



# CITY OF WHEELING PLANNING COMMISSION

[www.WheelingWV.gov](http://www.WheelingWV.gov)

## STAFF REPORT

PROPERTY LOCATION: 99 Main Street  
NATURE OF REQUEST: Site Plan Review  
APPLICANT: Wheeling Housing Authority

### BACKGROUND & ANALYSIS:

Dennis Madama, architect on behalf of Wheeling Housing Authority is seeking site plan approval for the construction of a community and maintenance building to serve the North Wheeling Hope VI neighborhood on property at 99 Main Street. This property has been vacant following a fire that destroyed the previous building. The proposed use is permitted in the C-2 General Commercial zoning district. This application requires a site plan review by the Planning Commission because the proposed development exceeds 4,000 square feet. The proposed structure is 4,700 square feet.

The proposed single-story building will sit on a 20,000 +/- square foot lot and measure approximately 42' x 112' and provide 9 parking spaces., including 1 ADA compliant space. The building has been designed to complement the neighborhood. Access to the building will be from within the Hope VI neighborhood or along Main Street. Entrances to the parking lot will be from an existing curb cut along Main Street. An enclosed dumpster is also being proposed at the rear of the site. A site plan review checklist has been provided. If approved, construction is anticipated to begin in July.

A variance to reduce the side yard setback from 5' to 0' is being requested in order to fully redevelop the existing parking.

### STAFF RECOMMENDATION:

The staff recommends approval of the site plan.

### ATTACHMENTS:

Application for Zoning Compliance  
Site Plan Review Checklist  
Correspondence  
Site Photo  
Rendering  
Drawings

### COMMISSION MEMBERS

MARTHA WRIGHT, CHAIR · JEREMY WEST, VICE CHAIR · THOMAS CONNER · RUSTY JEBBIA  
JAMES J. MAUCK · HOWARD MONROE · DAVE PALMER · CHRISTINA SCHESSLER · WILLIAM SCHWARZ

STAFF: THOMAS CONNELLY, AICP



APPLICATION FOR CERTIFICATE OF ZONING COMPLIANCE FOR THE USE, ERECTION, ALTERATION, OR REPAIR OF A BUILDING OR LAND

The undersigned applies for a Certificate of Zoning Compliance for the following, said certificate is to be issued on the basis of the information contained within the application. The applicant hereby certifies that all information and attachments are true and correct.

- 1. Address of Property: 99 Main St.
2. Name of Property Owner: City of Wheeling Housing Authority
3. Name of Applicant: Dennis M. Madama
4. Address of Applicant: 57 14th Street, Wheeling Wv.
5. Applicant Phone: 304-232-4123 Owner Phone: 410-242-4447
6. Existing Use: Open Site.
7. Proposed Use: Other (describe): Community/Maint. Bldg. for North Wheeling Apt. Community.
8. Number of off-street parking spaces to be provided: nine (9)
9. Number of off-street loading berths to be provided: 0

COMPLETE THIS SECTION BELOW FOR THE ERECTION, ALTERATION, OR ADDITION OF A STRUCTURE

Type of Improvement:

- New Building
Addition
Alteration / Repair

Residential:

Number of existing dwelling units: 0
Number of proposed dwelling units: 0

Existing Lot Dimensions: Width: 133 ft. x Depth: 150 ft. = lot area: 19,950 sq. ft.

Existing Principal Building:

Dimensions: Width: ft. x Depth: ft. = Total first floor area, including covered porches: sq. ft.
Setbacks: Front: ft. Rear: ft. Side: ft. Other Side: ft. Height/Stories:

Existing Accessory Building: (garage, carport, shed, pool, etc):

Dimensions: Width: ft. x Depth: ft. = Total first floor area, including covered porches: sq. ft.
Setbacks: Front: ft. Rear: ft. Side: ft. Other Side: ft. Height/Stories:

Proposed Construction:

Dimensions: Width: 112 ft. x Depth: 42 ft. = Total first floor area, including covered porches: 4,700 sq. ft.
Setbacks: Front: 10 ft. Rear: 25 ft. Side: 44.5 ft. Other Side: 48.5 ft. Height/Stories: 18

Applicant Signature: [Signature] Date: 5.24.21
Owner Signature: [Signature] Date: 5/24/21

Reset Form

Print Form

Rev: 01/27/2015

## Site Plan Review Checklist

### 1. Legal Data:

- property owners within 100'
- existing zoning and special district boundaries
- boundaries of property, setback lines, existing streets and adjoining lots, reservations, easements, and areas dedicated to public use

