACTIVE RADON SYSTEM. REFER TO MEIP DWGS.
9. ADA COMPLIANT MAIL BOXES.
10. REFER TO MEIP DWGS FOR RADON MONITORING UNITS MOUNTED ON ROOF.
11. REFER TO MEIP DWGS FOR RADON MONITORING UNITS MOUNTED ON ROOF.
12. ELECTRICAL METERS. REFER TO ELECTRICAL DWGS.
13. PLUMBING EQUIPMENT. REFER TO PLUMB DWGS.
14. REFER TO MEIP DWGS FOR MEIP DWGS.
15. 2X6 WALL FOR HEAT PUMP LINES. REFER TO MEIP DWGS.
16. ROOF ACCESS HATCH AND ACCESS LADDER.
17. 4X8 DOWNPOUT AND BOOT.
18. DISCHARGE TO STORM SEWER.
19. ELEVATOR CALL BUTTON.
20. OBSERVATION WINDOW.
21. AUTOMATIC DOOR PUSH BUTTON.
- 22.

**SECOND FLOOR PLAN**

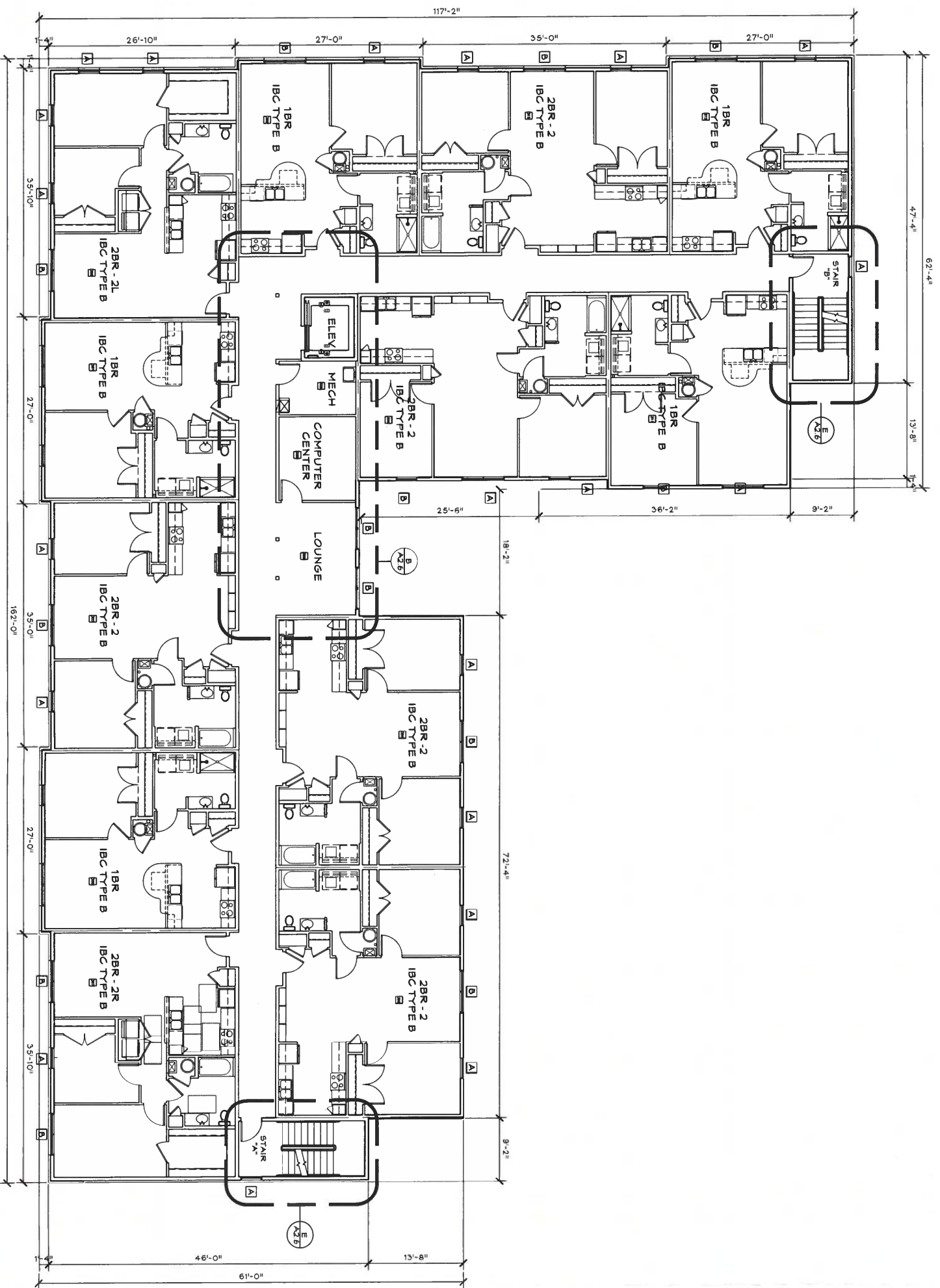
**MARSH WHEELING LOFTS** WORKFORCE HOUSING  
 MAIN STREET, WHEELING, WV

ISSUE	DATE	REV	SHEET NO.
40% REVIEW	02-24-21		
80% REVIEW			
100% REVIEW			
PERMIT SET			
100% CON. DOCS			

**PCI DESIGN GROUP**

**A2.2**

JOB NUMBER: W02522



THIRD FLOOR BUILDING AREA = 12,447 SF

SCALE: 1/8" = 1'-0"

**GENERAL NOTES**

1. DO NOT SCALE DRAWINGS.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN FIELD. NOTIFY ARCHITECT IF ANY DISCREPANCIES OCCUR. PRODUCTS SHALL BE PROVIDED IN STRICT COMPLIANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
3. ALL DRAWINGS ARE SCHEMATIC AND NOT INTENDED FOR CONSTRUCTION. DIMENSIONS AND NOT SHOWN ARE 3/2" STUD WALLS.
