



CITY OF WHEELING PLANNING COMMISSION

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STAFF REPORT

PROPERTY LOCATION: 2198 National Road

NATURE OF REQUEST: Special Use Permit

APPLICANT: The Perry Galloway Junior Foundation (PEGA)

BACKGROUND & ANALYSIS:

The Perry Galloway Junior Foundation (PEGA) is requesting permission to operate a “community center” at 2198 National Road. The applicant intends to provide a positive social environment for the youth and young adults in the community. The center will operate from Monday to Saturday from 10 am to 9 pm. Activities outlined in the correspondence include gaming, computing, educational workshops and mentoring. The correspondence to the Commission outlines additional information.

The property is zoned C-2 General Commercial. The list of special permit uses in the C-2 zone includes the special permit uses in the C-1 Zone, of which a “community center” is listed. (§1339.03. c.1). The definition of “community center” under Article 1327 Definitions, is a “building used for recreational, social, educational, health, cultural, or other similar activities. Services within the facility may be offered by one or more public or nonprofit entities and are offered at nominal or no cost”.

Special Use Permits are deemed to be permitted uses, subject to the satisfaction of the conditions and general standards set forth in Article 1371 of the Zoning Ordinance. There are no specific standards outlined for community centers.

A parking variance to reduce the required parking from 16 to 0 is on the June 17, 2021 Board of Zoning Appeals agenda.

STAFF RECOMMENDATION:

Staff recommends approval of the Special Use Permit based on the proposed use’s consistency with the definition of a community center outlined in the zoning ordinance.

ATTACHMENTS:

- Application for Zoning Compliance
- Application for Special Use Permit
- Letter to the Commission
- Photo
- Zoning Ordinance:
 - Section 1327.02 Definition
 - Section 1371.06 Special Use Permit “General Standards”

COMMISSION MEMBERS

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STAFF: THOMAS CONNELLY, AICP



APPLICATION FOR CERTIFICATE OF ZONING COMPLIANCE FOR THE USE, ERECTION, ALTERATION, OR REPAIR OF A BUILDING OR LAND

The undersigned applies for a Certificate of Zoning Compliance for the following, said certificate is to be issued on the basis of the information contained within the application. *The applicant hereby certifies that all information and attachments are true and correct.*

- 1. Address of Property: 2198 national rd wheeling wv 26003
- 2. Name of Property Owner: PeGa Foundation, inc
- 3. Name of Applicant: Charaun Goodwin
- 4. Address of Applicant: 110 Atkinson Ave wheeling
- 5. Applicant Phone: 3047803134 Owner Phone: 3047803134
- 6. Existing Use: Vacant
- 7. Proposed Use: Same Other (describe): Community center
- 8. Number of off-street parking spaces to be provided: 20
- 9. Number of off-street loading berths to be provided: 1

COMPLETE THIS SECTION BELOW FOR THE ERECTION, ALTERATION, OR ADDITION OF A STRUCTURE

Type of Improvement:

- New Building
- Addition
- Alteration / Repair

Residential:

Number of existing dwelling units: _____

Number of proposed dwelling units: _____

Existing Lot Dimensions: Width: _____ ft. x Depth: _____ ft. = lot area: 1860 sq. ft.

Existing Principal Building:

Dimensions: Width: _____ ft. x Depth: _____ ft. = Total first floor area, including covered porches: 1860 sq. ft.

Setbacks: Front: _____ ft. Rear: _____ ft. Side: _____ ft. Other Side: _____ ft. Height/Stories: _____

Existing Accessory Building: (garage, carport, shed, pool, etc):

Dimensions: Width: _____ ft. x Depth: _____ ft. = Total first floor area, including covered porches: N/A sq. ft.

Setbacks: Front: _____ ft. Rear: _____ ft. Side: _____ ft. Other Side: _____ ft. Height/Stories: _____

Proposed Construction:

Dimensions: Width: _____ ft. x Depth: _____ ft. = Total first floor area, including covered porches: 1860 sq. ft.

Setbacks: Front: _____ ft. Rear: _____ ft. Side: _____ ft. Other Side: _____ ft. Height/Stories: _____

Applicant Signature: [Signature] Date: 5/24/2021

Owner Signature: [Signature] Date: 5/24/2021

Reset Form

Print Form

**APPLICATION FOR SPECIAL USE
PLANNING COMMISSION**

The undersigned requests a Special Use Permit for the use specified below. Should this application be approved, it is understood that it shall only authorize that particular use described in this application and any conditions or safeguards required by the Commission.

1. Name of Applicant: The Perry Galloway Jr Foundation

Mailing Address: 110 Atkinson Ave wheeling, WV 26003

Phone: (304) 780-3134 Email Cj@pegafoundation.org

2. Location Description: Brick building in strip mall on
nation road

Address: 2198 national rd wheeling WV 26003

Legal Description: _____

3. Existing Use: Vacant

4. Property Presently Zoned: Commerical

5. Description of Special Use: Community center


a. Attach a vicinity map showing the property and plans for building, parking, traffic, etc.

b. Attach a narrative outlining the request and explain potential effects on adjacent property.