### 2. General Project Site Description:

- map showing entire property, adjacent property and streets at convenient scale
- approximate location and dimension of all existing and proposed structures on adjacent properties and within 100' of site boundary
- name & address of applicant, planners, engineers, architects working on project

### 3. Preliminary & Final Plans:

- location map: show all roads within 200' of the site.

existing conditions:

- buildings
- water bodies & floodplains
- wooded area, existing vegetative cover and other significant features

development data:

- title, date, north point, scale
- owner information
- project engineer
- vehicular / pedestrian access and circulation
- elevations, building height, floor plans
- walkways & fire lanes
- location of waterlines, valves, hydrants, sewer lines
- location and direction of outdoor lighting within the site and at the boundary if adjacent to residential development.
- grading and drainage
- landscaping plan
- cut and fill of disturbed areas (before and after profiles), E&SC Plan, location of sediment sink / setting pond and interceptor swales
- storm water drainage system / computations
- location, size, color illumination of signage
- drains, culverts, walls, and fences
- outdoor storage location
- detailed breakdown of proposed floor space by use
- location and design of energy distribution facilities: electric, gas, solar
- lines and dimensions of property to be dedicated public
- construction schedule
- record of application of necessary permits from federal, state or county
- copies submitted on media 24" x 36", 11" x 17", and digital copy

### 4. Additional Submissions (special conditions may require additional information)

### 5. Amendments

Changes / modifications to the approved plans require review by Planning Administrator to determine if an amended site plan review by the Planning Commission is required.



*Shaeffer & Madama, Inc.*  
57 Fourteenth Street  
Wheeling, WV 26003  
304.232.4123  
dennis@shaeffer-madama.com

May 25, 2021

City of Wheeling  
Planning & Zoning Commission  
1500 Chapline Street, Room 305  
Wheeling, WV 26003

RE: APPLICATION FOR VARIANCE  
COMMUNITY CENTER / MAINTENANCE BUILDING  
Wheeling Housing Authority  
99 Main Street  
Wheeling, WV 26003

Dear Commission Members:

Wheeling Housing Authority is proposing to construct a 4700 square foot new community center / maintenance building at their site located at 99 Main Street in North Wheeling. This is the former site of Sacred Heart Catholic Church.

The following variance is being requested:

- a. Reduce side yard parking from 5-feet to 0-feet.

Thank you for your consideration.

Sincerely,

A handwritten signature in black ink, appearing to read 'Dennis M. Madama', with a long horizontal flourish extending to the right.