4. EXTERIOR BUILDING DIMENSIONS ARE OUT-TO-OUT FACE OF WALLS. DIMENSIONS OF WALLS NOT SHOWN ARE 3/2" STUD WALLS.
5. REFER TO A0-X SERIES DWGS FOR FIRE-RATED ASSEMBLIES AND F.E.C. LOCATIONS.
6. REFER TO DWG SHEETS M6.1 AND M2 FOR DOOR AND HARDWARE INFORMATION.
7. REFER TO DWG SHEET AS.3 FOR INTERIOR FINISH.
8. REFER TO WHP DWGS FOR RELATED INFORMATION.

**CODED NOTES**

1. ALLOW FOR 2 LAYERS #5WB AT ALL 2 HOUR RATED WALLS.
2. ACCEPTABLE THROUGH PENETRATIONS SHALL BE AT EACH DIRECTION AT ALL ENTRIES AND 5% RUNNING & 2% CROSS SLOPE ON ALL ACCESSIBLE ROUTES TO BUILDING.
3. KNICK BOX PANEL.
4. HIGH VISIBILITY SIGNAGE AT EACH BUILDING AND AT EACH UNIT ENTRY DOOR. REFER TO C ON A13 AND A4-SERIES DWGS.
5. HANGGOOD HANDRAILS ON ONE SIDE OF CORRIDOR. REFER TO WHP DWGS FOR EQUIPMENT ROOM LAYOUTS.
6. FIBER REINFORCED CONCRETE SIDEWALK. REFER TO CIVIL DWGS.
7. PROVIDE ACTIVE RADON SYSTEM. REFER TO WHP DWGS.
8. ADA COMPLIANT MAIL BOXES.
9. AIR CONDITIONING CONDENSER UNITS MOUNTED ON ROOF.
10. ELECTRICAL METERS. REFER TO ELECTRICAL DWGS.
11. PLUMBING EQUIPMENT. REFER TO PLUMB DWGS.
12. WATER METER. REFER TO PLSG DWGS.
13. ROOF ACCESS HATCH AND ACCESS LADDER.
14. 4"x6" DOWNSPOUT AND BOOT.
15. REFER TO CIVIL DWGS FOR LOCATION OF DOWNSPOUT.
16. ELEVATOR CALL BUTTON.
17. OBSERVATION WINDOW.
18. ROOF BELLOM.
19. AUTOMATIC DOOR PUSH BUTTON.