6. \$50.00 Application Fee Payable to the City of Wheeling

7. Signature of Applicant

Date

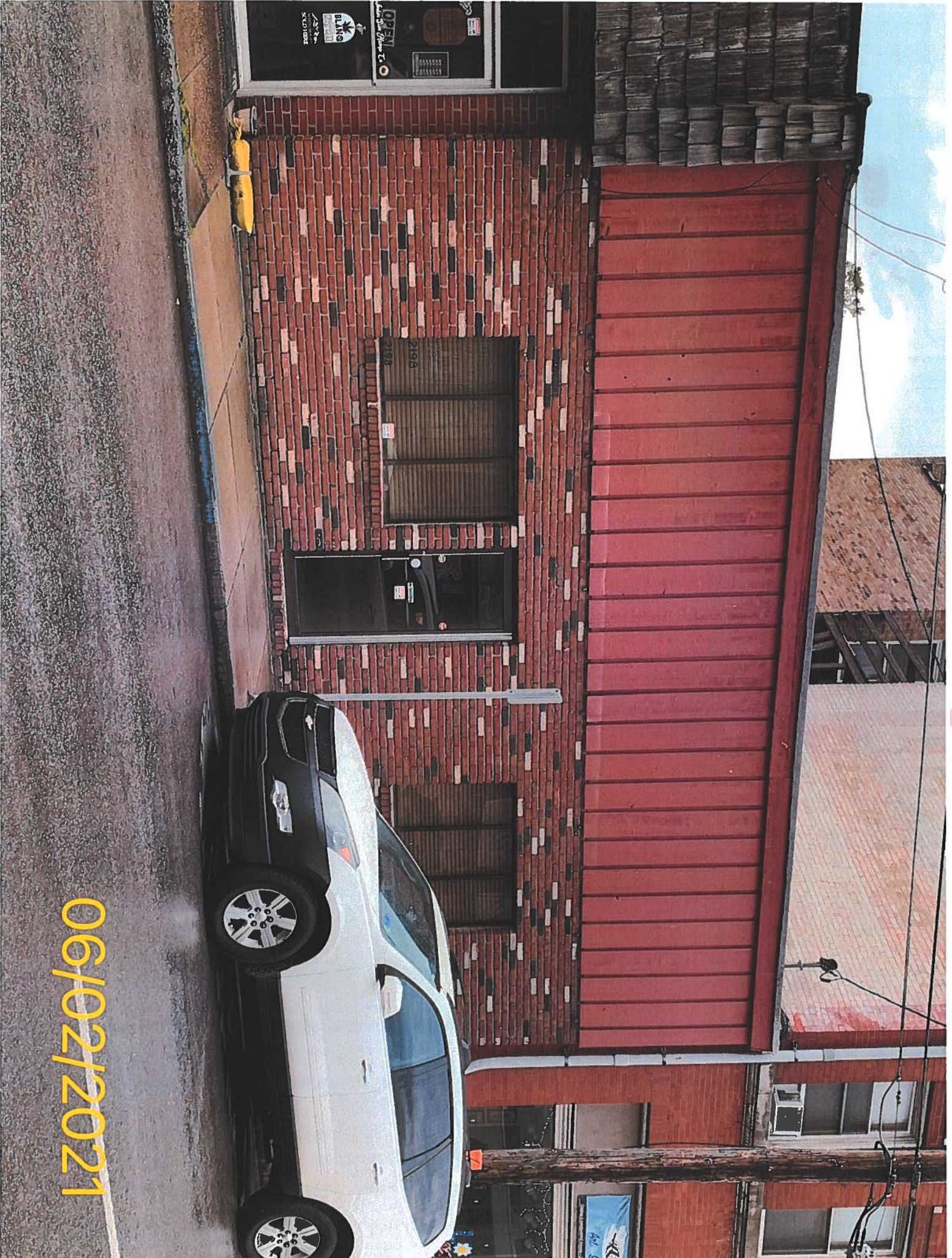


5/18/2021

Level Up Gaming And Coding Center
Powered by The PeGa Foundation

We provide a positive social environment for the youth and young adults within our community by creating a safe space for gaming and computing. We also offer virtual and hands-on educational workshops with a focus on various tech, business, and finance-related themes to enhance opportunities for success through direct mentorship.

While only needing 2 employees total along with a general manager, this community center should be well staffed for its 10am to 9pm hours Monday through Saturday. As we work closely with Wesbanco and Spic and Span directly across the street from our location we are in the process of reaching an agreement with the two companies to utilize some of their parking spaces. We should only need no more than 10 parking spaces at any given time for most of our target market we're estimating will be dropped off by a guardian.



06/02/2021

Combined sewer. A sewerage system that carries both sanitary sewage and stormwater runoff.

Commercial greenhouse. A structure and the land surrounding it in and on which plants, vegetables, flowers, and similar materials are grown for sale or are sold. Such land and greenhouses are also known as nurseries.