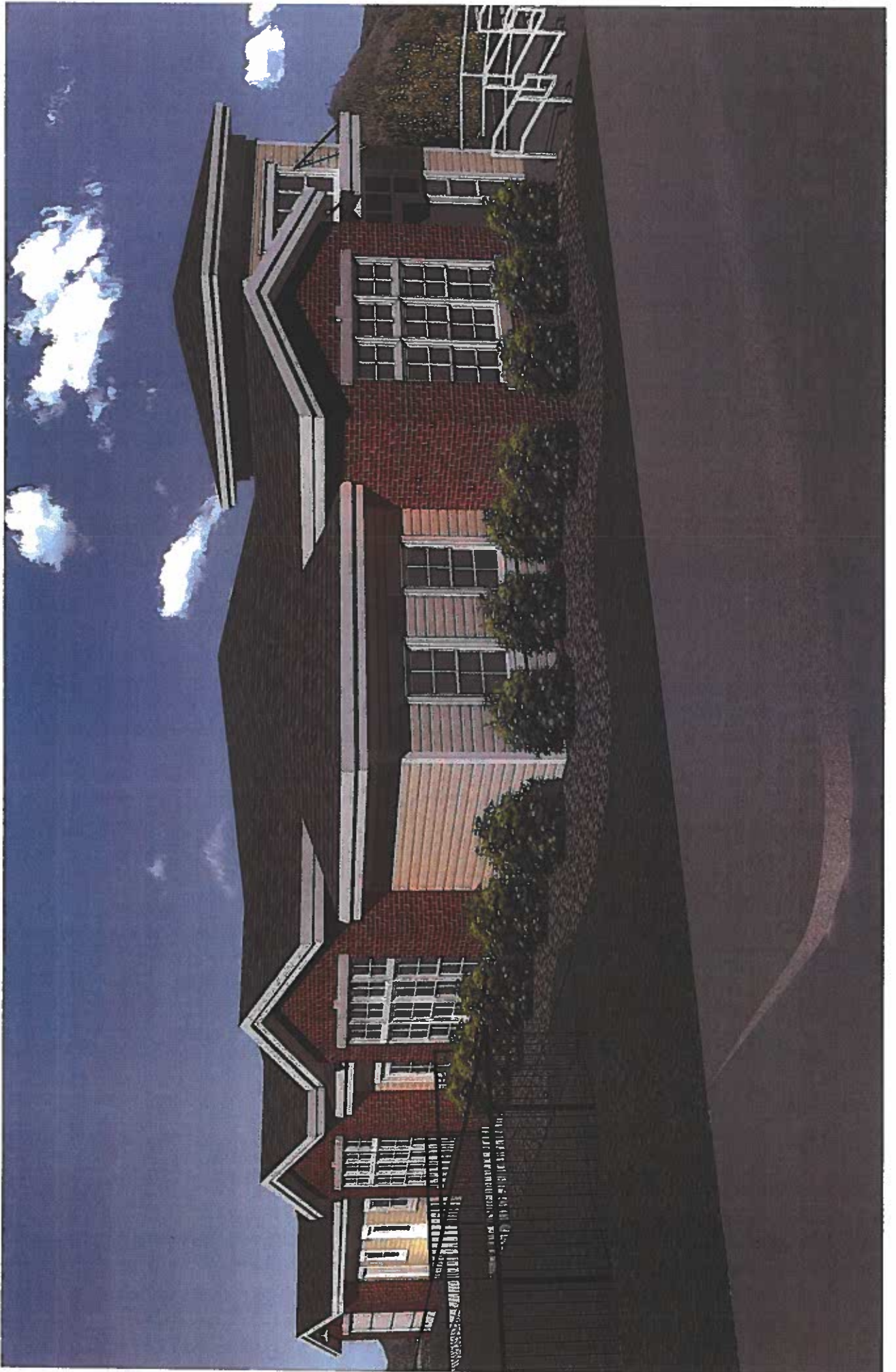
Dennis M. Madama, AIA

DMM/sb  
Enclosures (4)



06/03/2021





# SACRED HEART COMMUNITY CENTER

99 MAIN STREET, WHEELING, WV 26003



## OWNER

WHEELING HOUSING AUTHORITY  
11 COMMUNITY STREET  
WHEELING, WV 26003

COMMISSION NO. 1920  
MARCH 2021

## SCHEDULE OF DRAWINGS

ARCHITECTURAL DRAWINGS	STRUCTURAL DRAWINGS	M/E/P DRAWINGS
SP1 SITE LOCATION PLAN, EXISTING SITE PLAN	S0 STRUCTURAL GENERAL NOTES	SU1 SITE UTILITY PLAN, NOTES & DETAILS
SP2 SITE DEMOLITION PLAN	S1 FOUNDATION / SLAB-ON-GRADE & ROOF FRAMING PLANS	PO PLUMBING NOTES, SYMBOLS, DETAILS AND SCHEDULES
SP3 SITE PLAN AND DETAILS	S2 FOUNDATION SCHEDULES, TYPICAL DETAILS & SECTIONS	P1 PLUMBING PLANS AND ISOMETRICS
SP4 GRADING PLAN, ELEVATIONS AND SECTIONS	S3 ROOF FRAMING SECTIONS	HO HVAC NOTES, SYMBOLS, DETAILS AND SCHEDULES
SP5 ENLARGED SITE PLANS, SECTIONS AND DETAILS	S4 WOOD FRAMING SCHEDULES AND TYPICAL DETAILS	H1 HVAC PLANS AND DETAILS
SP6 ENLARGED SITE PLANS, SECTIONS AND DETAILS		EO ELECTRICAL SYMBOLS, NOTES, ABBREVIATIONS, DIAGRAMS, CALCULATIONS
A1 FOUNDATION PLAN, FLOOR PLAN AND DETAILS		E1 POWER AND LIGHTING PLANS
A2 ROOF PLANS AND DETAILS		
A3 EXTERIOR ELEVATIONS, WINDOW AND DOOR ELEVATIONS		
A4 BUILDING SECTIONS		
A5 WALL SECTIONS AND DETAILS		
A6 DOOR SCHEDULE, DOOR AND WINDOW DETAILS		
A7 ROOM FINISH SCHEDULE, INTERIOR ELEVATIONS, SECTIONS AND DETAILS		
A8 REFLECTED CEILING PLAN REFLECTED SFFRT PLAN		