ISSUE	DATE	REV
40% REVIEW	02-24-21	
80% REVIEW		
100% REVIEW		
PERMIT SET		
100% CON. DOCS		

**THIRD FLOOR PLAN**

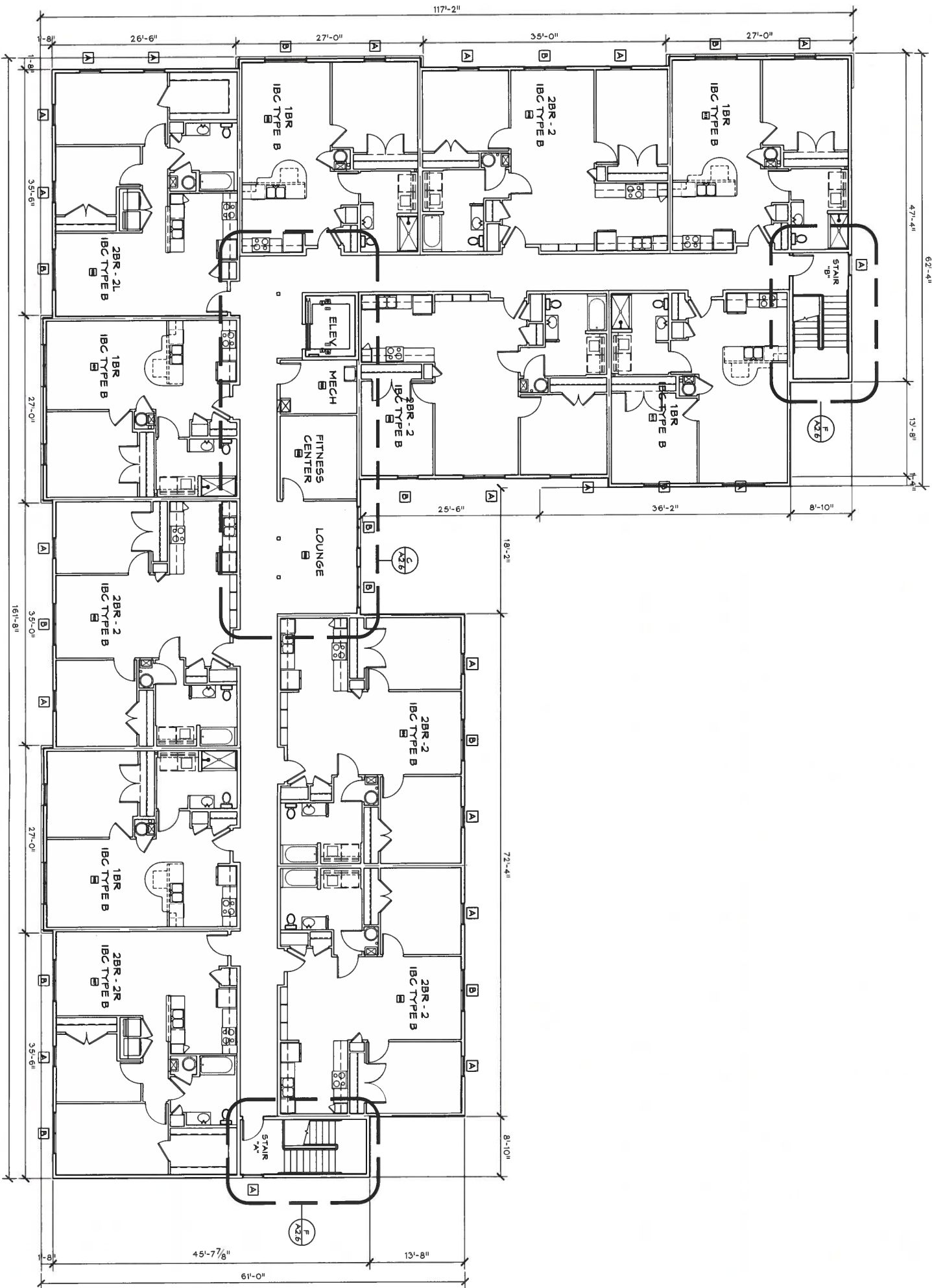
**MARSH WHEELING LOFTS**  
 MAIN STREET, WHEELING, WV