Commercial vehicle. Any motor vehicle licensed as a commercial vehicle.

Community center. A building or structure used for recreational, social, educational, health, cultural, or other similar activities. Services within the facility may be offered by one or more public or nonprofit entities and are offered at nominal or no cost.

Complete application. An application form completed as specified by ordinance and the rules and regulations of the municipal agency and all accompanying documents required by ordinance for approval of the application. The application shall be certified as complete as soon as all requirements specified in the ordinance and rules and regulations have been met. On the day the application is so certified by the administrative officer, the time period for action by the municipal agency shall begin.

Community residences or shelters. See Group home.

Concept plan. See Plat, sketch. (Ord. 12225. Passed 4-17-01.)

Conditional use. A use which because of special requirements or characteristics may be permitted on a particular property only after review by the Board of Zoning Appeals (BZA) and upon issuance of a conditional use permit, and subject to the limitations and conditions specified in the Zoning Ordinance. (Ord. 13705. Passed 11-18-08.)

Condominium. A building, or group of buildings, in which dwelling units are owned individually, and the structure, common areas, and facilities are owned by all the owners on a proportional, undivided basis. There shall be an association of owners organized for the purposes of maintaining, administering, and operating the common areas and facilities. Condominium is a legal form of real property ownership and not a building style. The purchaser shall have title to his or her dwelling unit and an undivided interest in parts of the interior of the building, the exterior, and other common elements. The property shall be identified in a master deed and recorded on a plat with the County Clerk. The common elements shall comprise the land underneath and surrounding the building, certain improvements on the land, and such items as plumbing, wiring, and major utility systems, the interior areas between the walls, the public interior spaces, exterior walls, streets, and recreational facilities. Condominiums may be used for residential and non-residential uses.

Consolidation. The removal of lot lines between contiguous parcels.

Construction. The act of adding to, altering, or extending an existing structure or the erection of a new principal or accessory structure on real property.

Conversion. A change in the use of land or a structure.

§1371.06 General Standards as Basis of Review

The Planning Commission shall approve an application for a special use permit, subject to such reasonable conditions and restrictions as are directly related to and incidental to the proposed special use permit, if it finds that the following general standards have been met:

- 1) The proposed use is compatible with the goals of the adopted comprehensive plan.
- 2) The proposed use shall be in harmony with the appropriate and orderly development of the district, taking into consideration the location and size of the use, the nature and intensity of the operations involved in or conducted in connection with such use, the size of the site in relation to the use, the assembly of persons in connection with the use, and the location of the site with respect to streets giving access to the site.
- 3) The proposed site development shall be such that the use will not hinder or discourage the appropriate development and use of adjacent land and buildings, taking into consideration the location, nature, and height of buildings, the location, nature, and height of walls and fences, and the nature and extent of landscaping on the site.
- 4) Neighborhood character and surrounding property values shall be reasonably safeguarded.
- 5) Operations in connection with the use shall not be offensive, dangerous, destructive of property values and basic environmental characteristics, or detrimental to the public interest of the city. They shall not be more objectionable to nearby properties by reason of fumes, noise, vibration, flashing of or glare from lights, and similar nuisance conditions than the operations of any permitted use not requiring a special use permit in the district.
- 6) Parking areas shall be of adequate size for the particular use, properly located, and suitably screened at all seasons of the year from adjoining residential lots and streets or roadways. Adequate provision for safe and accessible off-street parking and loading spaces shall be provided to prevent the parking in public streets of the vehicles of persons associated with or visiting the use.
- 7) The entrance and exit drives shall be laid out so as to achieve maximum safety and efficiency. The traffic access ways shall be adequate but not excessive in number, adequate in width, grade, alignment and visibility, and sufficiently separated from street intersections and places of public assembly and meet safety considerations.
- 8) The use shall not cause undue traffic congestion or create a traffic hazard.
- 9) The general landscaping of the site shall be in character with that generally prevailing in the neighborhood. Such landscaping shall include the preservation of existing trees to the extent practicable.
- 10) The use shall be appropriately located with respect to transportation facilities, water supply, fire and police protection, waste disposal, and similar facilities and services. All proposed buildings, structures, equipment and/or material shall be readily accessible for fire and police protection.
- 11) The character and appearance of the proposed use, buildings, structures, and/or outdoor signs shall be in general harmony with the character and appearance of the surrounding neighborhood.
- 12) The use shall meet the prescribed area and bulk requirements for the district in which located or as further specified in the supplementary regulations, including such matters as minimum setback, maximum height, required off-street parking, and sign regulations.
- 13) The level of services required to support the proposed activity or use is or will be available to meet the needs of the proposed activity or use. This consideration shall include the suitability of water supply and sanitary sewage facilities, whether private or publicly provided, to accommodate the intended use.
- 14) The use shall be carried out in a manner compatible with its environmental setting and with due consideration to the protection of natural resources.
- 15) The proposed use conforms in all respects to all the regulations of this chapter and particularly to the specific supplementary regulations that may apply to such use.
- 16) The proposed use has no adverse effect on the public health, safety, and welfare.