## ARCHITECT



SHAFFLER & MADAMIA  
57 14TH STREET  
WHEELING, WV 26003

## M/E/P ENGINEERS

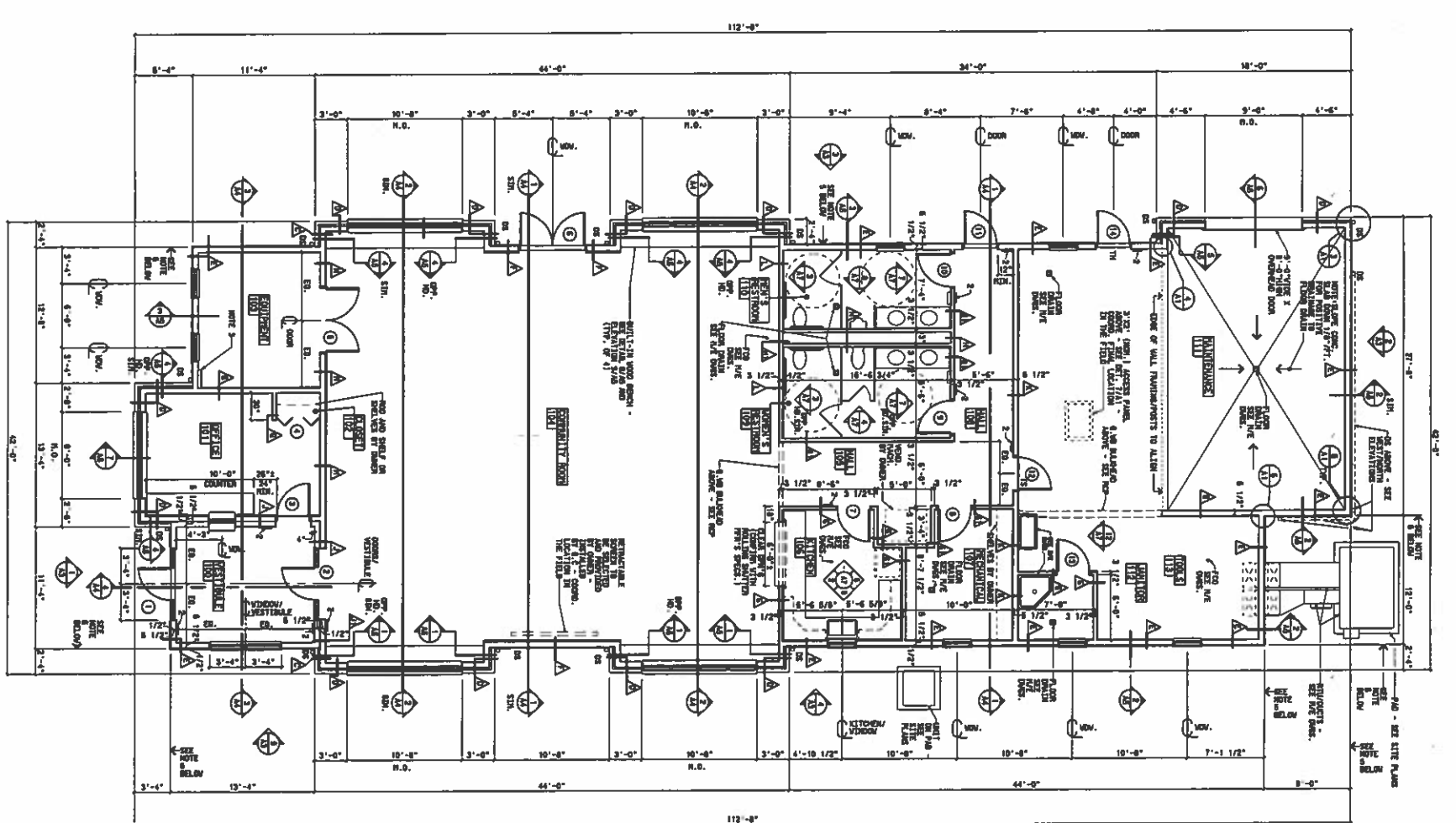
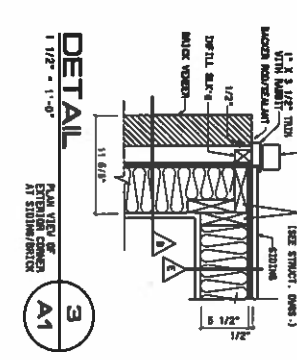
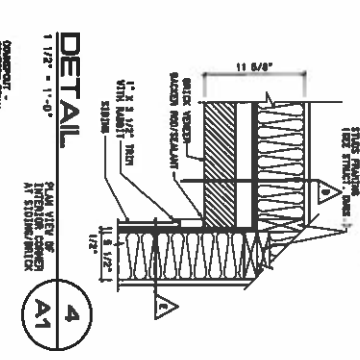
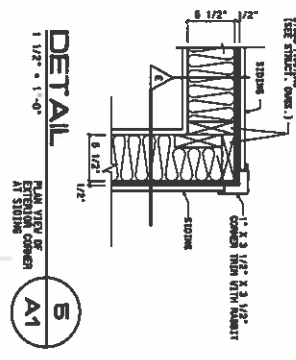
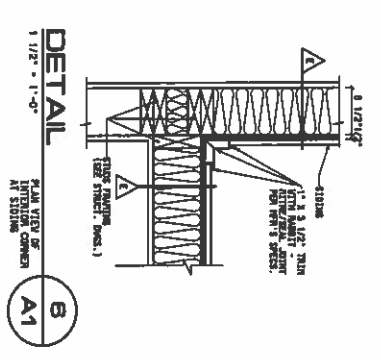
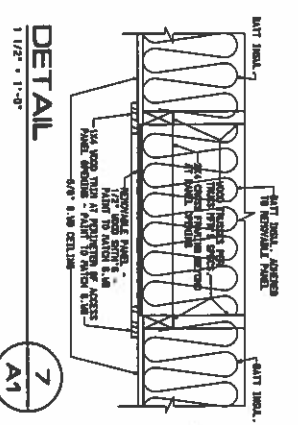
CENKNER ENGINEERING  
ASSOCIATES, INC.  
1314 FOURTH AVENUE  
CORAOPLIS, PA 15108