WORKFORCE HOUSING



**A2.3**

JOB NUMBER: W0225



FOURTH FLOOR BUILDING AREA = 12,447 SF

**GENERAL NOTES**

1. DO NOT SCALE DRAWINGS.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN FIELD. NOTIFY ARCHITECT IF ANY DISCREPANCIES OCCUR.
3. DIMENSIONS OF CONDUITS SHALL BE PROVIDED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
4. ALL DRAWINGS ARE SCHEMATIC AND NOT INTENDED FOR CONSTRUCTION. DIMENSIONS OF WALLS AND PARTS OF EXTERIOR BUILDING DIMENSIONS ARE OUT-TO-OUT FACE OF WALLS. DIMENSIONS OF WALLS NOT SHOWN ARE 3/4" STUD WALLS.
5. DIMENSIONS FOR BUILDING AND UNIT DIMENSIONS ARE TO FACE OF STUD.
6. REFER TO A0X SERIES DWGS FOR FINISH CEILING ASSEMBLIES AND F.L.C. LOCATIONS.
7. REFER TO A0X SERIES DWGS FOR FINISH CEILING HEIGHTS.
8. REFER TO DWG SHEETS A0.1 AND A0.2 FOR DOOR AND HARDWARE INFORMATION.
9. REFER TO DWG SHEET A0.3 FOR INTERIOR FINISH INFORMATION.
10. REFER TO DWG SHEET A0.4 FOR RELATED INFORMATION.
11. REFER TO DWG SHEET A0.5 FOR RELATED INFORMATION.
12. REFER TO MEIP DWGS FOR RELATED INFORMATION.

**CODED NOTES**

1. ALLOW FOR 2 LAYERS OF GWB AT ALL 2 HOUR RATED WALLS.
2. ACCESSIBLE THRESHOLD WITH MAX 1/2" RISE AT ALL UNIT ENTRY DOORS AND MAX 1/4" RISE AT ALL SLOPE ON ALL ACCESSIBLE ROUTES TO BUILDING INTERCOM PANEL.
3. MAXIMUM SIGNAGE AT EACH BUILDING AND AT EACH UNIT ENTRY DOOR. REFER TO C ON A1.3 AND A4-SERIES DWGS.
4. WOOD HANDRAILS ON ONE SIDE OF CORRIDOR.
5. REFER TO MEIP DWGS FOR EQUIPMENT ROOM LAYOUTS.
6. FIBER REINFORCED CONCRETE SIDEWALK. REFER TO CIVIL DWGS.
7. REFER TO MEIP DWGS.
8. REFER TO MEIP DWGS.
9. REFER TO MEIP DWGS.
10. AIR CONDITIONING CONDENSER UNITS MOUNTED ON ROOF.
11. REFER TO MEIP DWGS.
12. REFER TO MEIP DWGS.
13. REFER TO MEIP DWGS.
14. WATER METER. REFER TO PLB6 DWGS.
15. 2X6 WALL FOR HEAT PUMP LINES. REFER TO MEIP DWGS.
16. REFER TO MEIP DWGS.
17. REFER TO CIVIL DWGS FOR LOCATION OF DOWNPOUT DISCHARGE TO STORM SEWER.
18. REFER TO MEIP DWGS FOR LOCATION OF DOWNPOUT DISCHARGE TO STORM SEWER.
19. OBSERVATION WINDOW.
20. ROOF BELOW.
21. ROOF BELOW.
22. AUTOMATIC DOOR PUSH BUTTON.

**FOURTH FLOOR PLAN**

**MARSH WHEELING LOFTS**

WORKFORCE HOUSING

MAIN STREET, WHEELING, WV

ISSUE	DATE	REV
40% REVIEW	02-24-21	
80% REVIEW		
100% REVIEW		
PERMIT SET		
100% CON. DOCS		

**PSI DESIGN GROUP**

**A2.4**

SHEET NO.

JOB NUMBER: W02522