## STRUCTURAL ENGINEERS

WBCM  
600 BURSCA DRIVE  
SUITE 609  
BRIDGEVILLE, PA 15017



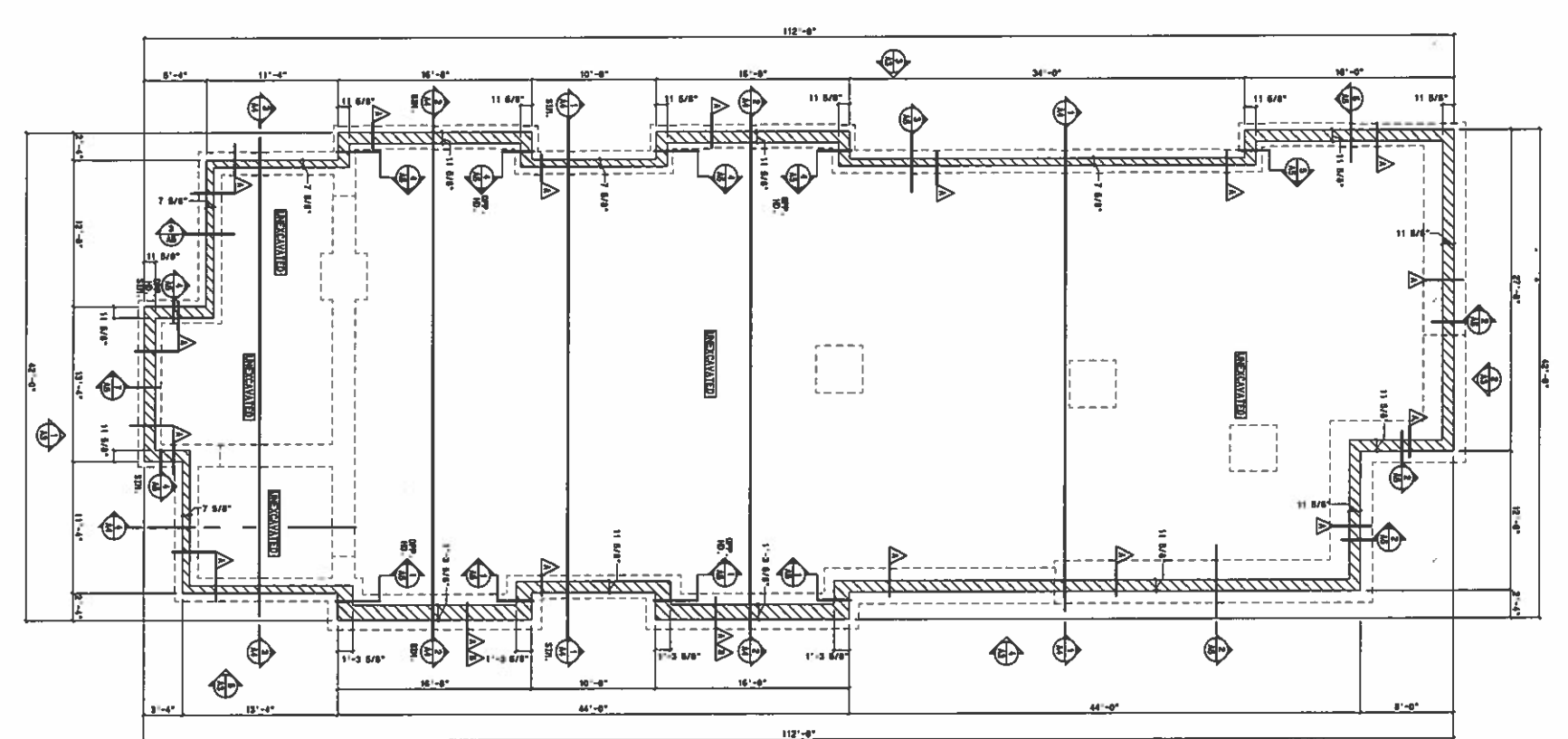




**FLOOR PLAN**  
3/16" = 1'-0"

**NOTES:**

1. CONNECTION TO VERIFY ALL DIMENSIONS AND JOB CONDITIONS IN THE FIELD.
2. REFER TO SHEET FOR WALL TYPE "1" FOR B.S. LINE. SEE SHEET FOR SCHEDULE.
3. REFER TO SHEET FOR WALL TYPE "2" FOR B.S. LINE. SEE SHEET FOR SCHEDULE.
4. ALL DIMENSIONS SHOWN UNLESS OTHERWISE NOTED IN DETAILS ARE ACTUAL, NOT NOMINAL.
5. DIMENSIONS TO FACE OF WALL UNLESS OTHERWISE NOTED.
6. FACE OF CONCRETE WALL SHALL BE EXTERIOR.



**FOUNDATION PLAN**  
3/16" = 1'-0"

NOTE: SEE STRUCTURAL DRAWINGS FOR FOOTINGS AND FOUNDATIONS.



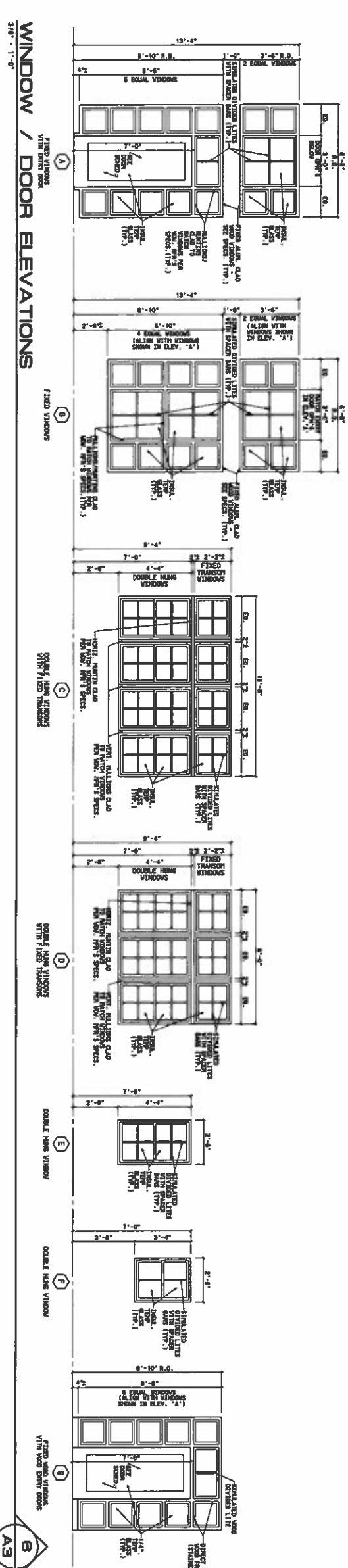
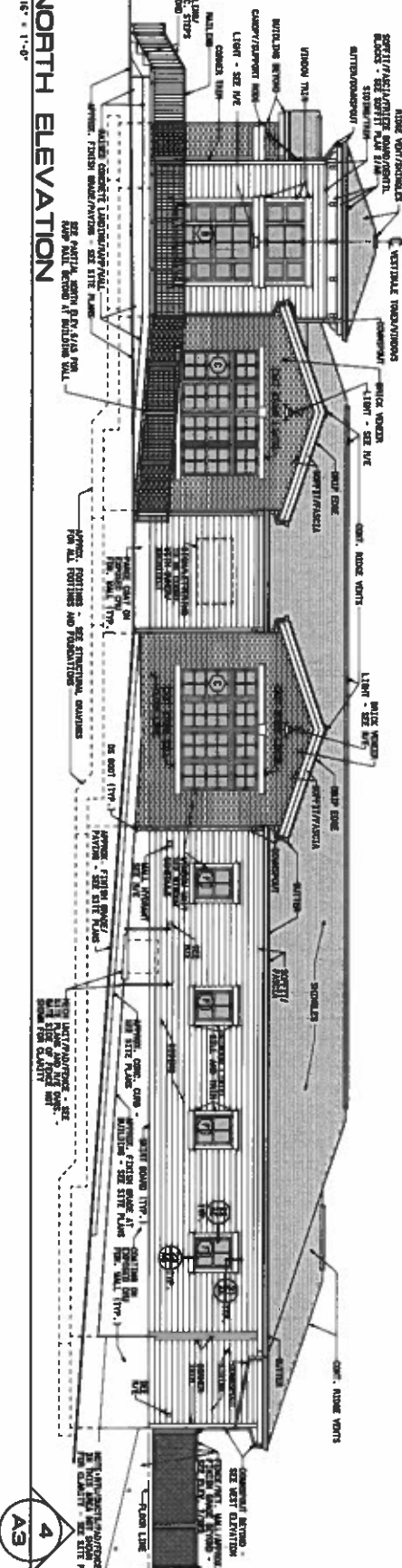
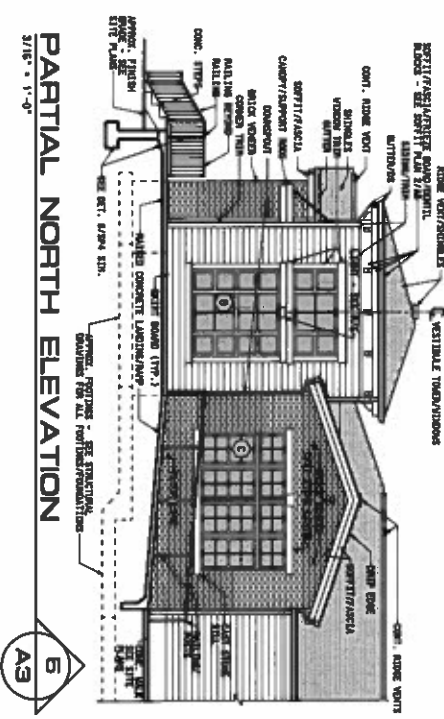
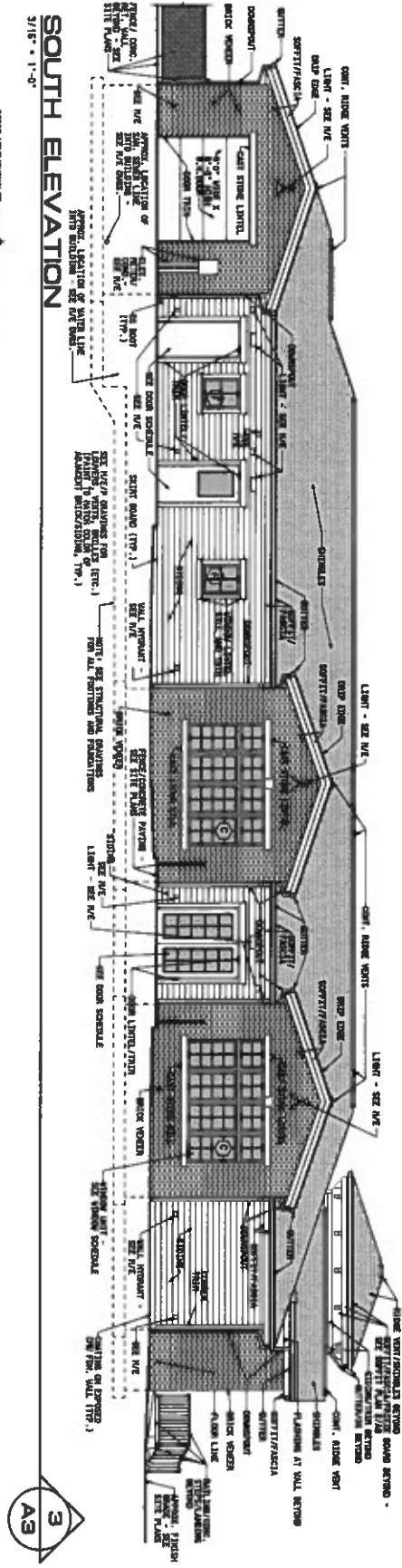
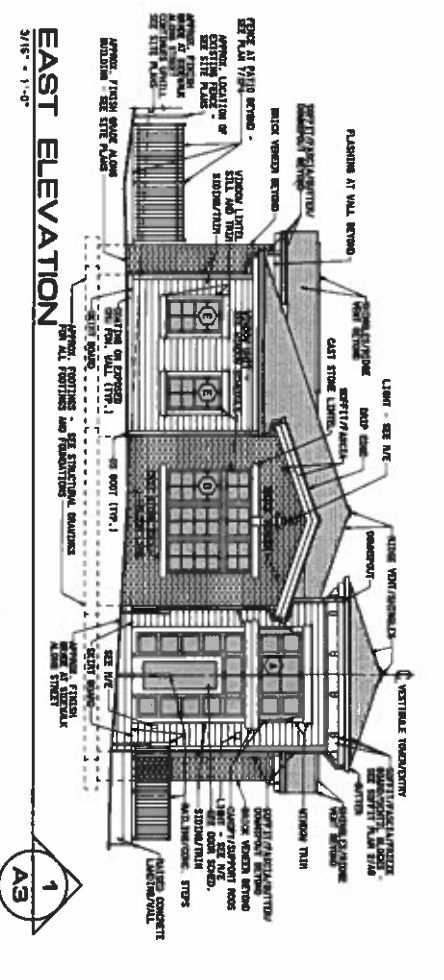
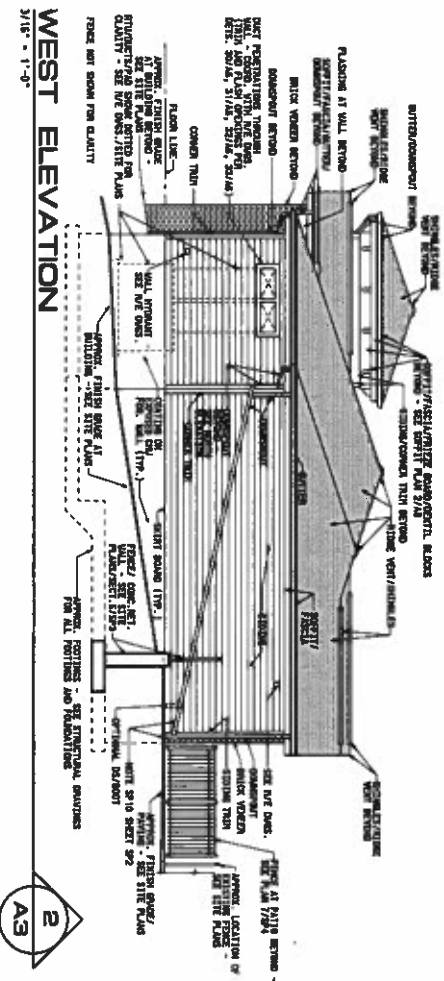
**SHAEFFER & MADAMA**  
Professional Engineers  
87 Fairview Street  
Martinsburg, West Virginia 26150  
(304) 232-1122

**SACRED HEART COMMUNITY CENTER**  
WHEELING HOUSING AUTHORITY  
WHEELING, WV

**FOUNDATION PLAN, FLOOR PLAN AND DETAILS**

DATE: 08/20/2013  
DRAWN BY: J. MADAMA  
CHECKED BY: J. MADAMA  
SCALE: AS SHOWN

10/11/13  
A1



**SHAFFER & MADAMA**  
 87 Fairview Street  
 Wheeling, West Virginia 26061  
 (204) 232-4122

**SACRED HEART COMMUNITY CENTER**  
 WHEELING HOUSING AUTHORITY  
 WHEELING, WV

**EXTERIOR ELEVATIONS, WINDOW AND DOOR ELEVATIONS**

DATE: 04/21/2021  
 DRAWN BY: J. MADAMA  
 CHECKED BY: J. MADAMA  
 3-18-2021

**A3**